

GROSS AREA BY FLOOR

AREA SCHEDULE (GROSS FLOOR AREA)		
LEVEL	NAME	AREA
LOWER LEVEL 03		
LOWER LEVEL 03	MECH	661 SF
LOWER LEVEL 02		
LOWER LEVEL 02	MECH	655 SF
LOWER LEVEL 01		
LOWER LEVEL 01	MECH	2,971 SF
LEVEL 01		
LEVEL 01	GROSS AREA	16,796 SF
LEVEL 01	MECH	1,772 SF
LEVEL 02		
LEVEL 02	GROSS AREA	28,554 SF
LEVEL 02	MECH	1,125 SF
LEVEL 03		
LEVEL 03	GROSS AREA	28,554 SF
LEVEL 03	MECH	1,125 SF
LEVEL 04		
LEVEL 04	GROSS AREA	19,321 SF
LEVEL 04	MECH	1,125 SF
ROOF LEVEL		
ROOF LEVEL	ELEVATORS	353 SF
ROOF LEVEL	MECH (APPURTENANCE)	1,680 SF
ROOF LEVEL		2,034 SF
Grand total		104,651 SF

GROSS FLOOR AREA IS THE TOTAL ENCLOSED AREA OF ALL FLOORS OF A BUILDING MEASURED TO THE INSIDE FACE OF THE EXTERIOR WALLS INCLUDING HALLS, STAIRWAYS, ELEVATOR SHAFTS AT EACH FLOOR LEVEL, SERVICE AND MECHANICAL EQUIPMENT ROOMS AND BASEMENT OR ATTIC AREAS HAVING A HEIGHT OF MORE THAN SEVEN FEET, BUT EXCLUDING AREA USED EXCLUSIVELY FOR PARKING OR LOADING OF VEHICLES OR BICYCLES. GROSS FLOOR AREA SHALL INCLUDE ROOF APPURTENANCES THAT ARE ENCLOSED AND IS SEPARATE FROM FLOOR AREA RATIO (FAR).

FAR EVALUATES ABOVE-GROUND GROSS AREA AND WHEN CALCULATED FOR R&D EXCLUDES FLOOR AREA DEVOTED TO MECHANICAL SPACE AND APPURTENANCES

ZONING INFORMATION

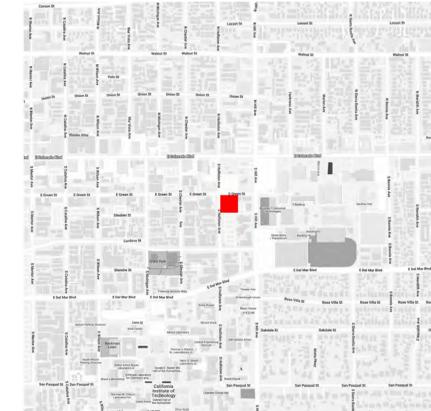
TOTAL AREA OF SITE	41,573 SF
GROSS BUILDING AREA CALCULATIONS	
SQUARE FOOTAGE - EXISTING	N/A
SQUARE FOOTAGE - PROPOSED	93,539 SF
NUMBER OF BUILDINGS - EXISTING	N/A
NUMBER OF BUILDINGS - PROPOSED	1
EXISTING BUILDING CONSTRUCTION DATES	
VEHICULAR PARKING - EXISTING	117
VEHICULAR PARKING - MINIMUM REQ. PER CODE *	2 PER 1,000 SF = 187 SPACES ADDITIONAL SPACES ALLOWED BY RIGHT = 93 (187 + 50%); 280 SPACES
* PURSUANT TO GOVERNMENT CODE SECTION 65983.2 (AB2097) SINCE THE SITE IS WITHIN ONE-HALF MILE OF PUBLIC TRANSIT, THE CITY SHALL NOT IMPOSE OR ENFORCE MINIMUM AUTOMOBILE PARKING ON THE PROPOSED DEVELOPMENT, WHERE PARKING IS PROVIDED VOLUNTARILY, SPACES SHALL COMPLY WITH APPLICABLE REQUIREMENTS OF THE ZONING CODE.	
VEHICULAR PARKING - PROPOSED	261 SPACES
BICYCLE PARKING - EXISTING	0
BICYCLE PARKING - MINIMUM REQ. PER CODE	5% OF MIN. REQ. VEHICULAR PARKING = 9 SPACES CLASS 1 (75% OF MIN. REQ.) = 7 CLASS 2 (25% OF MIN. REQ.) = 2
BICYCLE PARKING - PROPOSED	CLASS 1 = 7 CLASS 2 = 2
LOADING SPACES - EXISTING	
LOADING SPACES - MINIMUM REQ. PER CODE	N/A
LOADING SPACES - PROPOSED	1 PER 40,000 SF WHERE GSF IS 40,001 SF AND MORE = 2 SPACES 2 SPACES AT 10' X 20' MIN, 12' VERTICAL CLEARANCE
FAR - EXISTING	
FAR - MAX ALLOWED PER ZONING CODE	N/A
FAR - PROPOSED	2.25 93,539 / 41,573 = 2.25
BUILDING HEIGHTS & STORIES - EXISTING	
BUILDING HEIGHTS & STORIES - PROPOSED	N/A 63' + 16' MECH SCREEN / 4 STORIES
PROPOSED LANDSCAPING	
PROPOSED HARDSCAPE/PAVING	930 SF 721 SF
EXISTING ZONING AND LAND USE DESIGNATION	
COMMERCIAL LAND USE	EC-MU-N, MIXED-USE NEIGHBORHOOD RESEARCH & DEVELOPMENT BUILDING ACTIVITIES AND SERVICES TYPICALLY INCLUDE OFFICE WORK RELATED TO LAB R&D
OCCUPANCY GROUP, CONSTRUCTION - EXISTING	
OCCUPANCY GROUP, CONSTRUCTION - PROPOSED	S-2, N/A B, TYPE I-B

BUILDING NARRATIVE

The Project Site is located at 1364 E Green Street, which consists of 3 parcels, containing 41,573 square feet and is bounded by Holliston Avenue to the west. There is an existing 117 stall surface parking lot that spans all 3 parcels. The proposed project will be a 4-story Multi-tenant Research and Development building, with Lab/Office spaces on the ground level along with 3 subterranean levels of parking.

ATTACHMENT H

VICINITY MAP



ADDITIONAL ZONING INFORMATION

APN	5736-002-013
SETBACKS	5-10' FOR 50% ON HOLLISTON 3-8' FOR 75% ON GREEN STREET
MINIMUM TRANSPARENCY	
GREEN ST	
OVERALL FACADE REQUIRED	30% MIN
OVERALL FACADE PROPOSED	50%
GROUND FLOOR REQUIRED	70% MIN
GROUND FLOOR PROPOSED	73%
HOLLISTON AVE	
OVERALL FACADE REQUIRED	30% MIN
OVERALL FACADE PROPOSED	38%
GROUND FLOOR REQUIRED	70% MIN
GROUND FLOOR PROPOSED	72%
OPEN SPACE REQUIREMENT	
COMMON REQUIRED (5% OF GSF)	60% REDUCTION OF REQUIREMENT FOR R&D PROJECTS 1,871 SF (93,539 X 5% = 4,677.4677 X 40% = 1,871) 5,917 SF
PAOS REQUIRED (2% OF GSF)	748 SF (93,539 X 2% = 1,871.1871 X 40% = 748) 1,060 SF
MODULATION	
FACADE LENGTH	EACH STREET-FACING FACADE EXCEEDING 150' SHALL INCLUDE A BREAK OF AT LEAST 10% OF THE FACADE LENGTH OR 20', WHICHEVER IS GREATER
GREEN ST	
OVERALL FACADE LENGTH:	177'-0"
MIN REQ. FACADE BREAK LENGTH/DEPTH:	20'-0" / 10'-0"
PROPOSED FACADE BREAK LENGTH/DEPTH:	20'-0" / 15'-0"
HOLLISTON AVE	
OVERALL FACADE LENGTH:	177'-0"
MIN REQ. FACADE BREAK LENGTH/DEPTH:	20'-0" / 10'-0"
PROPOSED FACADE BREAK LENGTH/DEPTH:	20'-0" / 10'-0"
FACADE AREA	
	EACH STREET-FACING FACADE EXCEEDING 50' IN LENGTH SHALL MODULATE A MINIMUM OF 25% OF THE AREA ABOVE THE FIRST STORY
GREEN ST	
PROPOSED PERCENTAGE OF MODULATION	29%
HOLLISTON AVE	
PROPOSED PERCENTAGE OF MODULATION	29%

SHEET INDEX

SHEET NO.	SHEET NAME
00 GENERAL	
PAS-G0.101	COVER SHEET
PAS-G0.102	SURVEY
PAS-G0.103	SURVEY/TOPO
PAS-G0.201	GROSS AREA EXHIBIT
PAS-G0.202	OPEN AREA - PAOS EXHIBIT
PAS-G0.203	OPEN AREA - COMMON AREA EXHIBIT
01 CIVIL	
PAS-C1.10	EXISTING/DEMIO SITE PLAN
03 ARCHITECTURE	
PAS-A1.102	PROPOSED SITE PLAN
PAS-A1.102A	PROPOSED SITE PLAN - ZONING EXHIBIT
PAS-A1.102B	PROPOSED SITE PLAN - FRONTAGE EXHIBIT
PAS-A1.103	PROPOSED CIRCULATION PLAN
PAS-A1.201	PROPOSED FLOOR PLAN - LEVEL 01
PAS-A1.202	PROPOSED FLOOR PLAN - LEVEL 02
PAS-A1.203	PROPOSED FLOOR PLAN - LEVEL 03
PAS-A1.204	PROPOSED FLOOR PLAN - LEVEL 04
PAS-A1.205	PROPOSED FLOOR PLAN - ROOF LEVEL
PAS-A1.205A	PROPOSED FLOOR PLAN - ROOF LEVEL - AREA EXHIBIT
PAS-A1.301	PROPOSED FLOOR PLAN - LOWER LEVEL 01
PAS-A1.302	PROPOSED FLOOR PLAN - LOWER LEVEL 02
PAS-A1.303	PROPOSED FLOOR PLAN - LOWER LEVEL 03
PAS-A2.101	BUILDING ELEVATIONS
PAS-A2.102	BUILDING ELEVATIONS
PAS-A2.103	BUILDING ELEVATIONS
PAS-A2.104	BUILDING ELEVATIONS
PAS-A2.105	BUILDING ELEVATIONS - SECONDARY
PAS-A2.106	BUILDING ELEVATIONS - MODULATION EXHIBIT
PAS-A2.107	BUILDING ELEVATIONS - TRANSPARENCY EXHIBIT
PAS-A3.101	BUILDING SECTIONS
PAS-A3.102	BUILDING SECTIONS
PAS-A3.103	PARKING RAMP AND CLEARANCES EXHIBIT
PAS-A3.104	VIEW CORRIDOR EXHIBIT
PAS-A4.101	PERSPECTIVE RENDERINGS
PAS-A4.102	PERSPECTIVE RENDERINGS
PAS-A4.103	PERSPECTIVE RENDERINGS
PAS-A4.104	PERSPECTIVE RENDERINGS
PAS-A5.100	SHADOW STUDY
04 LANDSCAPE	
L1.001	PLANTING PLAN - LEVEL 01
L1.002	HARDSCAPE PLAN - LEVEL 01
L1.003	TREE DEMOLITION PLAN - LEVEL 01
L1.004	PLANTING PLAN - LEVEL 04
L1.005	HARDSCAPE PLAN - LEVEL 04

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08/09/2025	CONCEPT DESIGN REVIEW SUBMITTAL
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11/05/2025	CONCEPT DESIGN REVIEW SUBMITTAL REVISION 2

Seal / Signature

NOT FOR CONSTRUCTION

Project Name	CALTECH INNOVATION CENTER
Project Number	05.4988.000
Description	COVER SHEET

Scale

PAS-G0.101

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Description
SURVEY/TOPO

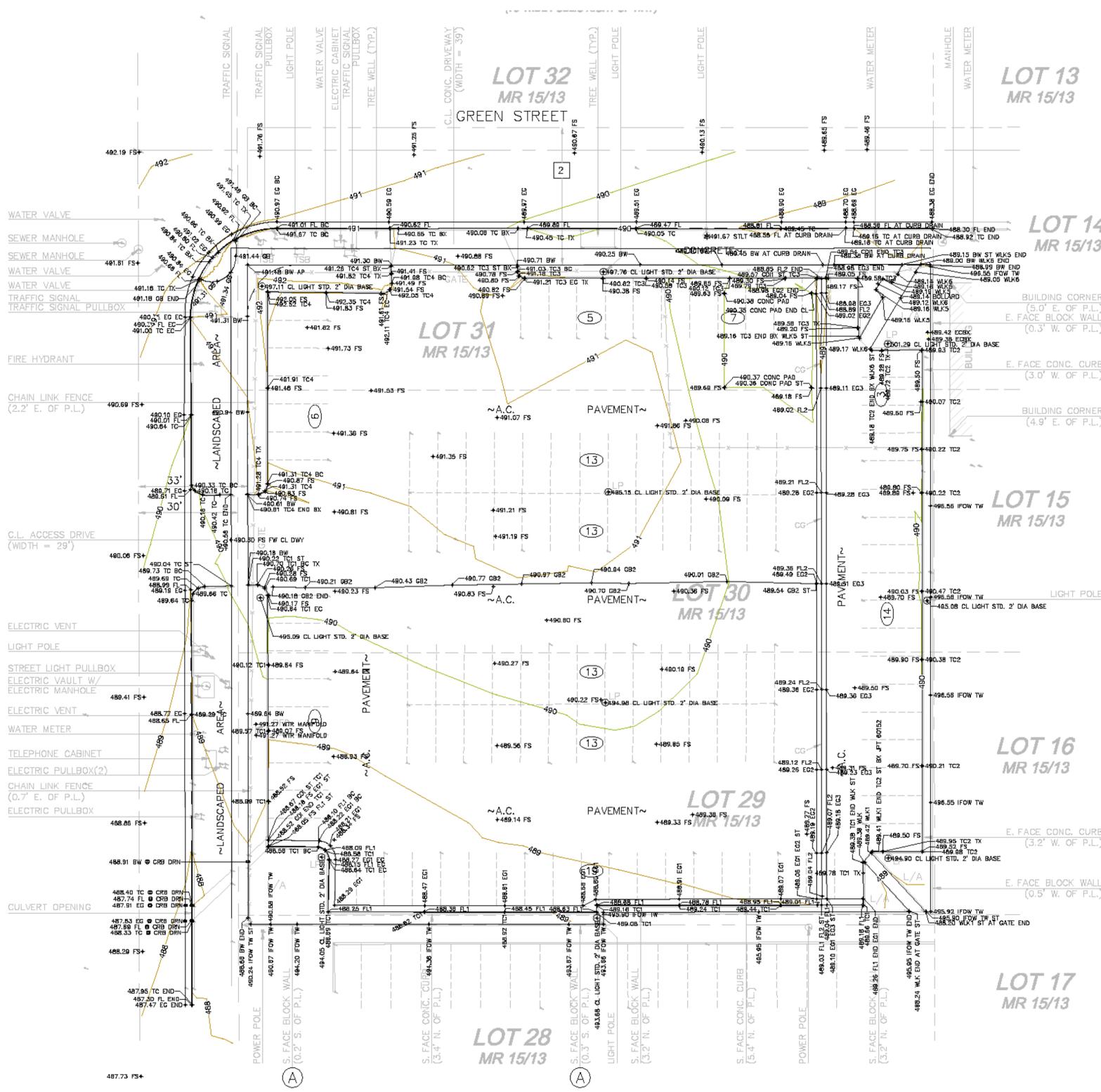
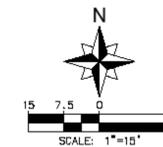
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1/16" = 1'-0"

PAS-G0.103

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HOLLISTON AVENUE
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)

GREEN ST. - DRAINAGE TOPO

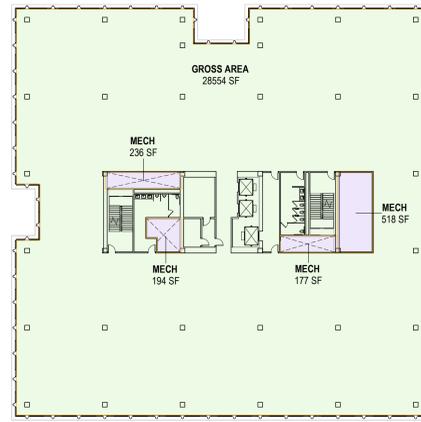


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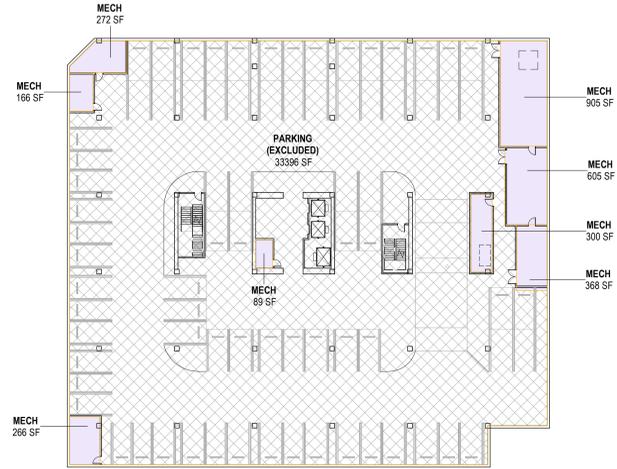
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AREA SCHEDULE (GROSS FLOOR AREA)		
LEVEL	NAME	AREA
LOWER LEVEL 03		
LOWER LEVEL 03	MECH	661 SF
LOWER LEVEL 02		
LOWER LEVEL 02	MECH	655 SF
LOWER LEVEL 02		655 SF
LOWER LEVEL 01		
LOWER LEVEL 01	MECH	2,971 SF
LOWER LEVEL 01		2,971 SF
LEVEL 01		
LEVEL 01	GROSS AREA	16,756 SF
LEVEL 01	MECH	1,772 SF
LEVEL 01		18,528 SF
LEVEL 02		
LEVEL 02	GROSS AREA	28,554 SF
LEVEL 02	MECH	1,125 SF
LEVEL 02		29,679 SF
LEVEL 03		
LEVEL 03	GROSS AREA	28,554 SF
LEVEL 03	MECH	1,125 SF
LEVEL 03		29,679 SF
LEVEL 04		
LEVEL 04	GROSS AREA	19,321 SF
LEVEL 04	MECH	1,125 SF
LEVEL 04		20,446 SF
ROOF LEVEL		
ROOF LEVEL	ELEVATORS	353 SF
ROOF LEVEL	MECH (APPURTENANCE)	1,680 SF
ROOF LEVEL		2,034 SF
Grand Total		104,651 SF

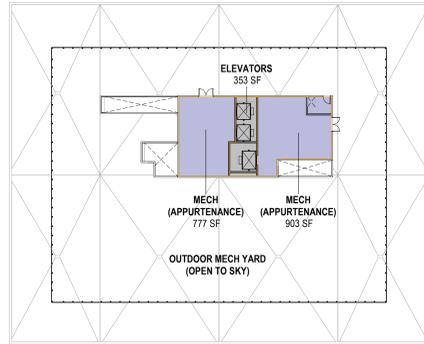
AREA SCHEDULE (GROSS FLOOR AREA) - R & D FACILITIES		
LEVEL	NAME	AREA
LEVEL 01	GROSS AREA	16,756 SF
LEVEL 02	GROSS AREA	28,554 SF
LEVEL 03	GROSS AREA	28,554 SF
LEVEL 04	GROSS AREA	19,321 SF
ROOF LEVEL	ELEVATORS	353 SF
ROOF LEVEL		93,539 SF



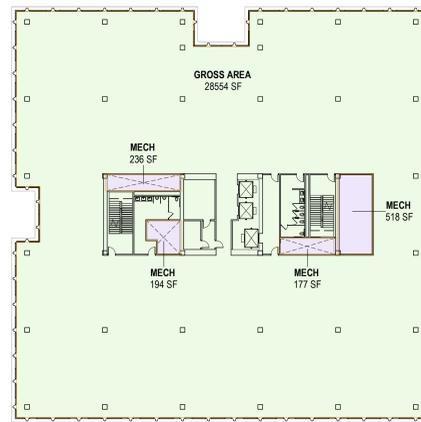
06 AREA PLAN (GSF) - LEVEL 03
SCALE: 1" = 30'-0"



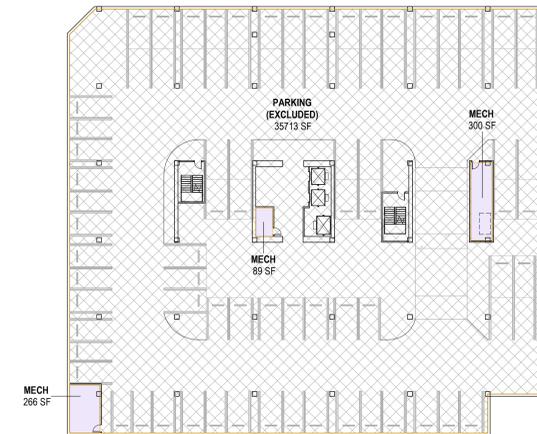
03 AREA PLAN (GSF) - LOWER LEVEL 01
SCALE: 1" = 30'-0"



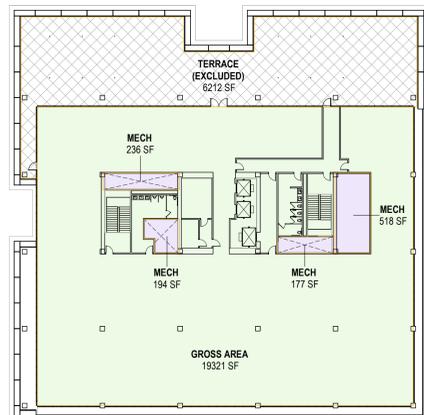
08 AREA PLAN (GSF) - ROOF
SCALE: 1" = 30'-0"



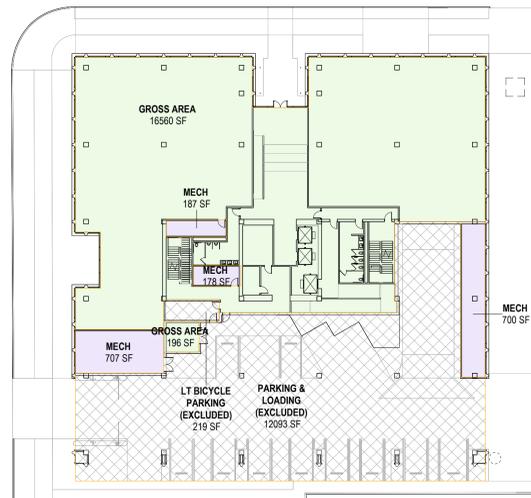
05 AREA PLAN (GSF) - LEVEL 02
SCALE: 1" = 30'-0"



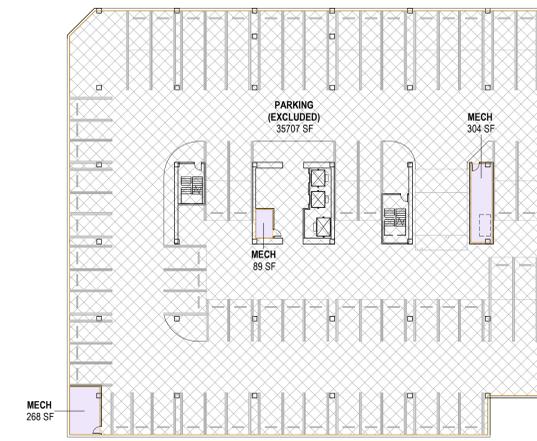
02 AREA PLAN (GSF) - LOWER LEVEL 02
SCALE: 1" = 30'-0"



07 AREA PLAN (GSF) - LEVEL 04
SCALE: 1" = 30'-0"



04 AREA PLAN (GSF) - LEVEL 01
SCALE: 1" = 30'-0"



01 AREA PLAN (GSF) - LOWER LEVEL 03
SCALE: 1" = 30'-0"

SHEET NOTES

FLOOR AREA RATIO (PMC SECTION 17.31.070.B, SECTION 17.50.240.C)
MAXIMUM ALLOWABLE FLOOR AREA RATIO (FAR) IS 2.25.

GROSS FLOOR AREA
MAXIMUM ALLOWABLE GROSS FLOOR AREA IS APPROXIMATELY 93,534.75 SQ. FT.

THE TOTAL AREA OF THE BUILDING MEASURED FROM THE INSIDE FACE OF EXTERIOR WALLS.

INCLUDING HALLS, STAIRWAYS, ELEVATOR SHAFTS, SERVICE AND MECHANICAL ROOMS, BASEMENT OR ATTIC AREAS HAVING A HEIGHT OF MORE THAN SEVEN FEET BUT EXCLUDING PARKING OR LOADING OF VEHICLES OR BICYCLES.

RESEARCH AND DEVELOPMENT FACILITIES SHALL EXCLUDE MECHANICAL SPACE.

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LEGEND

- AREA (GSF)**
- GROSS AREA
 - MECH
 - MECH (APPURTENANCE)
 - ELEVATORS
 - PARKING (EXCLUDED)
 - PARKING & LOADING (EXCLUDED)
 - LT BICYCLE PARKING (EXCLUDED)
 - TERRACE (EXCLUDED)

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Seal / Signature

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Project Name
CALTECH INNOVATION CENTER

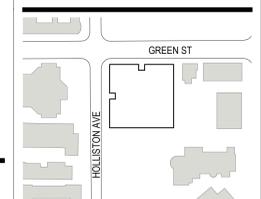
Project Number
05.4988.000

Description
GROSS AREA EXHIBIT

Scale
As indicated

PAS-G0.201

VICINITY MAP



AREA SCHEDULE (COMMON AREA)

LEVEL	NAME	AREA
-------	------	------

LEVEL 04	HARDSCAPE (ENHANCED)	3312 SF
LEVEL 04	LANDSCAPE	267 SF
		5917 SF

GROSS FLOOR AREA (EXCLUDING MECHANICAL AREA):

93,539 SF

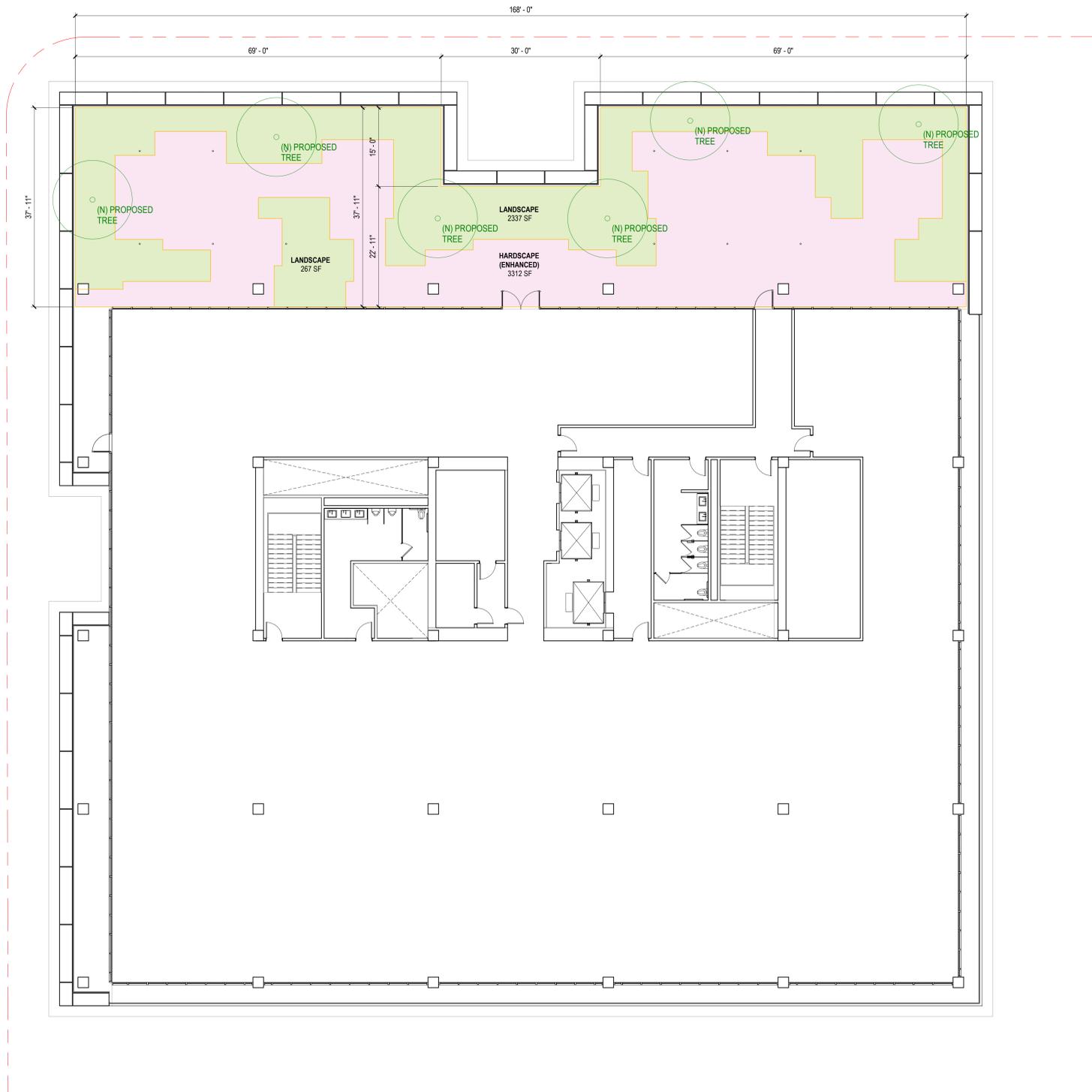
COMMON OPEN SPACE REQUIRED:

1,871 SF
COMMON OPEN SPACE (5% OF GSF, MIN);
R&D ALLOWED REQUIREMENT REDUCTION (60% MAX);

COMMON OPEN SPACE PROPOSED:

5,917 SF
LANDSCAPE (% OF COMMON OPEN SPACE, 25% MIN);
44% (2,605 / 5,917)
HARDSCAPE (% OF COMMON OPEN SPACE, 25% MAX STANDARD);
0%
HARDSCAPE, ENHANCED (% OF COMMON OPEN SPACE);
56% (3,312 / 5,917)
TREES REQUIRED (1 PER 500 SF REQ. COMMON SPACE);
4 (1,871 / 500)
TREES PROVIDED;
6

SEE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION



SHEET NOTES

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LEGEND

AREA (PAOS)

- HARDSCAPE (ENHANCED)
- LANDSCAPE

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CALTECH INNOVATION CENTER
Project Number
05.4988.000

Description
OPEN AREA - COMMON AREA EXHIBIT

Scale
As indicated

PAS-G0.203

VICINITY MAP



HOLLISTON AVENUE

GREEN STREET



SHEET NOTES

PROTECT-IN-PLACE

- 1 WATER METER
- 2 ELECTRICAL CABINET
- 3 TRAFFIC SIGNAL PULLBOX
- 4 POWER POLE
- 5 ELECTRICAL VENT
- 6 FIRE HYDRANT
- 7 ELECTRICAL VAULT & MANHOLE
- 8 TRAFFIC SIGNAL
- 9 TREE
- 10 WATER VALVE
- 11 STREET SIGN
- 12 PUBLIC LIGHT POLE & FOOTING
- 13 PUBLIC TREE
- 14 SITEWALL

DEMOLISH & REMOVE

- 1 ASPHALT PAVEMENT
- 2 CONCRETE PAVEMENT
- 3 CONCRETE VALLEY GUTTER
- 4 LIGHT POLE & FOOTING
- 5 CONCRETE CURB
- 6 CONCRETE CURB & GUTTER
- 7 CONCRETE DRIVEWAY
- 8 BACKFLOW PREVENTOR DEVICE
- 9 PASADENA CITY COLLEGE PARKING LOT METER
- 10 PUBLIC LIGHT POLE & FOOTING
- 11 LANDSCAPING
- 12 CULVERT
- 13 PUBLIC CURB & GUTTER
- 14 PUBLIC LANDSCAPING
- 15 PUBLIC SIDEWALK CONCRETE PAVEMENT

REMOVE AND REPLACE

- 1 TELEPHONE CABINET
- 2 ELECTRICAL PULLBOX
- 3 WATER METER
- 4 PUBLIC TREE

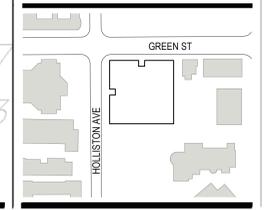
LEGEND

- WALL
- - - PROPERTY LINE
- · - · SAWCUT & JOIN
- · - · 1' PUBLIC DEDICATION

PATTERN LEGEND

- ASPHALT PAVEMENT
- CONCRETE VALLEY GUTTER
- CONCRETE CURB
- LANDSCAPE
- CONCRETE PAVEMENT
- CULVERT
- CONCRETE CURB & GUTTER

VICINITY MAP



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Date	Description
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11/05/2025	CONCEPT DESIGN REVIEW SUBMITTAL REVISION 2

Seal / Signature

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Project Name
CALTECH INNOVATION CENTER
 Project Number
05.4988.000

Description
 EXISTING/DEMO SITE PLAN

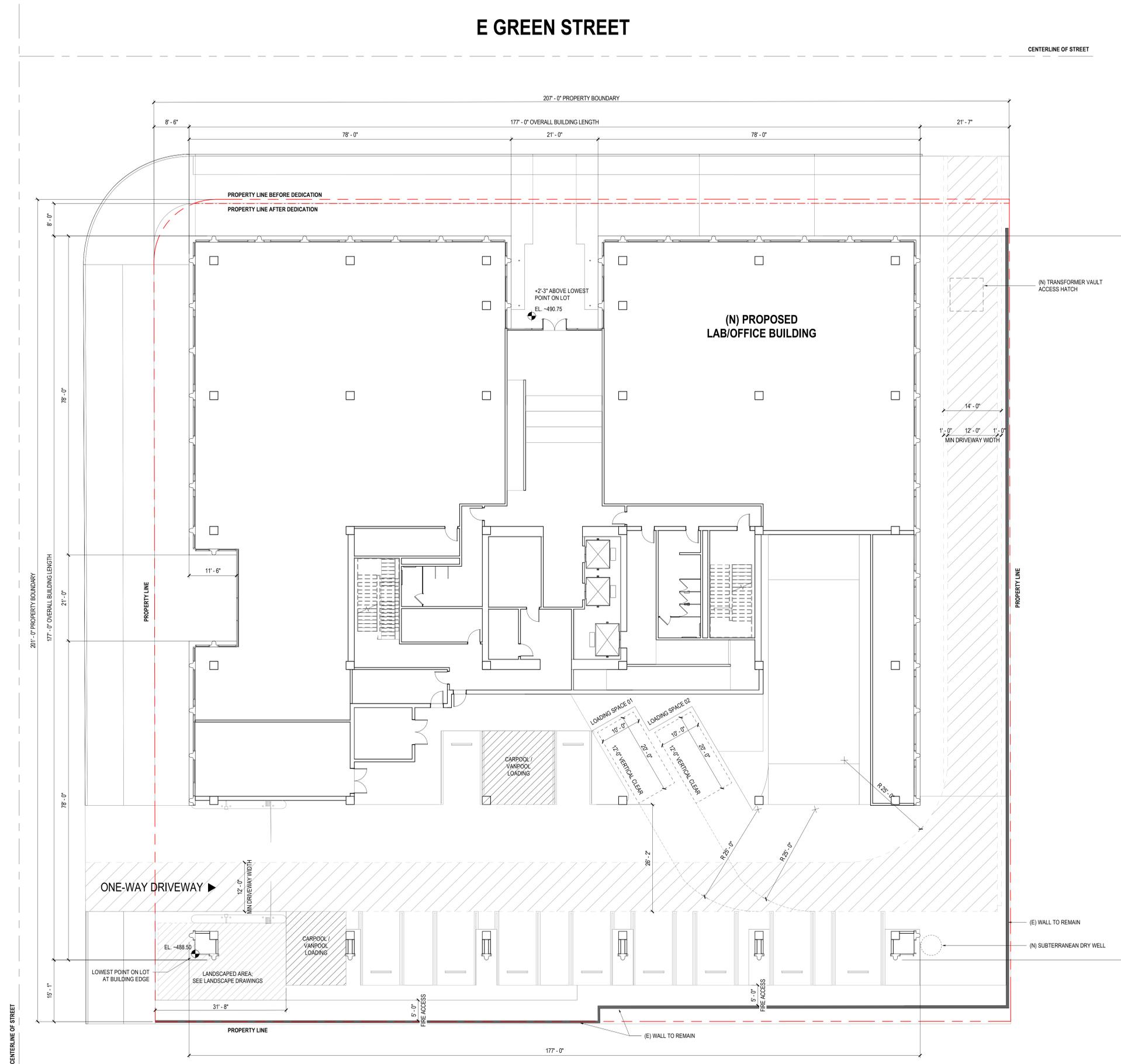
Scale
 As indicated

PAS-C1.10

E GREEN STREET

CENTERLINE OF STREET

S HOLLISTON AVENUE



SHEET NOTES

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Project Name
CALTECH INNOVATION CENTER

Project Number
05.4988.000

Description
PROPOSED SITE PLAN

Scale
As indicated

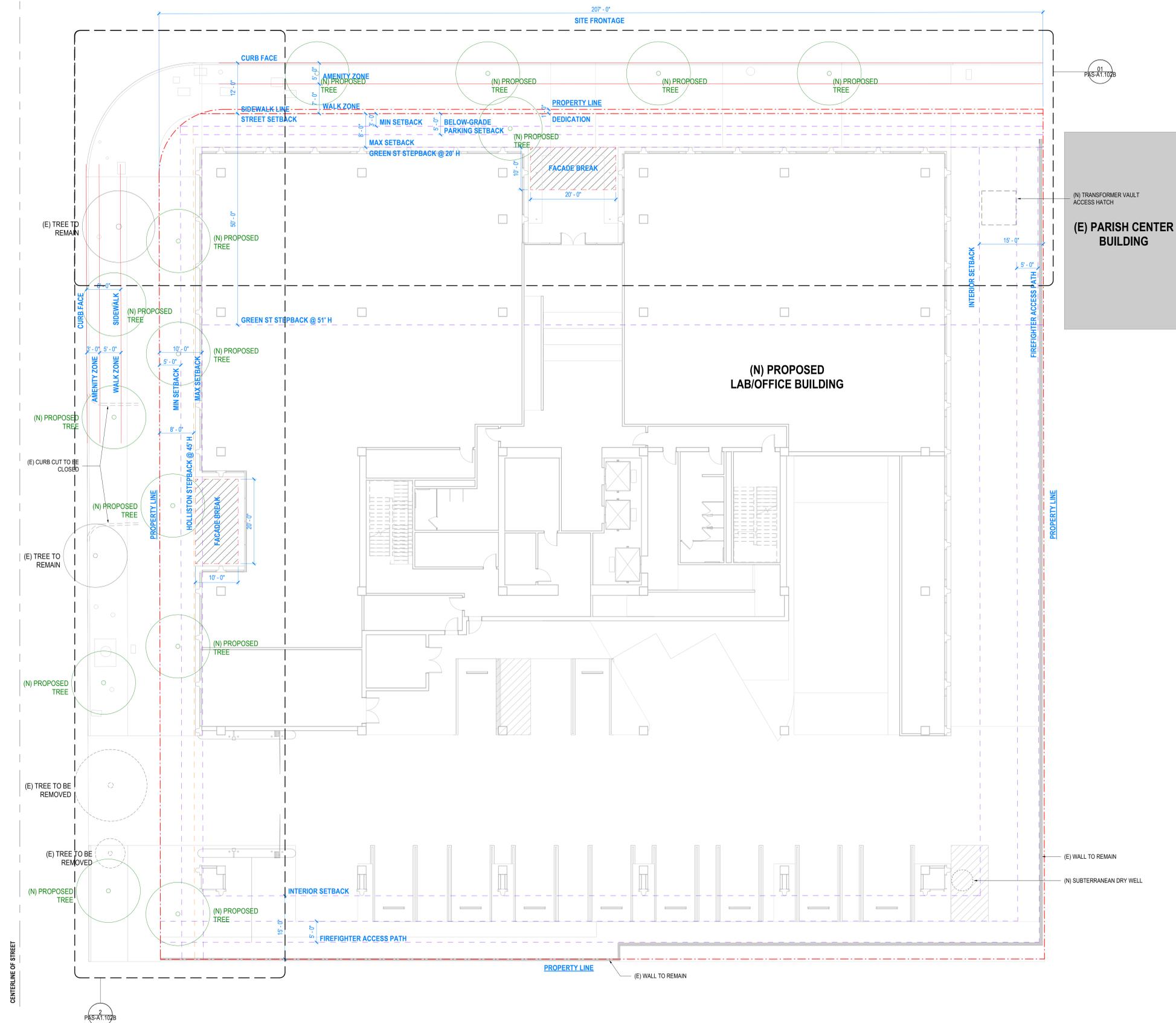
PAS-A1.102

VICINITY MAP



E GREEN STREET

CENTERLINE OF STREET



S HOLLISTON AVENUE

CENTERLINE OF STREET

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Project Name
CALTECH INNOVATION CENTER

Project Number
05.4988.000

Description
PROPOSED SITE PLAN - ZONING EXHIBIT

Scale
As indicated

PAS-A1.102A

VICINITY MAP



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Project Name
CALTECH INNOVATION CENTER
Project Number
05.4988.000

Description
PROPOSED SITE PLAN - FRONTAGE EXHIBIT

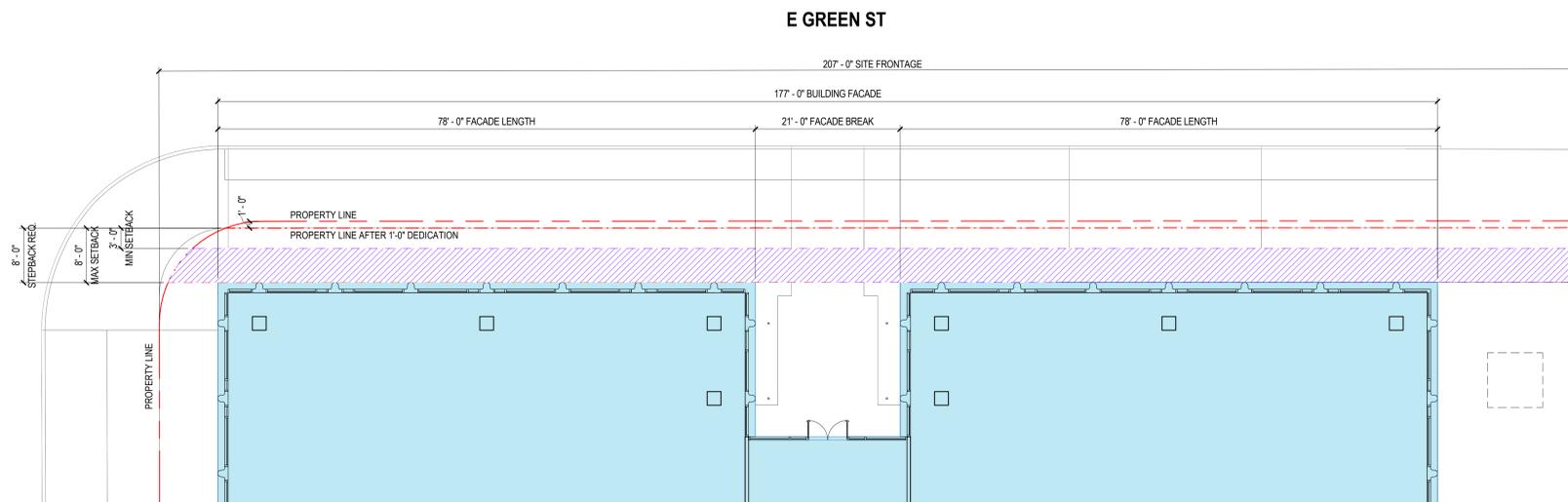
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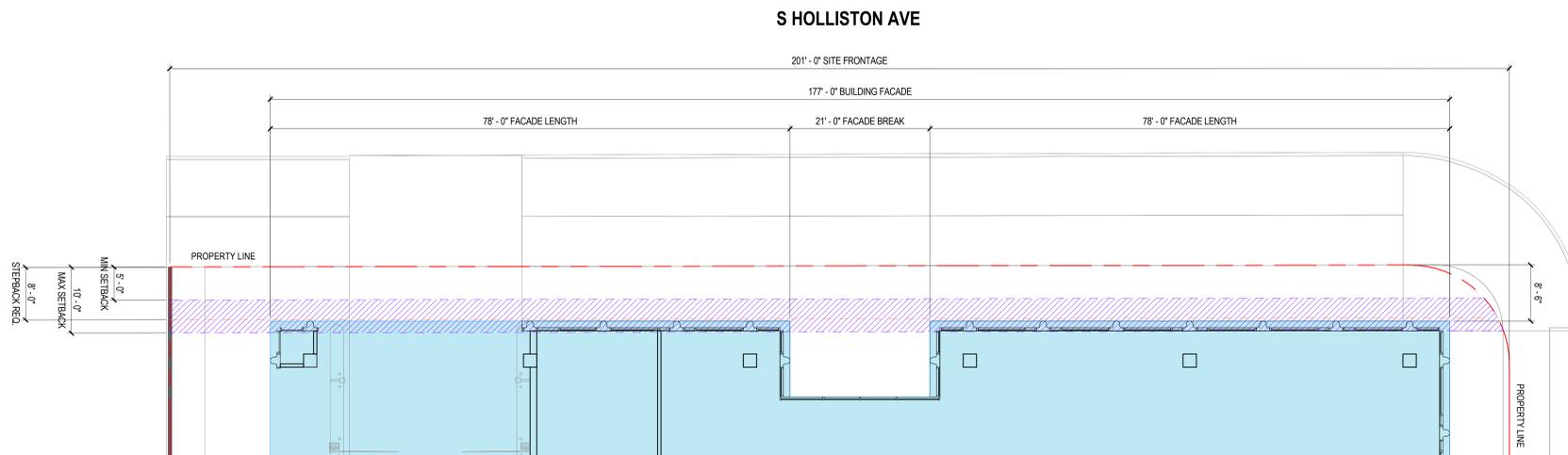
VICINITY MAP



GREEN ST SITE FRONTAGE:
LINEAL FEET OF BUILDING WITHIN SETBACK RANGE (3'-0" - 8'-0"): **207'-0"**
PROPOSED BUILDING FRONTAGE: **78'-0" + 78'-0" = 156'-0"**
156 / 207 = 75%



HOLLISTON AVE SITE FRONTAGE:
LINEAL FEET OF BUILDING WITHIN SETBACK RANGE (5'-0" - 10'-0"): **201'-0"**
PROPOSED BUILDING FRONTAGE: **78'-0" + 78'-0" = 156'-0"**
156 / 201 = 78%

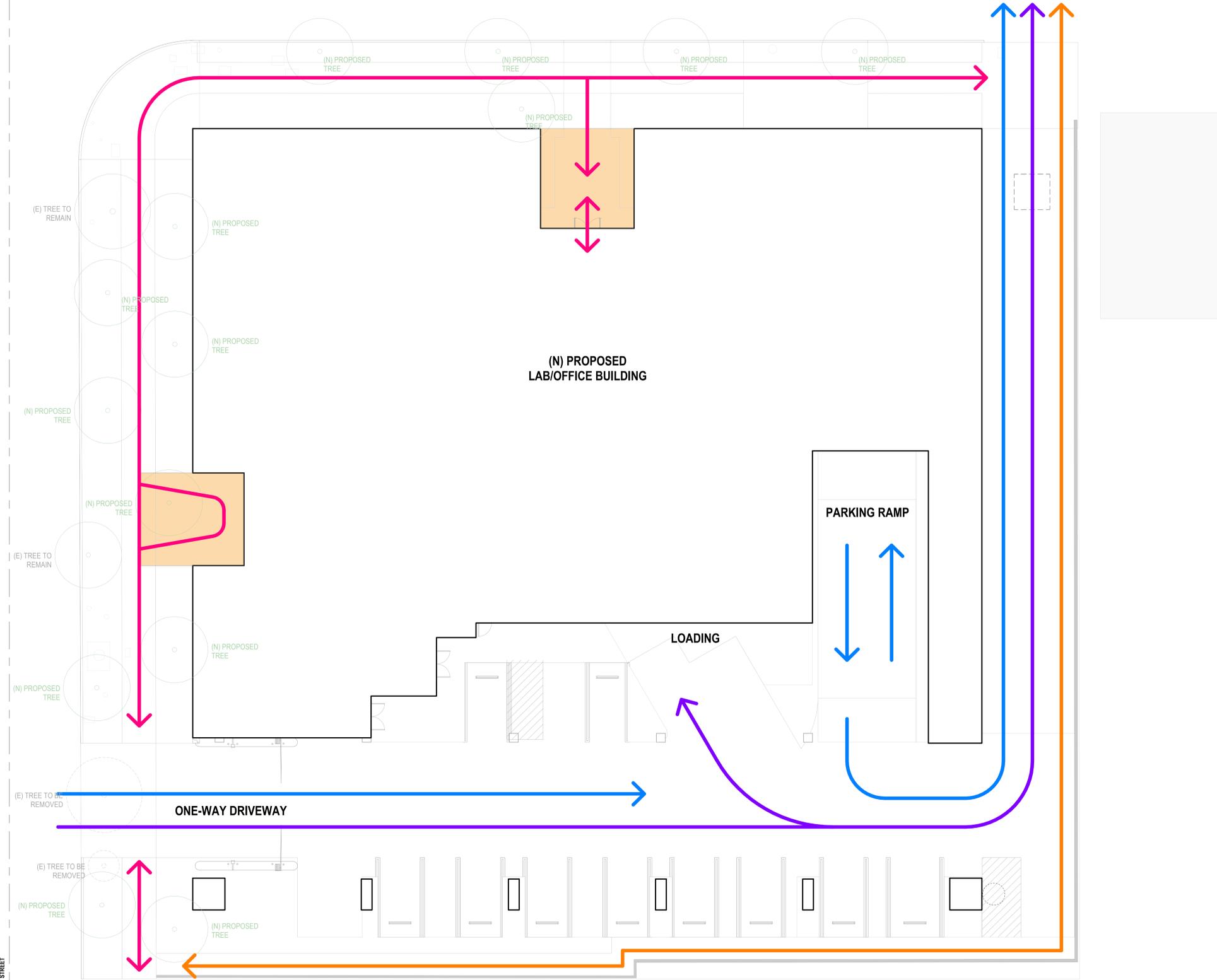


E GREEN STREET

CENTERLINE OF STREET

S HOLLISTON AVENUE

CENTERLINE OF STREET



SHEET NOTES

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LEGEND

- PEDESTRIAN
- VEHICULAR | TENANT / VISITOR
- VEHICULAR | SERVICE
- FIRE ACCESS
- COMMON USE

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CALTECH INNOVATION CENTER
Project Number
05.4988.000

Description
PROPOSED CIRCULATION PLAN

Scale
As indicated

PAS-A1.103

VICINITY MAP



SHEET NOTES

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Project Number
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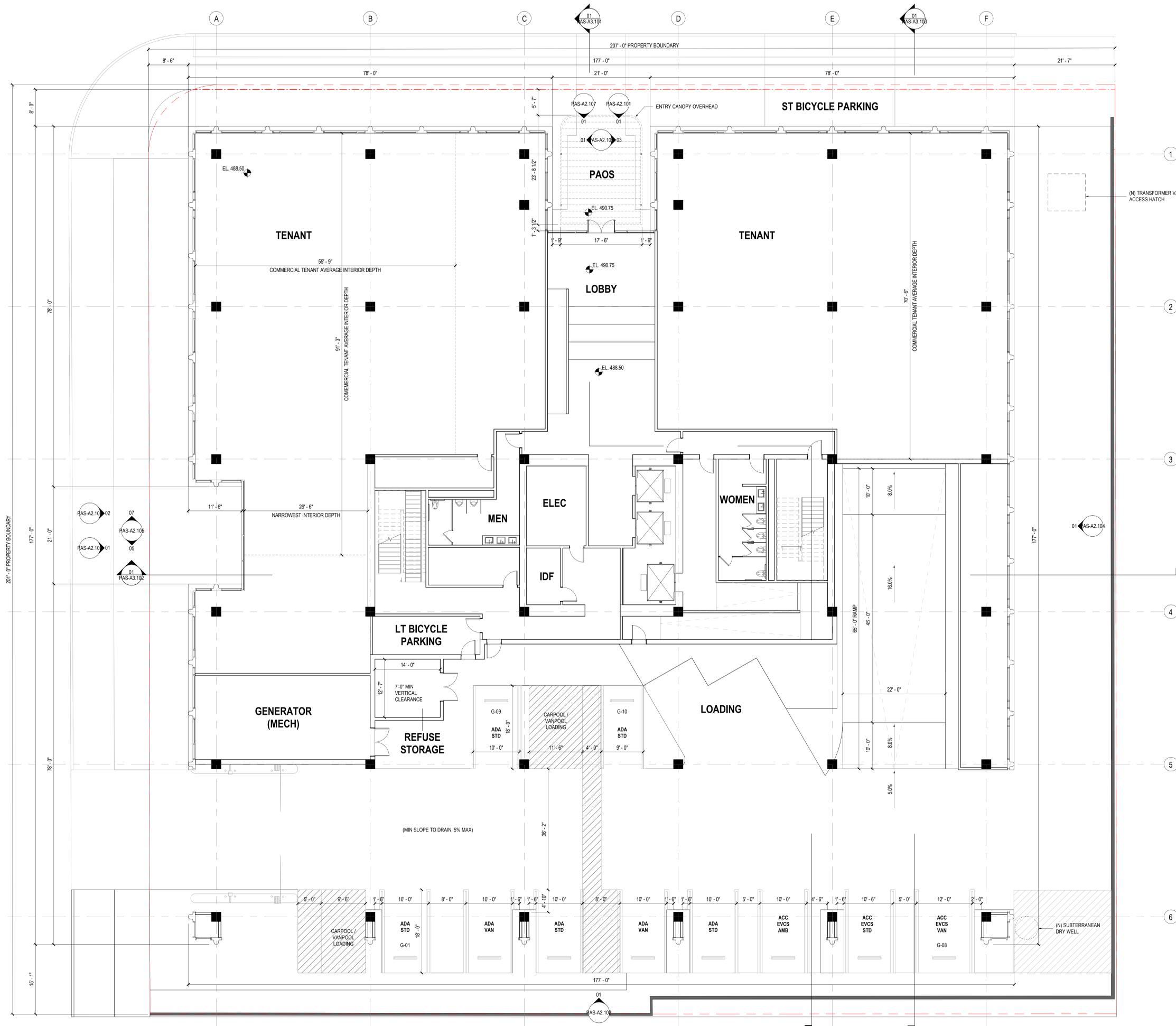
Description
PROPOSED FLOOR PLAN - LEVEL 01

Scale
As indicated

PAS-A1.201

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VICINITY MAP



01 PROPOSED FLOOR PLAN - LEVEL 01
SCALE: 1/8" = 1'-0"

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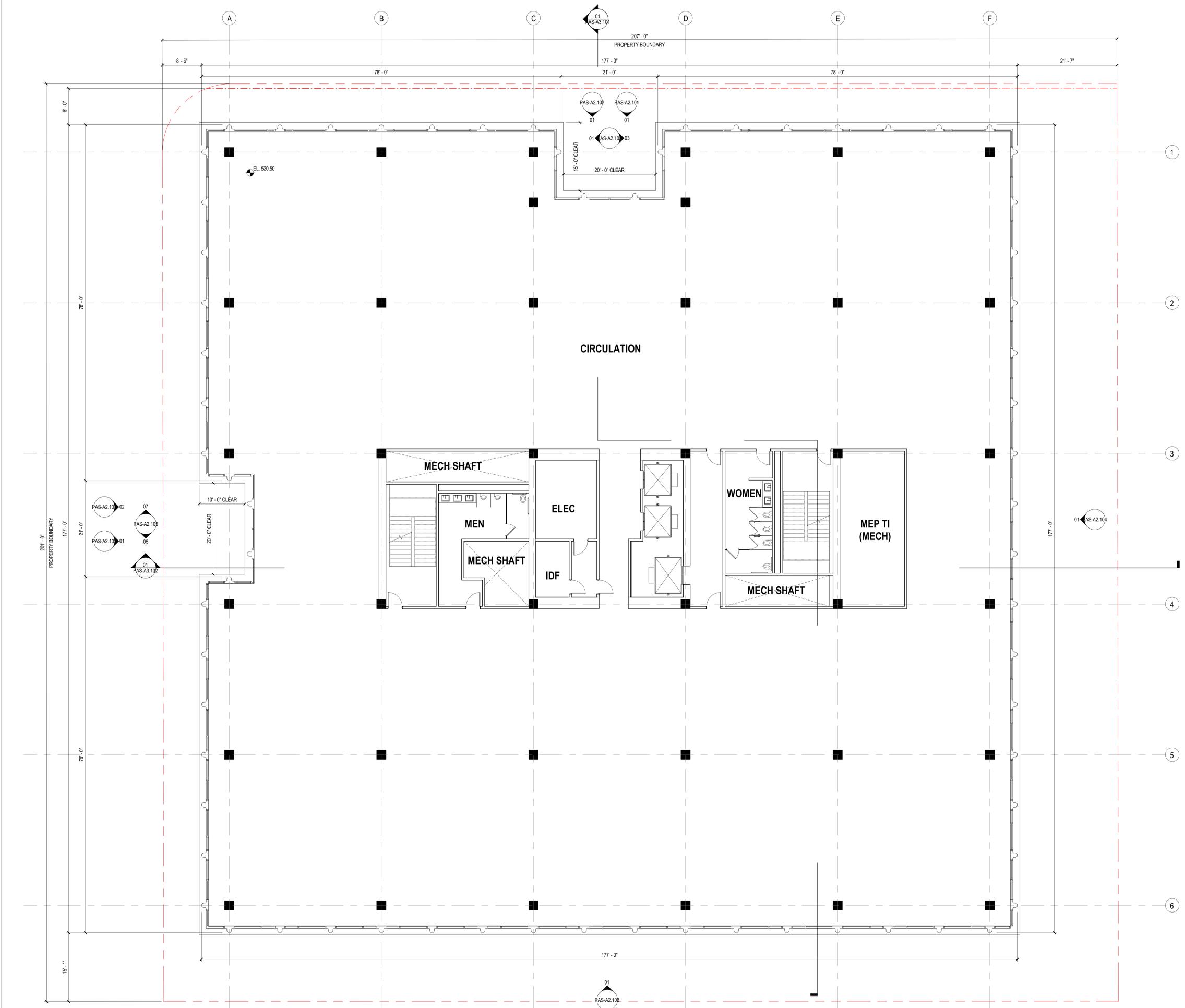
Project Name
CALTECH INNOVATION CENTER
Project Number
05.4988.000

Description
PROPOSED FLOOR PLAN - LEVEL 03

Scale
As indicated

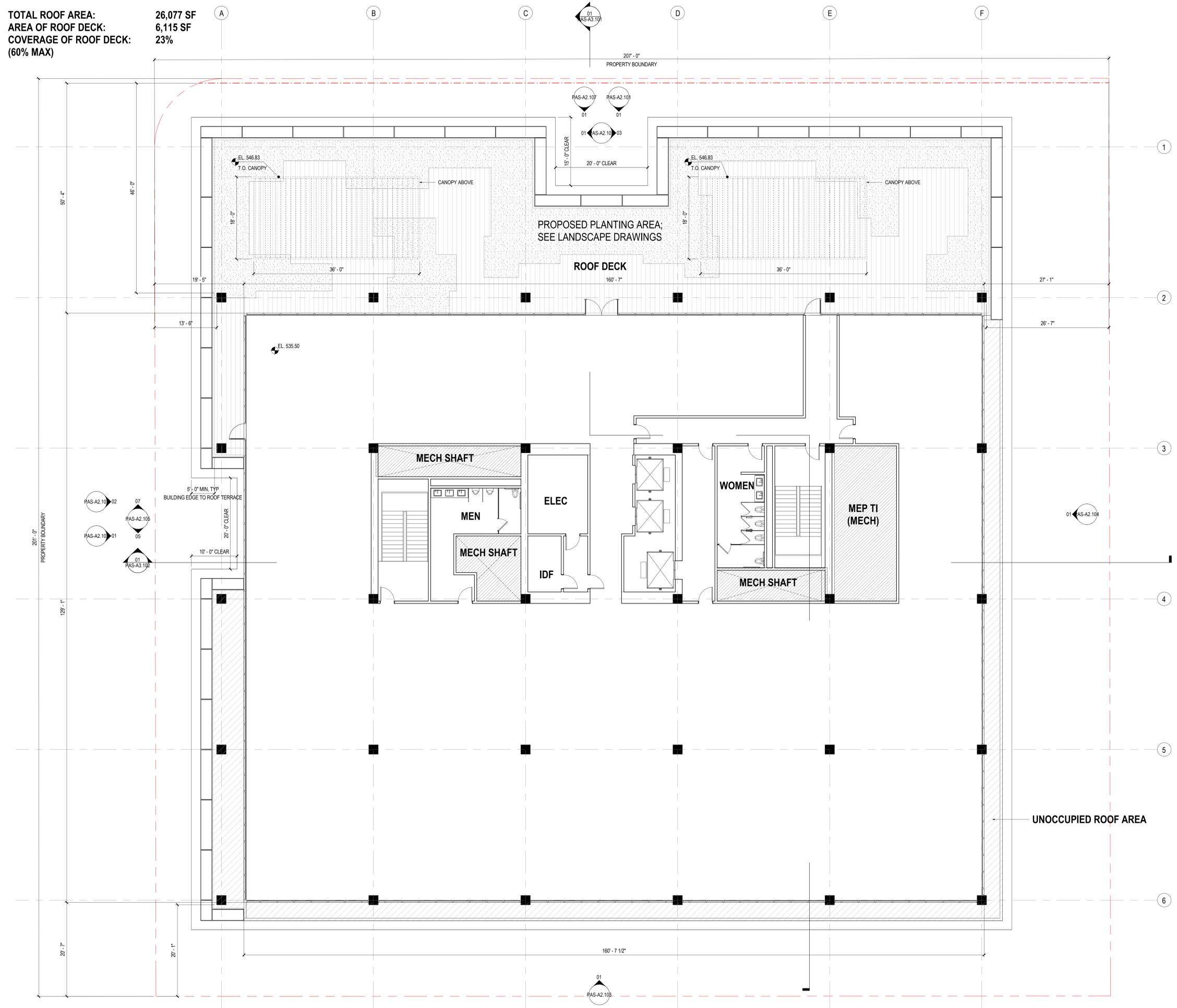
PAS-A1.203

VICINITY MAP



01 PROPOSED FLOOR PLAN - LEVEL 03
SCALE: 1/8" = 1'-0"

TOTAL ROOF AREA: 26,077 SF
 AREA OF ROOF DECK: 6,115 SF
 COVERAGE OF ROOF DECK: 23%
 (60% MAX)



SHEET NOTES

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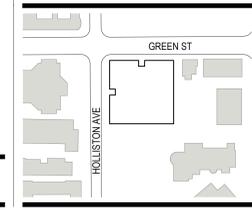
Date	Description
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11/05/2025	CONCEPT DESIGN REVIEW SUBMITTAL REVISION 2

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Project Name
CALTECH INNOVATION CENTER
 Project Number
05.4988.000
 Description
 PROPOSED FLOOR PLAN - LEVEL 04

VICINITY MAP



Scale
 As indicated

PAS-A1.204

SHEET NOTES

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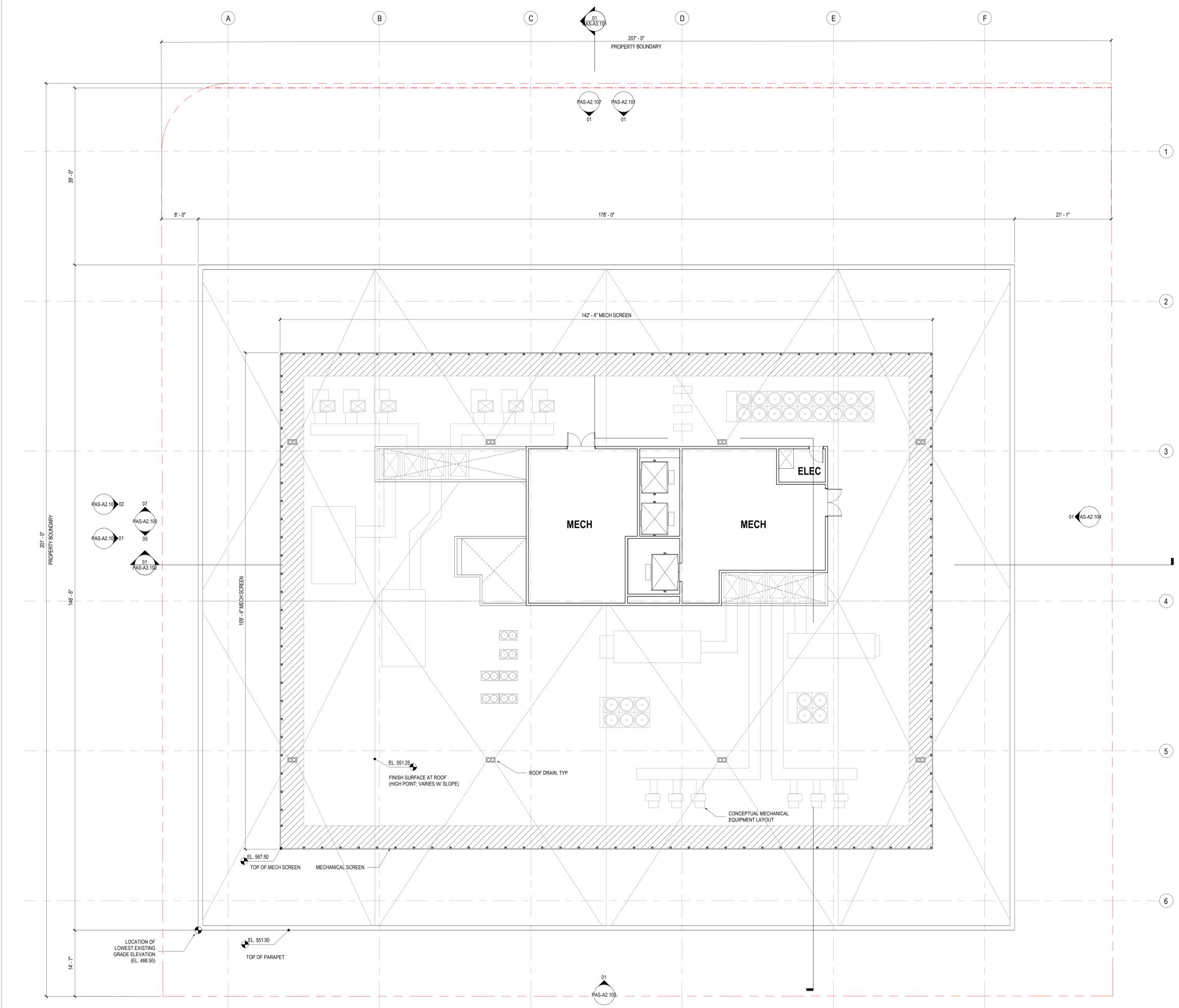
Project Name
CALTECH INNOVATION CENTER
Project Number
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Description
PROPOSED FLOOR PLAN - ROOF LEVEL

Scale
As indicated

PAS-A1.205

VICINITY MAP



01 PROPOSED FLOOR PLAN - ROOF LEVEL
SCALE: 1/8" = 1'-0"

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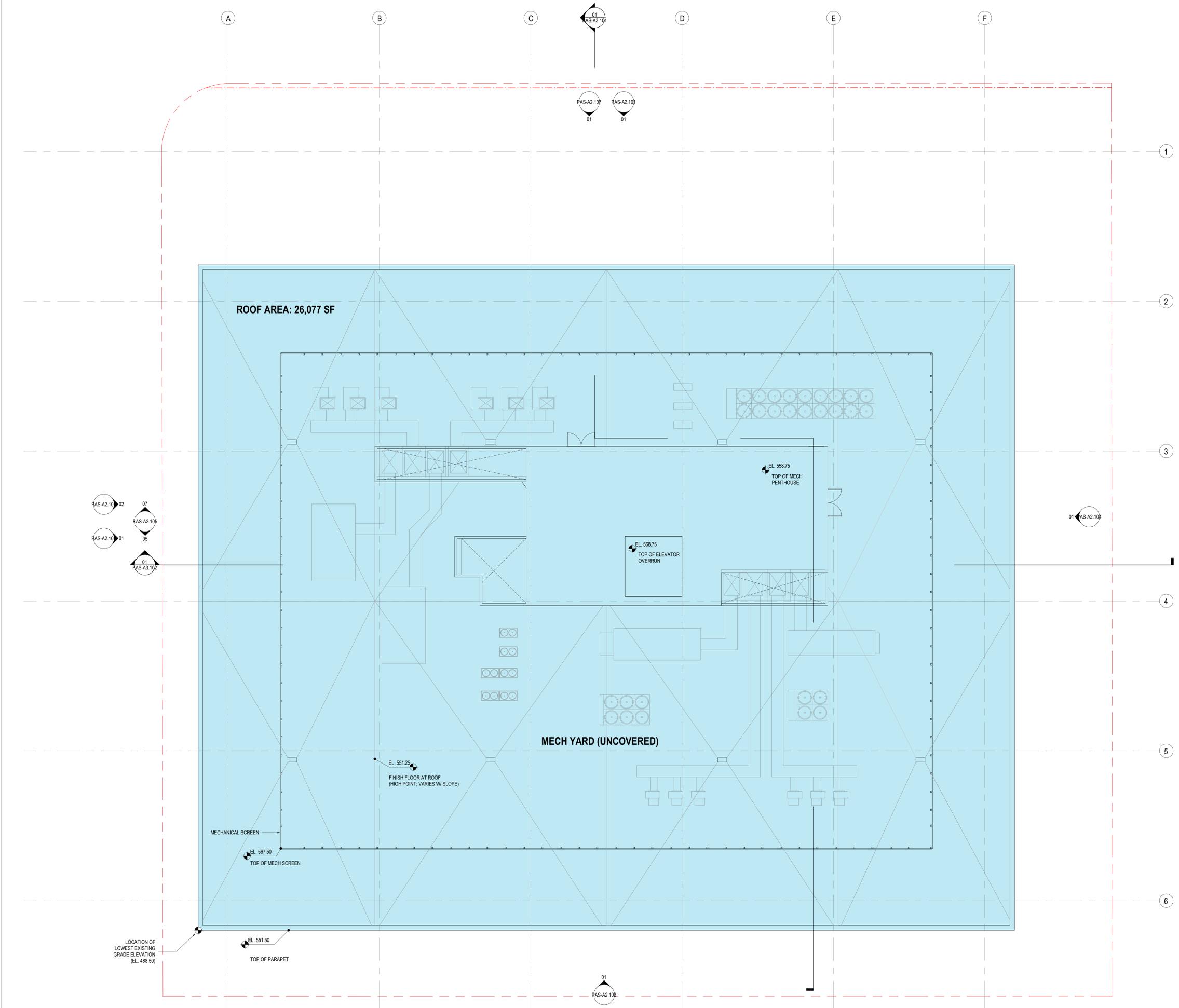
Project Name
CALTECH INNOVATION CENTER
Project Number
05.4988.000

Description
PROPOSED FLOOR PLAN - ROOF LEVEL - AREA EXHIBIT

Scale
As indicated

PAS-A1.205A

VICINITY MAP



01 PROPOSED FLOOR PLAN - ROOF LEVEL - AREA EXHIBIT

SCALE: 1/8" = 1'-0"

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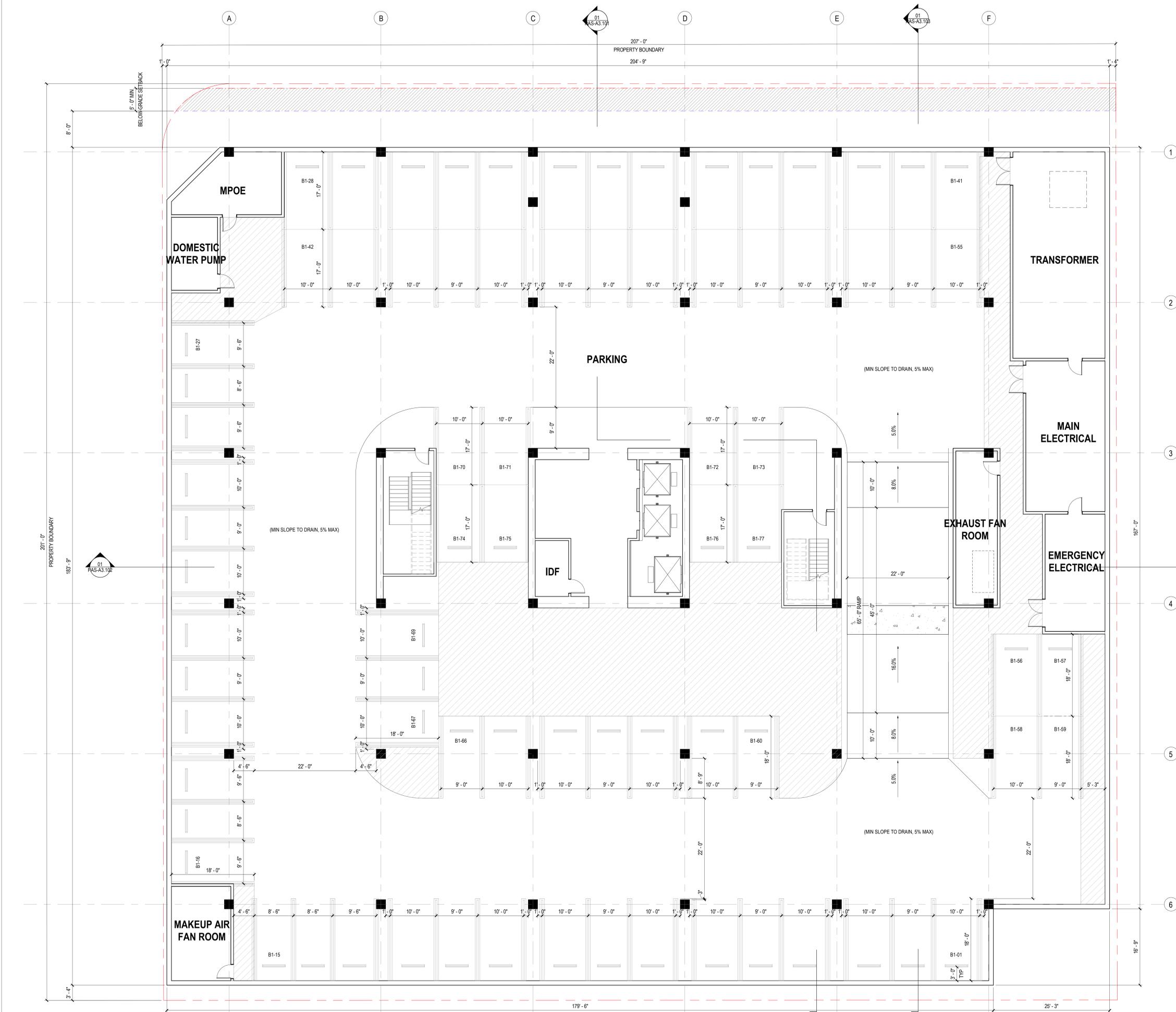
Project Name
CALTECH INNOVATION CENTER
Project Number
05.4988.000

Description
PROPOSED FLOOR PLAN - LOWER LEVEL 01

Scale
As indicated

PAS-A1.B01

VICINITY MAP



01 PROPOSED FLOOR PLAN - LOWER LEVEL 01
SCALE: 1/8" = 1'-0"

SHEET NOTES

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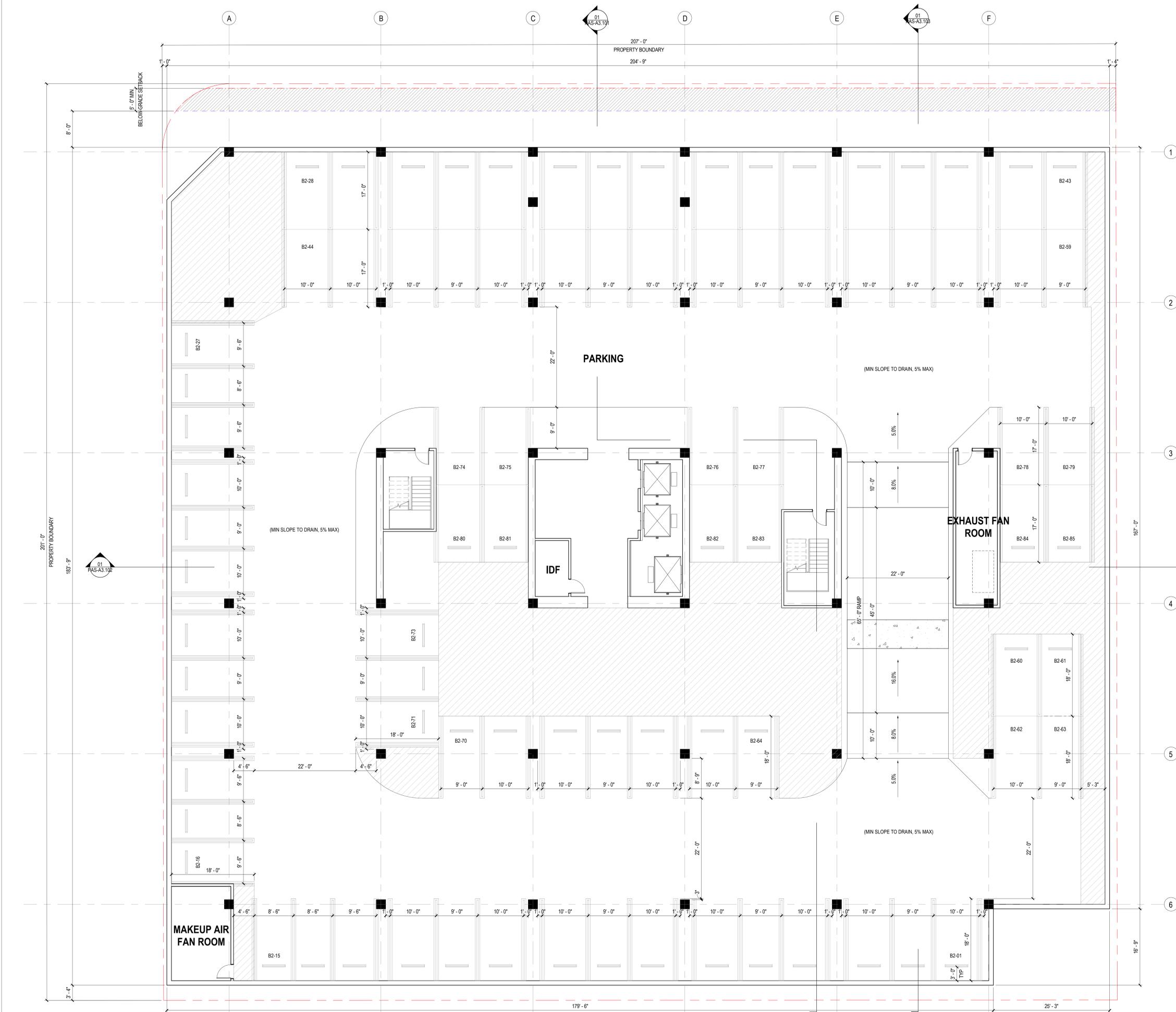
Project Name
CALTECH INNOVATION CENTER
Project Number
05.4988.000

Description
PROPOSED FLOOR PLAN - LOWER LEVEL 02

Scale
As indicated

PAS-A1.B02

VICINITY MAP



01 PROPOSED FLOOR PLAN - LOWER LEVEL 02

SCALE: 1/8" = 1'-0"

SHEET NOTES

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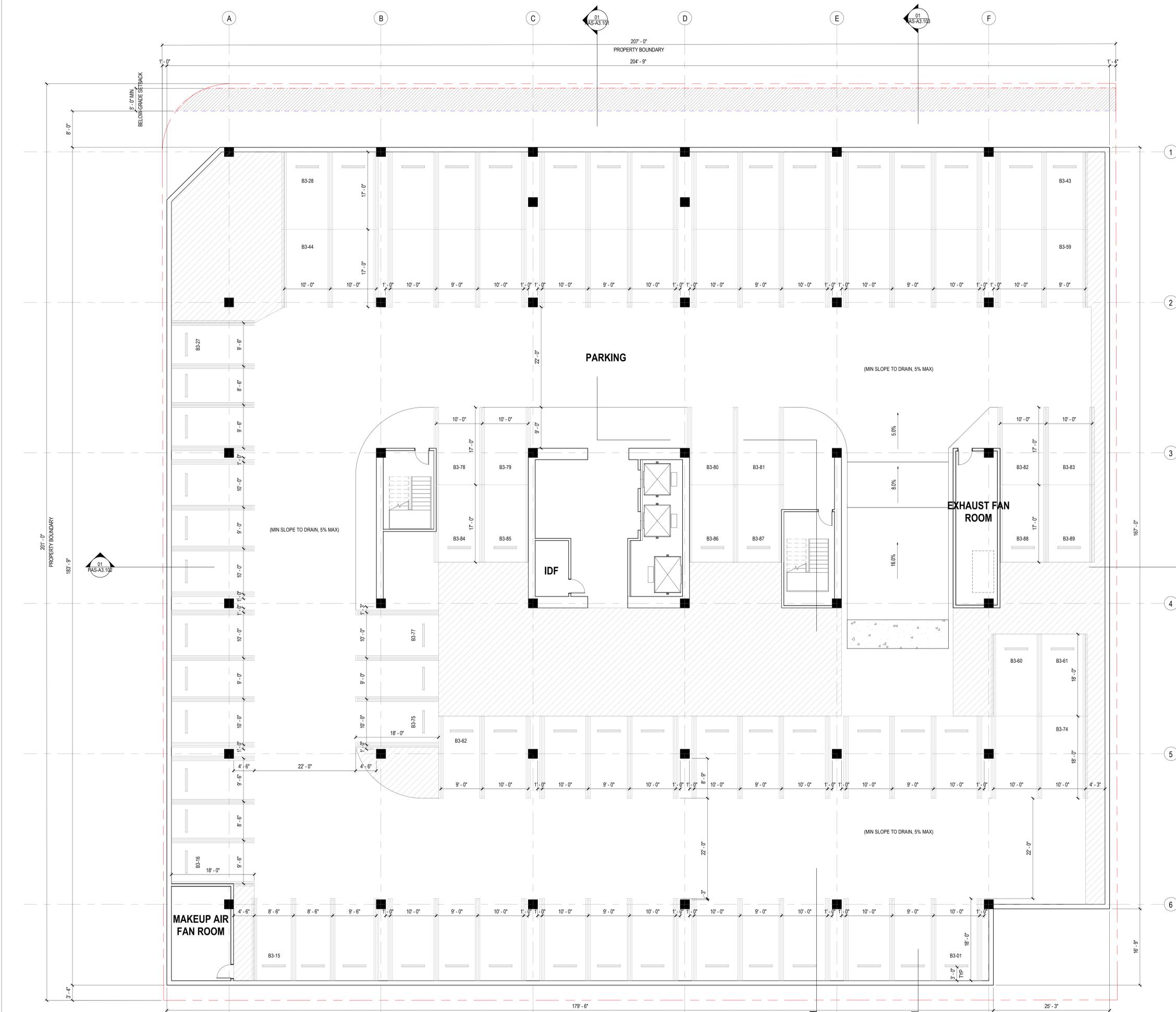
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Project Number
05.4988.000

Description
PROPOSED FLOOR PLAN - LOWER LEVEL 03

Scale
As indicated

PAS-A1.B03

VICINITY MAP



01 PROPOSED FLOOR PLAN - LOWER LEVEL 03
SCALE: 1/8" = 1'-0"

SHEET NOTES

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LEGEND

- GL-01 LAMINATED IGU VISION GLASS
- GL-05 LAMINATED IGU SPANDREL GLASS
- MTL-01 METAL PANEL COLOR 01
- MTL-02 METAL PANEL COLOR 02
- MTL-03 MECH SCREEN OPAQUE
- MTL-04 MECH SCREEN PERFORATED
- MTL-05 CANOPY/TRELLIS
- CONC-01 CONCRETE SKIM COAT
- EIFS-01 EXTERIOR INSULATION AND FINISH SYSTEMS W/ STUCCO FINISH

Date	Description
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Description
BUILDING ELEVATIONS

Scale
As indicated

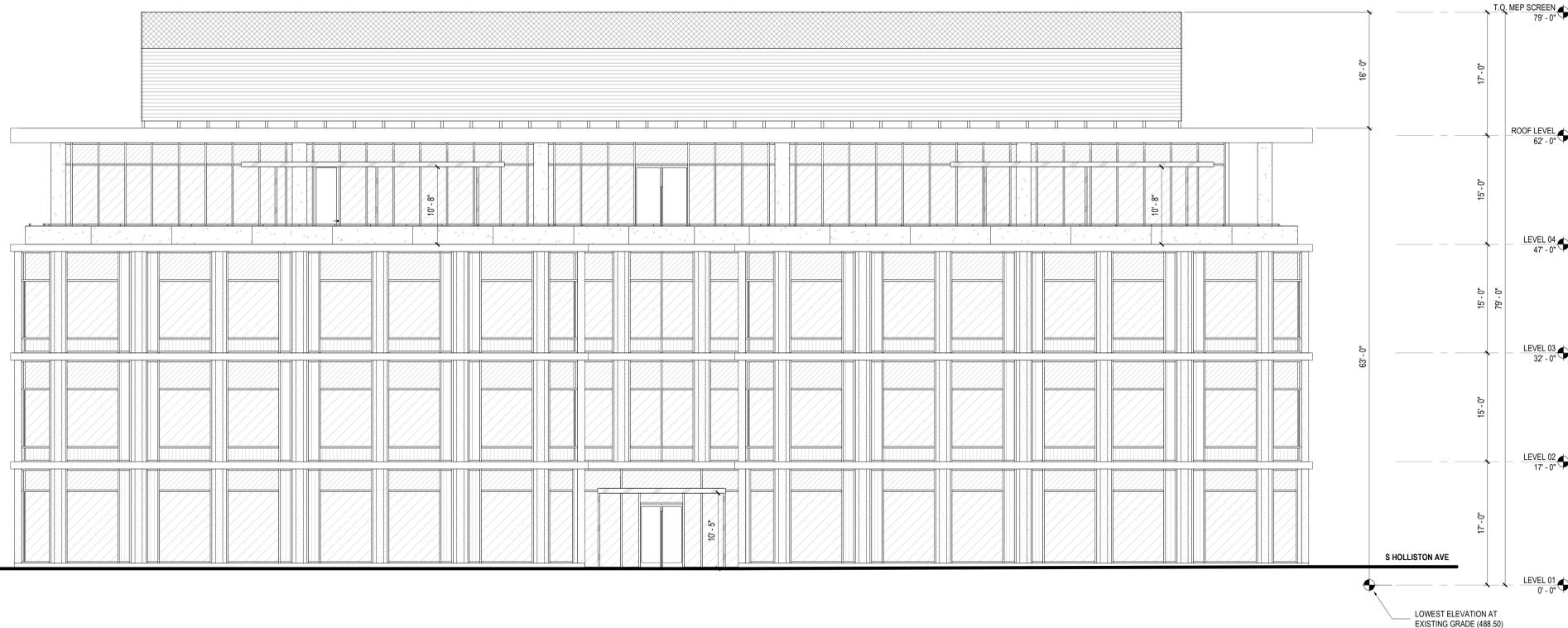
PAS-A2.101

VICINITY MAP



02 PROPOSED BUILDING ELEVATION - NORTH / GREEN ST (COLOR)

SCALE: 1/8" = 1'-0"



01 PROPOSED BUILDING ELEVATION - NORTH / GREEN ST

SCALE: 1/8" = 1'-0"

SHEET NOTES

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Tel 213.418.0201

SWA
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Tel 213.236.9090

LEGEND

- GL-01 LAMINATED IGU VISION GLASS
- GL-05 LAMINATED IGU SPANDREL GLASS
- MTL-01 METAL PANEL COLOR 01
- MTL-02 METAL PANEL COLOR 02
- MTL-03 MECH SCREEN OPAQUE
- MTL-04 MECH SCREEN PERFORATED
- MTL-05 CANOPY/TRELLIS
- CONC-01 CONCRETE SKIM COAT
- EIFS-01 EXTERIOR INSULATION AND FINISH SYSTEMS W/ STUCCO FINISH

Date	Description
08/08/2025	CONCEPT DESIGN REVIEW SUBMITTAL
09/18/2025	CONCEPT DESIGN REVIEW SUBMITTAL REVISION
11/05/2025	CONCEPT DESIGN REVIEW SUBMITTAL REVISION 2

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
CALTECH INNOVATION CENTER

Project Number
05.4988.000

Description
BUILDING ELEVATIONS

Scale
As indicated

PAS-A2.102

VICINITY MAP



02 PROPOSED BUILDING ELEVATION - WEST / HOLLISTON AVE (COLOR)

SCALE: 1/8" = 1'-0"



01 PROPOSED BUILDING ELEVATION - WEST / HOLLISTON AVE

SCALE: 1/8" = 1'-0"

SHEET NOTES

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LEGEND

- GL-01 LAMINATED IGU VISION GLASS
- GL-05 LAMINATED IGU SPANDREL GLASS
- MTL-01 METAL PANEL COLOR 01
- MTL-02 METAL PANEL COLOR 02
- MTL-03 MECH SCREEN OPAQUE
- MTL-04 MECH SCREEN PERFORATED
- MTL-05 CANOPY/TRELLIS
- CONC-01 CONCRETE SKIM COAT
- EIFS-01 EXTERIOR INSULATION AND FINISH SYSTEMS W/ STUCCO FINISH

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09/18/2025	CONCEPT DESIGN REVIEW SUBMITTAL REVISION
11/05/2025	CONCEPT DESIGN REVIEW SUBMITTAL REVISION 2

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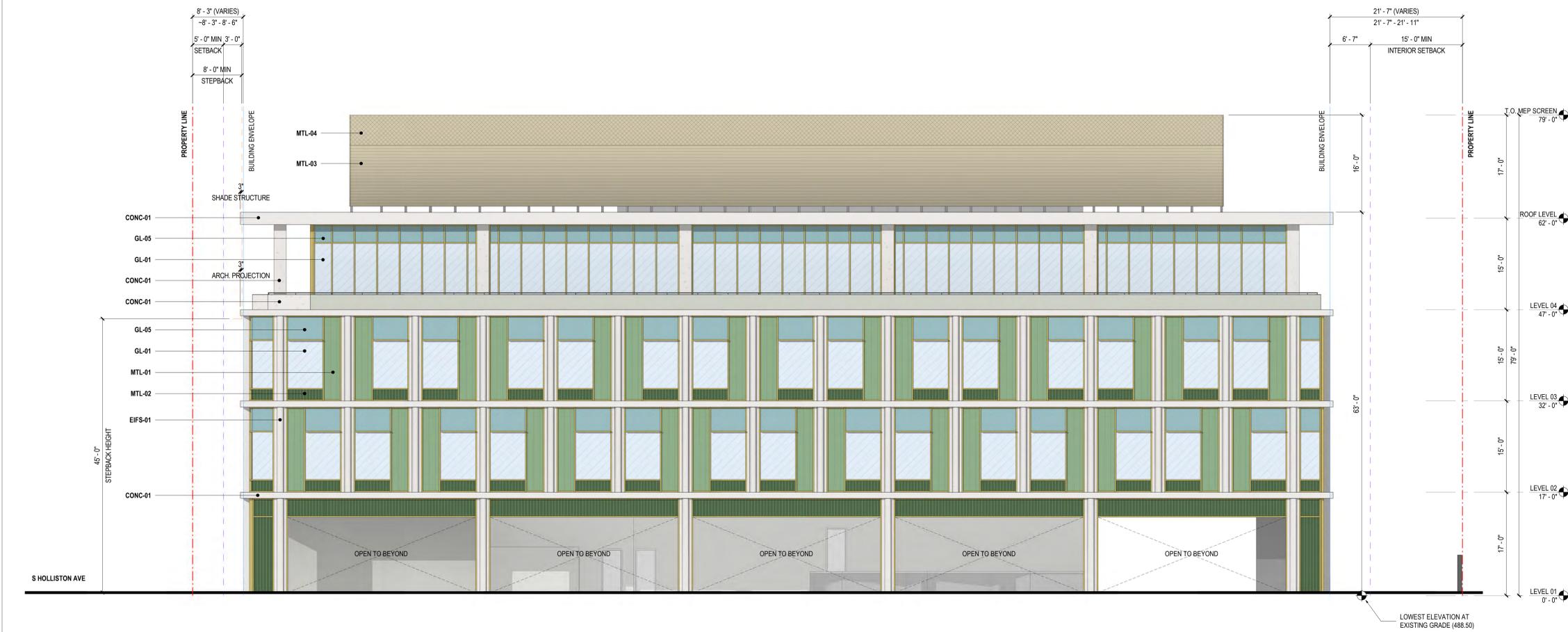
Project Name
CALTECH INNOVATION CENTER
Project Number
05.4988.000

Description
BUILDING ELEVATIONS

Scale
As indicated

PAS-A2.103

VICINITY MAP



02 PROPOSED BUILDING ELEVATION - SOUTH (COLOR)

SCALE: 1/8" = 1'-0"



01 PROPOSED BUILDING ELEVATION - SOUTH

SCALE: 1/8" = 1'-0"

SHEET NOTES

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Tel 213.236.9090

LEGEND

- | | |
|--|--|
| GL-01
LAMINATED IGU
VISION GLASS | GL-05
LAMINATED IGU
SPANDREL GLASS |
| MTL-01
METAL PANEL
COLOR 01 | MTL-02
METAL PANEL
COLOR 02 |
| MTL-03
MECH SCREEN
OPAQUE | MTL-04
MECH SCREEN
PERFORATED |
| MTL-05
CANOPY/TRELLIS | CONC-01
CONCRETE
SKIM COAT |
| EIFS-01
EXTERIOR
INSULATION AND
FINISH SYSTEMS
W/ STUCCO
FINISH | |

Date	Description
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09/18/2025	CONCEPT DESIGN REVIEW SUBMITTAL REVISION
11/05/2025	CONCEPT DESIGN REVIEW SUBMITTAL REVISION 2

Seal / Signature

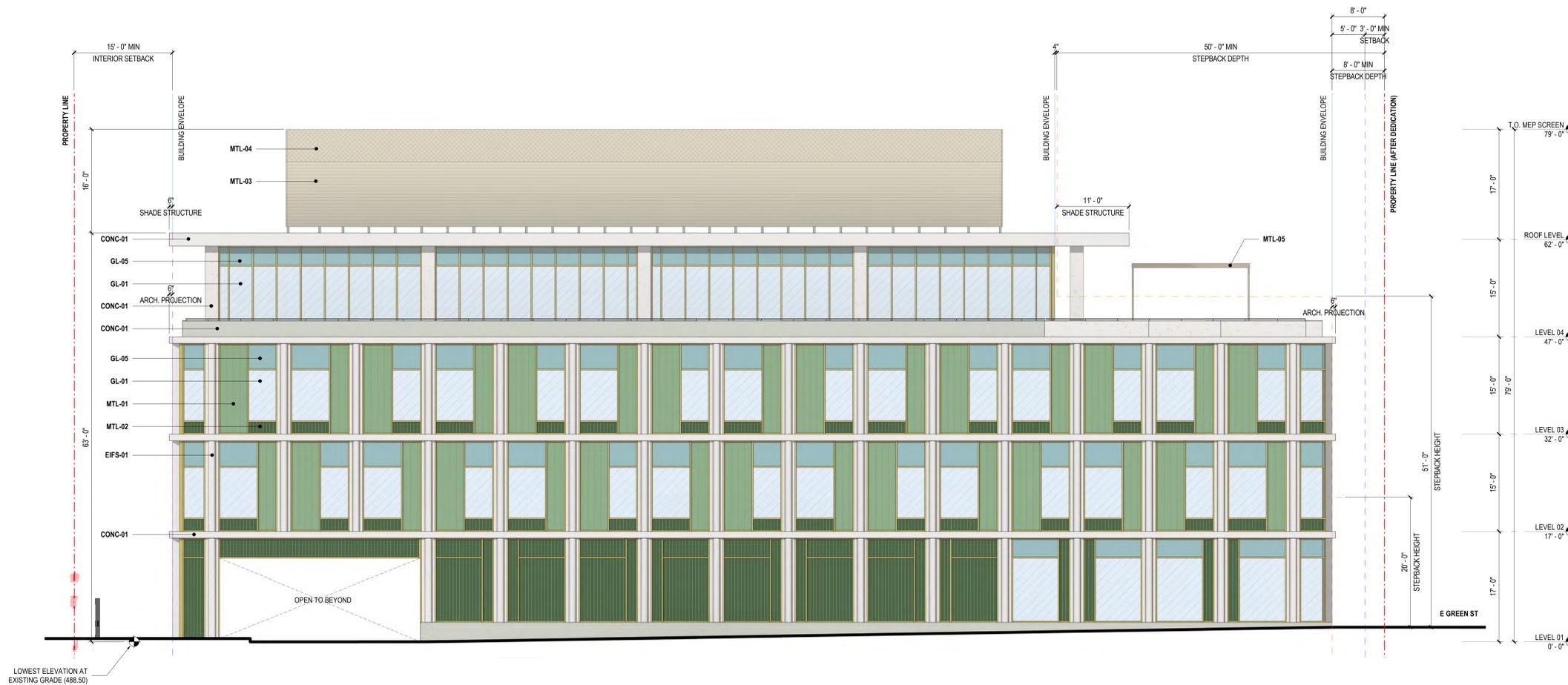
NOT FOR CONSTRUCTION

Project Name
CALTECH INNOVATION CENTER
Project Number
05.4988.000
Description
BUILDING ELEVATIONS

Scale
As indicated

PAS-A2.104

VICINITY MAP



02 PROPOSED BUILDING ELEVATION - EAST (COLOR)

SCALE: 1/8" = 1'-0"



01 PROPOSED BUILDING ELEVATION - EAST

SCALE: 1/8" = 1'-0"

SHEET NOTES

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LEGEND

- | | |
|--|--|
|  GL-01
LAMINATED IGU
VISION GLASS |  GL-05
LAMINATED IGU
SPANDREL GLASS |
|  MTL-01
METAL PANEL
COLOR 01 |  MTL-02
METAL PANEL
COLOR 02 |
|  MTL-03
MECH SCREEN
OPAQUE |  MTL-04
MECH SCREEN
PERFORATED |
|  MTL-05
CANOPY/TRELLIS |  CONC-01
CONCRETE
SKIM COAT |
|  EIFS-01
EXTERIOR
INSULATION AND
FINISH SYSTEMS
W/ STUCCO
FINISH | |

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09/18/2025	CONCEPT DESIGN REVIEW SUBMITTAL REVISION
11/05/2025	CONCEPT DESIGN REVIEW SUBMITTAL REVISION 2

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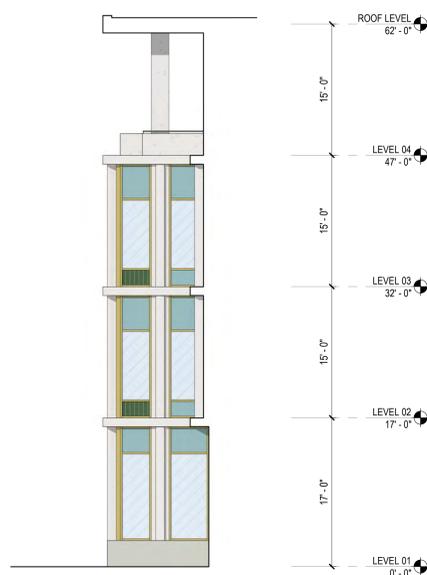
Project Name
CALTECH INNOVATION CENTER
Project Number
05.4988.000

Description
BUILDING ELEVATIONS - SECONDARY

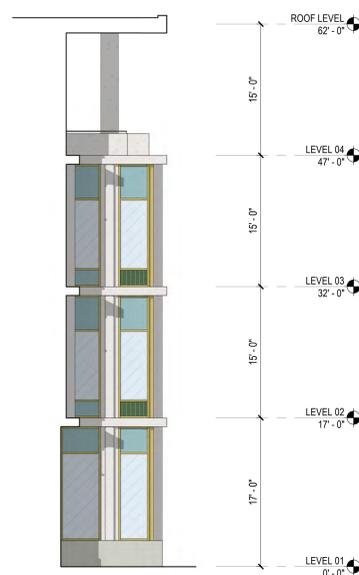
Scale
As indicated

PAS-A2.105

VICINITY MAP



08 PARTIAL ELEV - WEST / NORTH (COLOR)
SCALE: 1/8" = 1'-0"



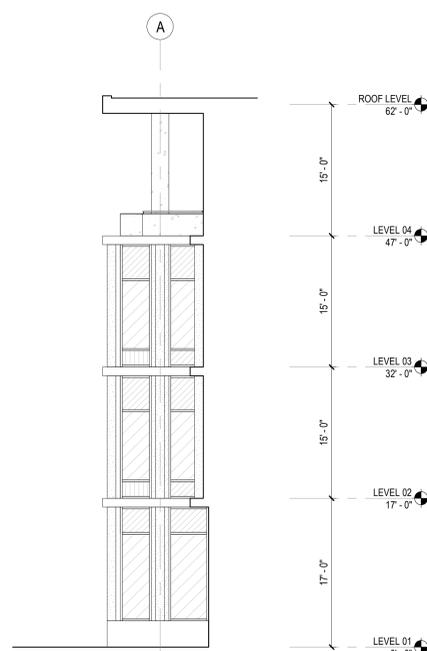
06 PARTIAL ELEV - WEST / SOUTH (COLOR)
SCALE: 1/8" = 1'-0"



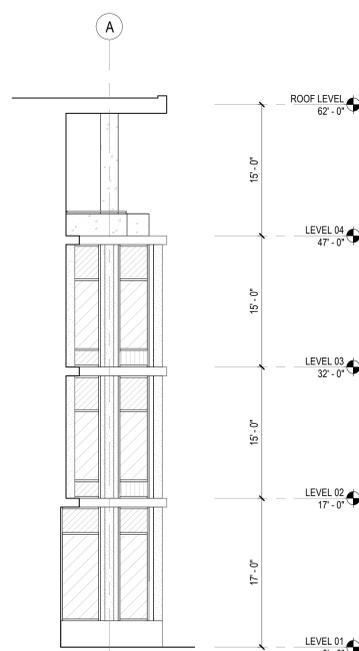
04 PARTIAL ELEV - NORTH / EAST (COLOR)
SCALE: 1/8" = 1'-0"



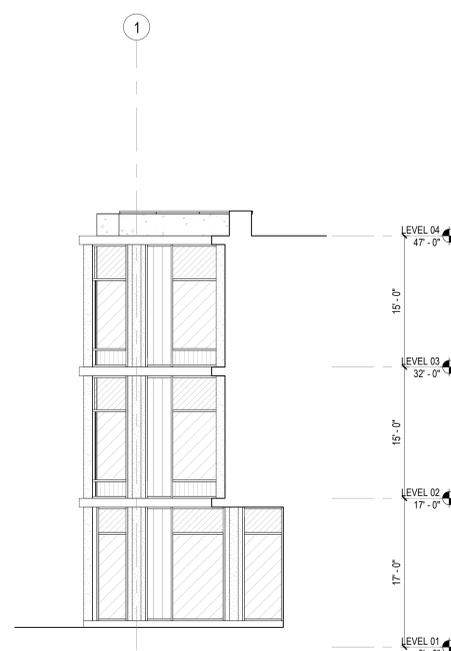
02 PARTIAL ELEV - NORTH / WEST (COLOR)
SCALE: 1/8" = 1'-0"



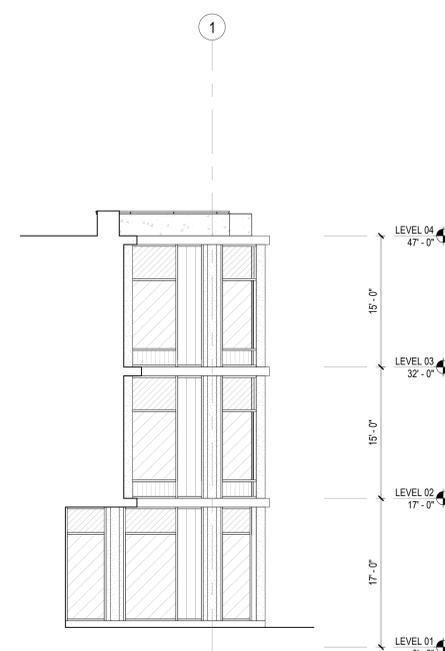
07 PARTIAL ELEV - WEST / NORTH
SCALE: 1/8" = 1'-0"



05 PARTIAL ELEV - WEST / SOUTH
SCALE: 1/8" = 1'-0"



03 PARTIAL ELEV - NORTH / EAST
SCALE: 1/8" = 1'-0"



01 PARTIAL ELEV - NORTH / WEST
SCALE: 1/8" = 1'-0"

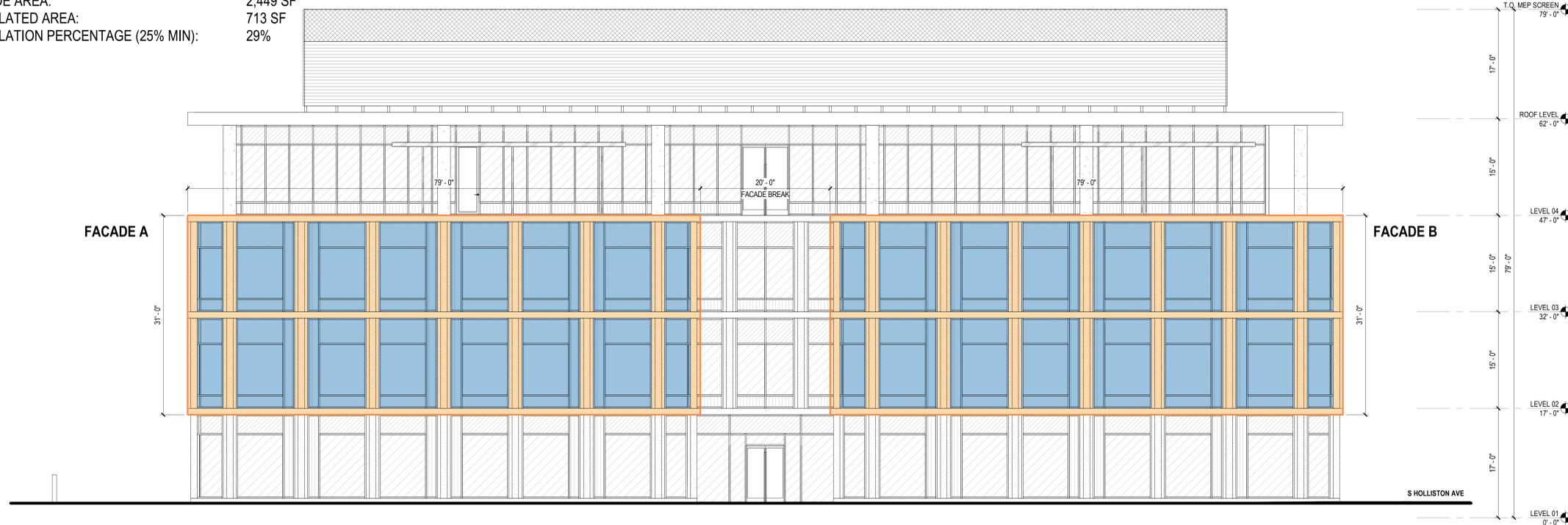
GREEN ST

FACADE A

FACADE AREA: 2,449 SF
 MODULATED AREA: 713 SF
 MODULATION PERCENTAGE (25% MIN): 29%

FACADE B

FACADE AREA: 2,449 SF
 MODULATED AREA: 713 SF
 MODULATION PERCENTAGE (25% MIN): 29%



02 MODULATION EXHIBIT - NORTH / GREEN ST

SCALE: 1/8" = 1'-0"

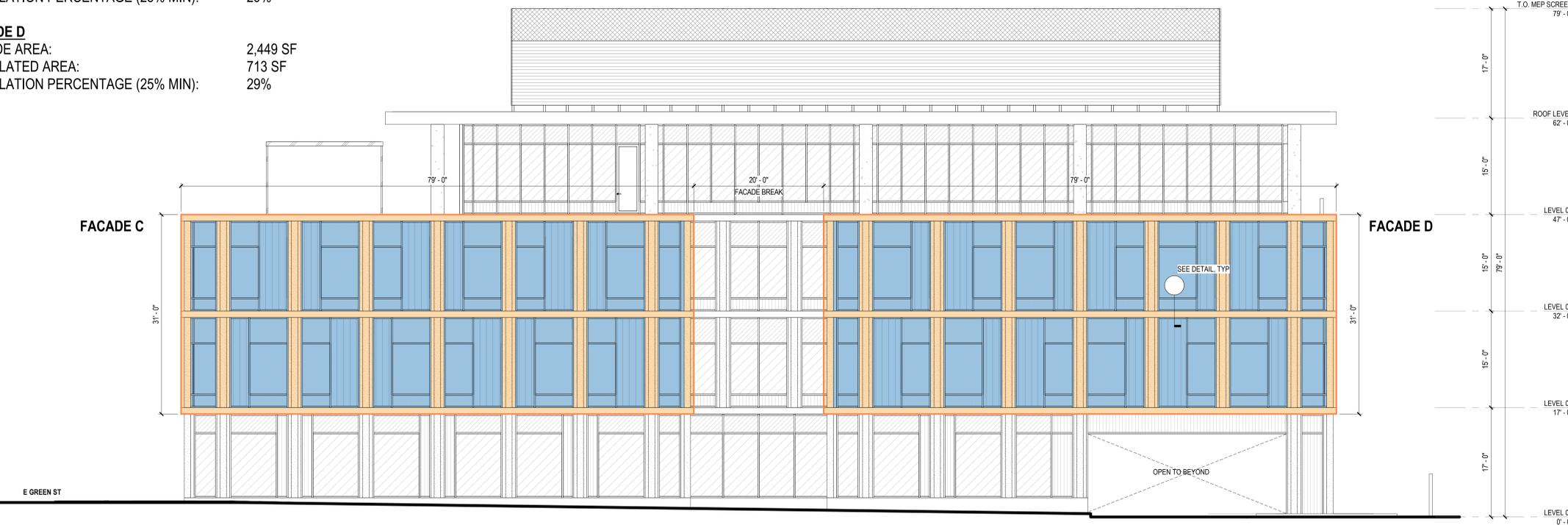
HOLLISTON AVE

FACADE C

FACADE AREA: 2,449 SF
 MODULATED AREA: 713 SF
 MODULATION PERCENTAGE (25% MIN): 29%

FACADE D

FACADE AREA: 2,449 SF
 MODULATED AREA: 713 SF
 MODULATION PERCENTAGE (25% MIN): 29%



01 MODULATION EXHIBIT - WEST / HOLLISTON AVE

SCALE: 1/8" = 1'-0"

SHEET NOTES

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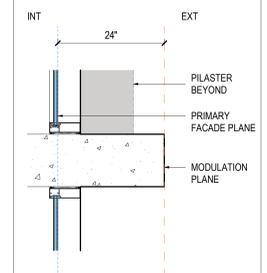
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 Los Angeles, CA 90017
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LEGEND

- FACADE AREA
- MODULATED AREA
- PRIMARY FACADE PLANE

Date	Description
09/18/2025	CONCEPT DESIGN REVIEW SUBMITTAL REVISION
11/05/2025	CONCEPT DESIGN REVIEW SUBMITTAL REVISION 2

TYPICAL MODULATION DETAIL



Seal / Signature

NOT FOR CONSTRUCTION

Project Name
CALTECH INNOVATION CENTER
 Project Number
05.4988.000

Description
 BUILDING ELEVATIONS -
 MODULATION EXHIBIT

Scale
 As indicated

PAS-A2.106

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VICINITY MAP



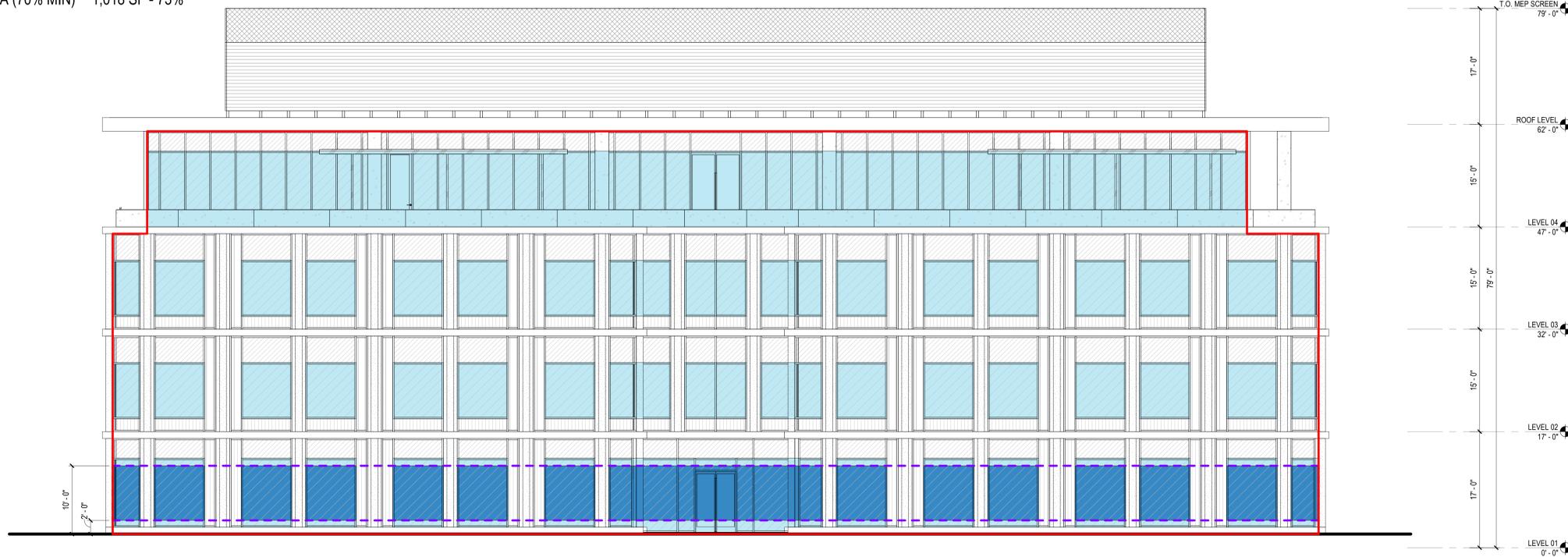
GREEN ST

OVERALL

FACADE AREA: 10,094 SF - 100%
 TRANSPARENT AREA (30% MIN): 5,096 SF - 50%

GROUND FLOOR

FACADE AREA 1,400 SF - 100%
 TRANSPARENT AREA (70% MIN) 1,018 SF - 73%



01 TRANSPARENCY EXHIBIT - NORTH / GREEN ST

SCALE: 1/8" = 1'-0"

HOLLISTON AVE

OVERALL

FACADE AREA: 9,516 SF - 100%
 TRANSPARENT AREA (30% MIN): 3,745 SF - 39%

GROUND FLOOR

FACADE AREA: 1,106 SF - 100%
 TRANSPARENT AREA (70% MIN): 796 SF - 72%



02 TRANSPARENCY EXHIBIT - WEST / HOLLISTON AVE

SCALE: 1/8" = 1'-0"

SHEET NOTES

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LEGEND

- FACADE AREA - OVERALL
- TRANSPARENT AREA - OVERALL
- FACADE AREA - GROUND FLOOR
- TRANSPARENT AREA - GROUND FLOOR

Date	Description
09/18/2025	CONCEPT DESIGN REVIEW SUBMITTAL REVISION
11/05/2025	CONCEPT DESIGN REVIEW SUBMITTAL REVISION 2

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
CALTECH INNOVATION CENTER
 Project Number
05.4988.000

Description
 BUILDING ELEVATIONS -
 TRANSPARENCY EXHIBIT

Scale
 As indicated

PAS-A2.107

VICINITY MAP



SHEET NOTES

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GENERAL NOTES

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11/05/2025	CONCEPT DESIGN REVIEW SUBMITTAL REVISION 2

Seal / Signature

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Project Name
CALTECH INNOVATION CENTER

Project Number
05.4988.000

Description
BUILDING SECTIONS

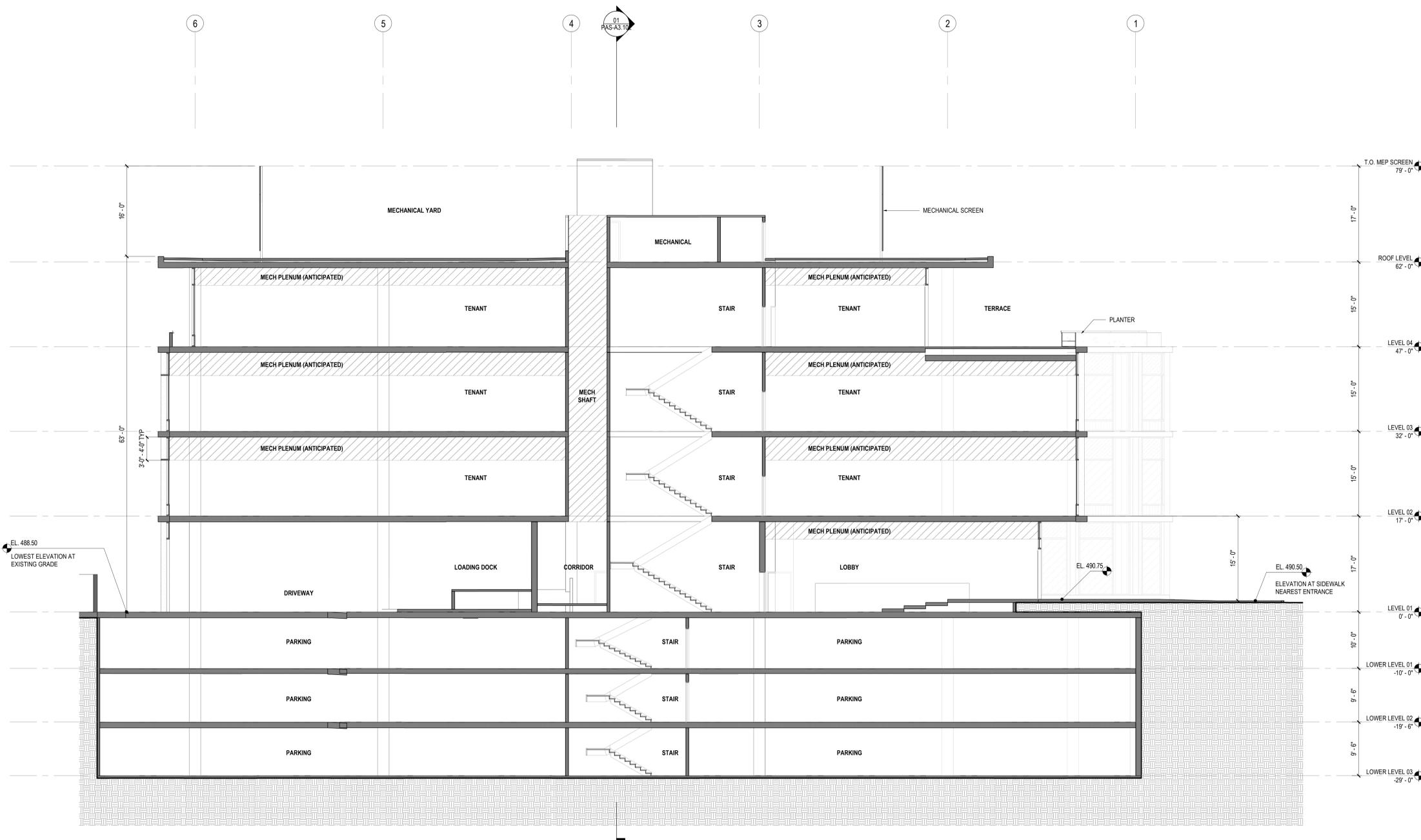
KEY PLAN



Scale
As indicated

PAS-A3.101

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01 PROPOSED BUILDING SECTION - N-S
SCALE: 1/8" = 1'-0"

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GENERAL NOTES

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11/05/2025	CONCEPT DESIGN REVIEW SUBMITTAL REVISION 2

Seal / Signature

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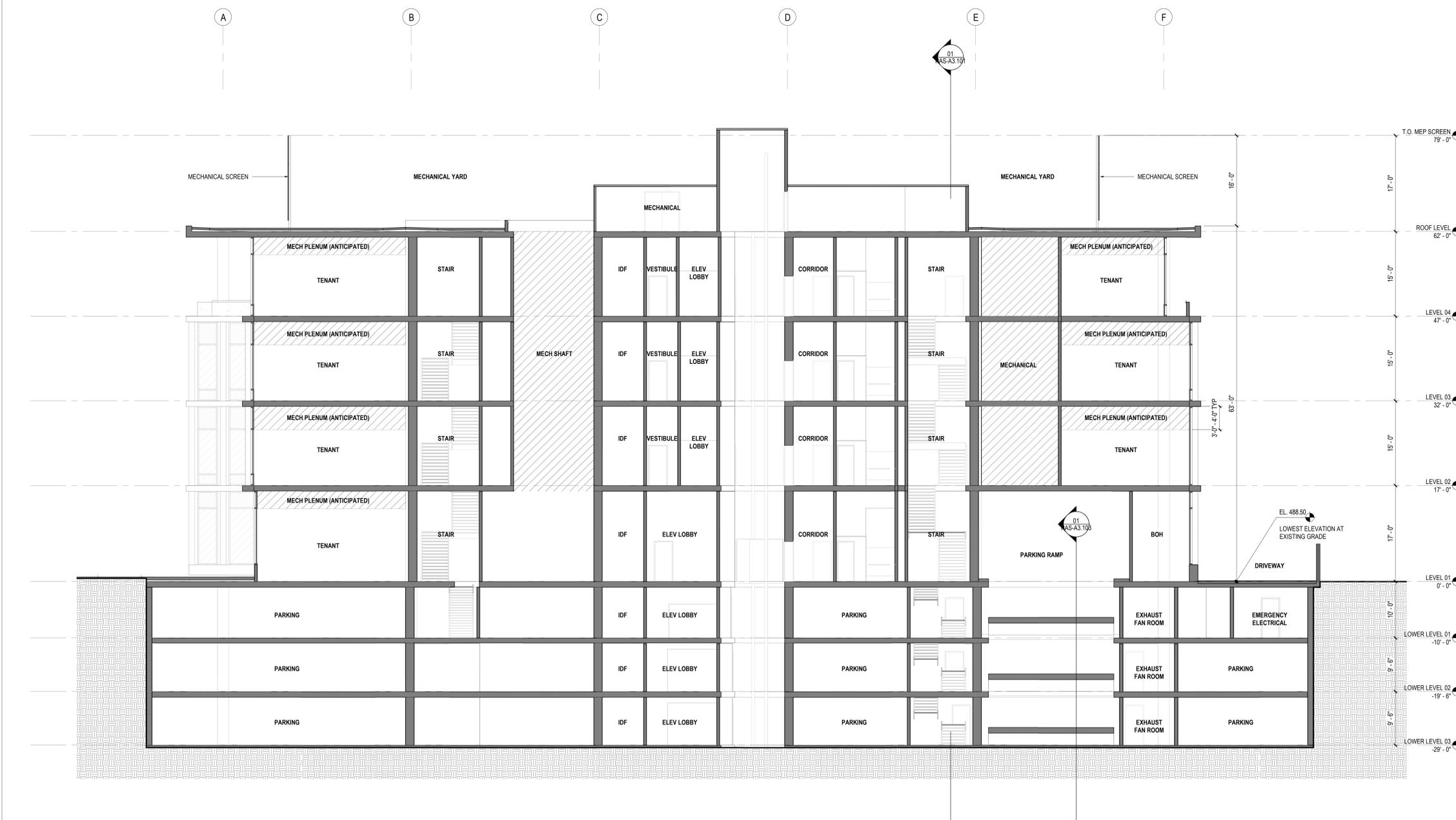
Project Name
CALTECH INNOVATION CENTER
Project Number
05.4988.000

Description
BUILDING SECTIONS

Scale
As indicated

PAS-A3.102

KEY PLAN



01 PROPOSED BUILDING SECTION - E-W
SCALE: 1/8" = 1'-0"

GENERAL NOTES

Date	Description
09/18/2025	CONCEPT DESIGN REVIEW SUBMITTAL REVISION
11/05/2025	CONCEPT DESIGN REVIEW SUBMITTAL REVISION 2

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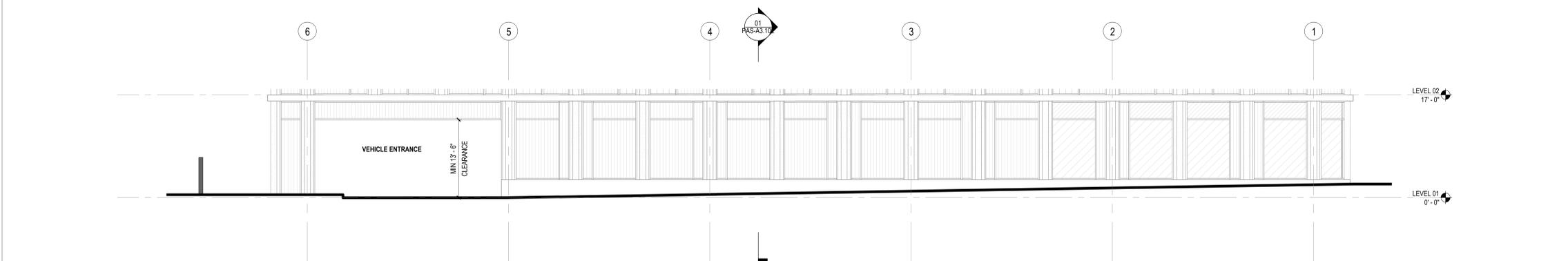
Project Name
CALTECH INNOVATION CENTER
Project Number
05.4988.000

Description
PARKING RAMP AND CLEARANCES EXHIBIT

Scale
As indicated

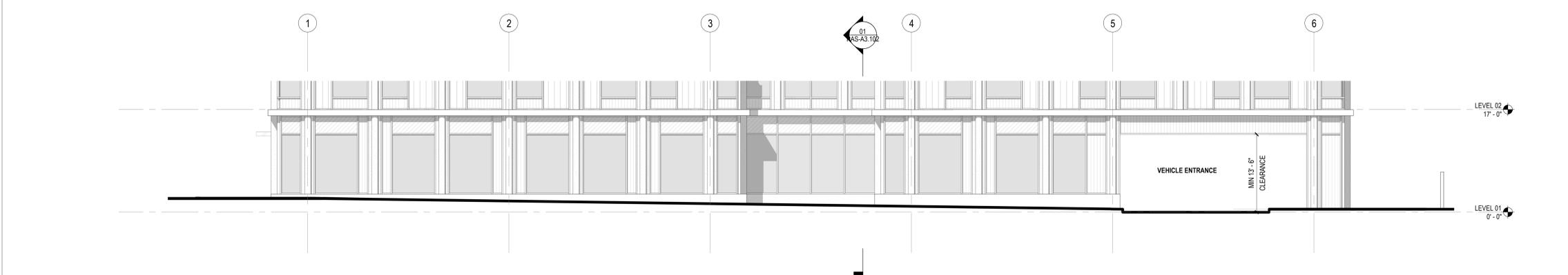
PAS-A3.103

KEY PLAN



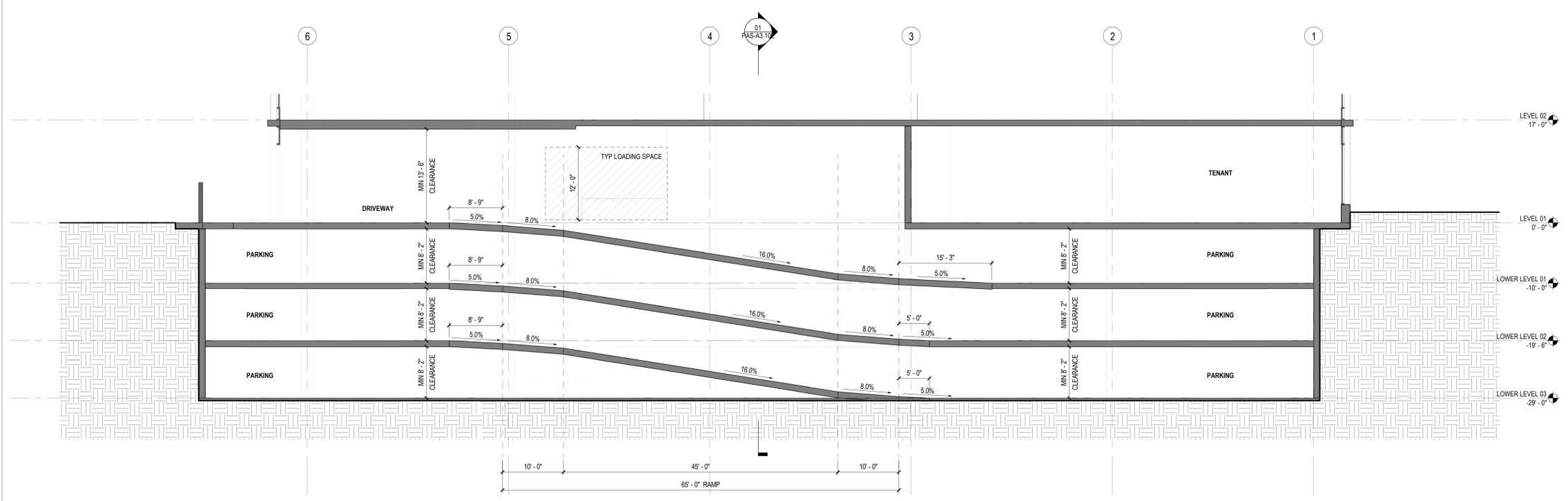
03 VEHICLE ENTRANCE AT DRIVEWAY ON BLDG EAST

SCALE: 1/8" = 1'-0"



02 VEHICLE ENTRANCE ON HOLLISTON AVE

SCALE: 1/8" = 1'-0"



01 PARKING RAMP SECTION

SCALE: 1/8" = 1'-0"

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LEGEND

-  VIEW CORRIDOR
-  PROPOSED LANDSCAPING

Date	Description
09/18/2025	CONCEPT DESIGN REVIEW SUBMITTAL REVISION 1
11/05/2025	CONCEPT DESIGN REVIEW SUBMITTAL REVISION 2

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
CALTECH INNOVATION CENTER
Project Number
05.4988.000

Description
VIEW CORRIDOR EXHIBIT

Scale
As indicated

PAS-A3.104

KEY PLAN

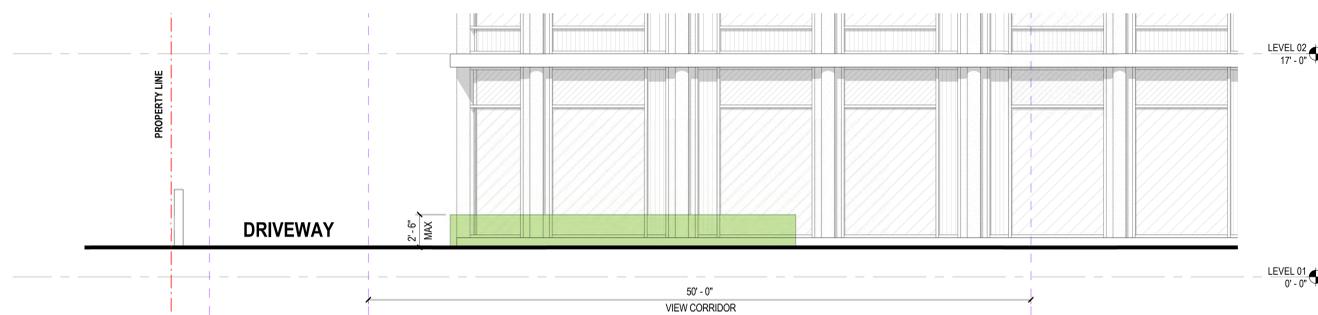


GREEN ST

VIEW CORRIDOR AREA 132 SF 100%
LANDSCAPED AREA (50% MIN) 78 SF 59%



SITE PLAN - VIEW CORRIDOR - GREEN ST



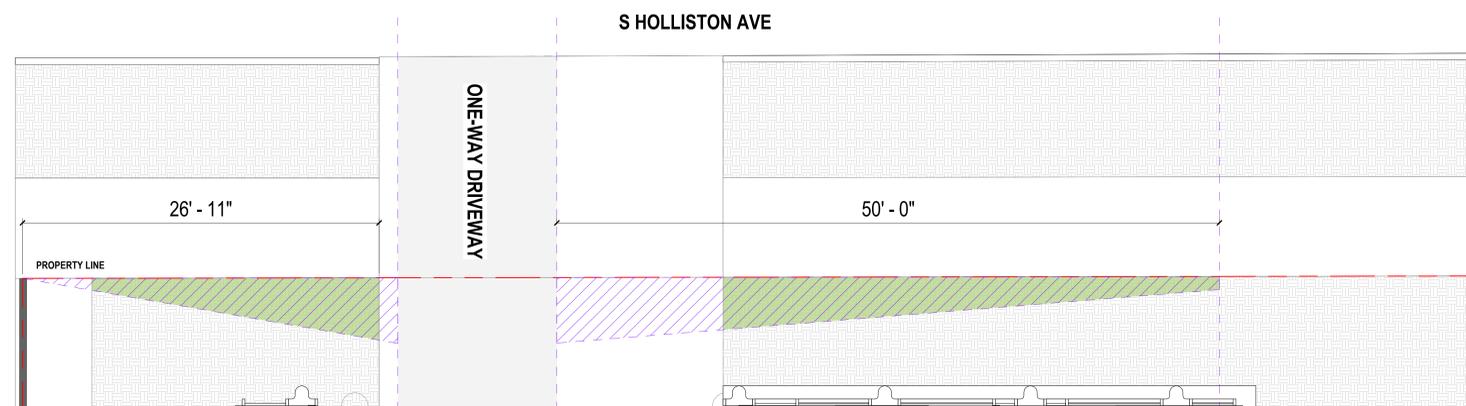
ELEVATION - VIEW CORRIDOR - GREEN ST

02 VIEW CORRIDOR EXHIBIT - GREEN ST

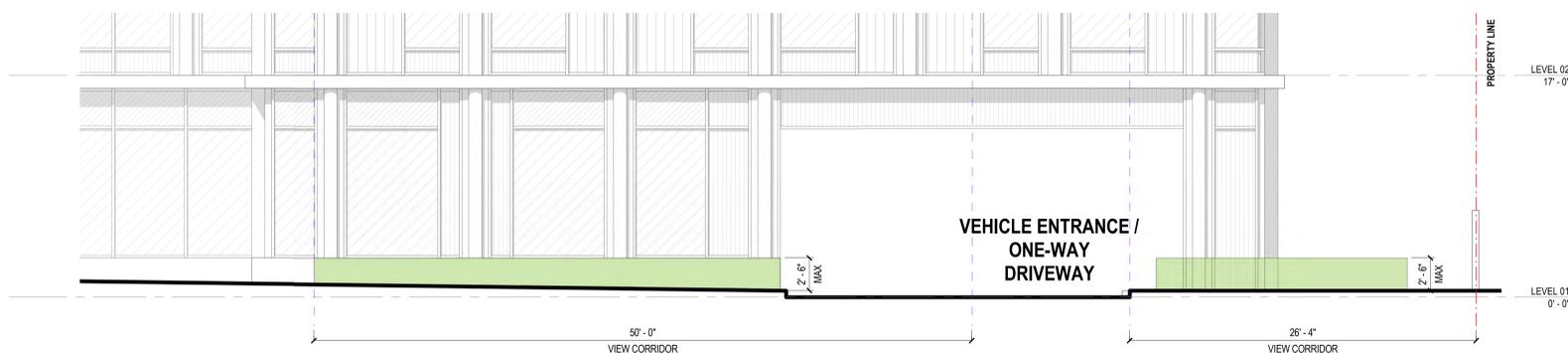
SCALE: 3/16" = 1'-0"

HOLLISTON AVE

VIEW CORRIDOR AREA 221 SF 100%
LANDSCAPED AREA (50% MIN) 155 SF 70%



SITE PLAN - VIEW CORRIDOR - HOLLISTON AVE



ELEVATION - VIEW CORRIDOR - HOLLISTON AVE

01 VIEW CORRIDOR EXHIBIT - HOLLISTON AVE

SCALE: 3/16" = 1'-0"

VIEW FROM GREEN ST,
LOOKING SOUTH



BUILDING ENTRY ON
GREEN ST



SHEET NOTES

**CALTECH
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Project Name

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CENTER

Project Number

05.4988.000

Description

PERSPECTIVE RENDERINGS

KEY PLAN



Scale

NOT TO SCALE

PAS-A4.101

VIEW FROM HOLLISTON AVE,
LOOKING SOUTHEAST



VIEW FROM GREEN ST,
LOOKING EAST



SHEET NOTES

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CALTECH INNOVATION
CENTER

Project Number

05.4988.000

Description

PERSPECTIVE RENDERINGS

KEY PLAN



Scale

NOT TO SCALE

PAS-A4.102

VIEW FROM HOLLISTON AVE,
LOOKING NORTH



VIEW FROM HOLLISTON AVE,
LOOKING NORTH



SHEET NOTES

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Project Name

CALTECH INNOVATION
CENTER

Project Number

05.4988.000

Description

PERSPECTIVE RENDERINGS

Scale

NOT TO SCALE

PAS-A4.103

KEY PLAN



VIEW FROM ADJACENT
PARKING LOT,
LOOKING NORTH



VIEW FROM HILL ST & GREEN ST,
LOOKING WEST



SHEET NOTES

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Project Number

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Description

PERSPECTIVE RENDERINGS

Scale

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PAS-A4.104

KEY PLAN



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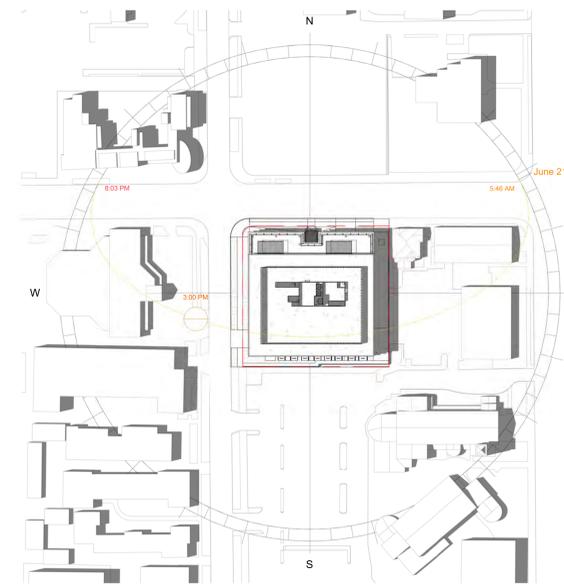
Project Number
05.4988.000

Description
SHADOW STUDY

KEY PLAN

Scale
1" = 100'-0"

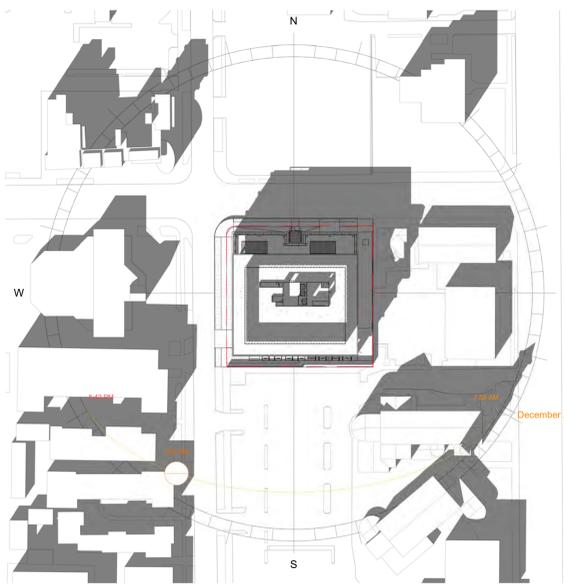
PAS-A5.100



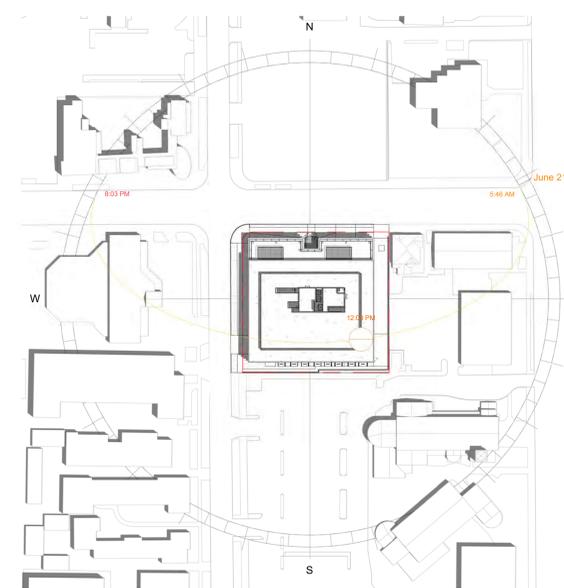
3 SHADOW STUDY - JUNE 21 @ 3PM
SCALE: 1" = 100'-0"



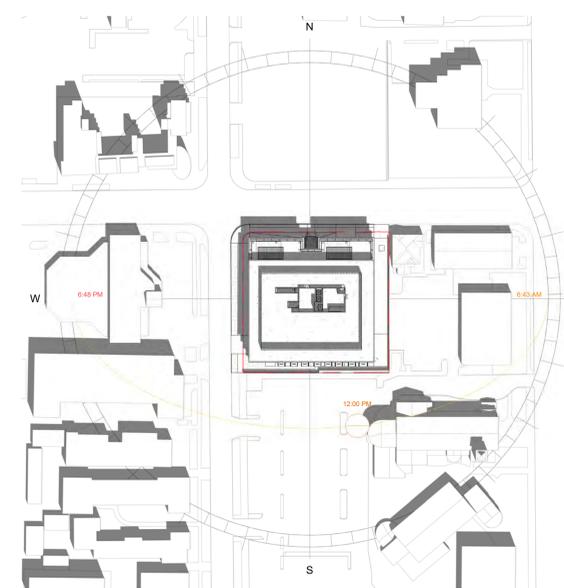
6 SHADOW STUDY - MAR/ SEP 21 @ 3PM
SCALE: 1" = 100'-0"



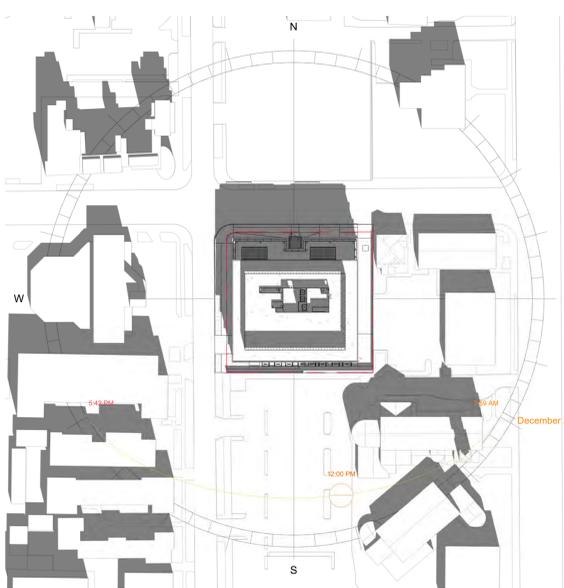
9 SHADOW STUDY - DEC 21 @ 3PM
SCALE: 1" = 100'-0"



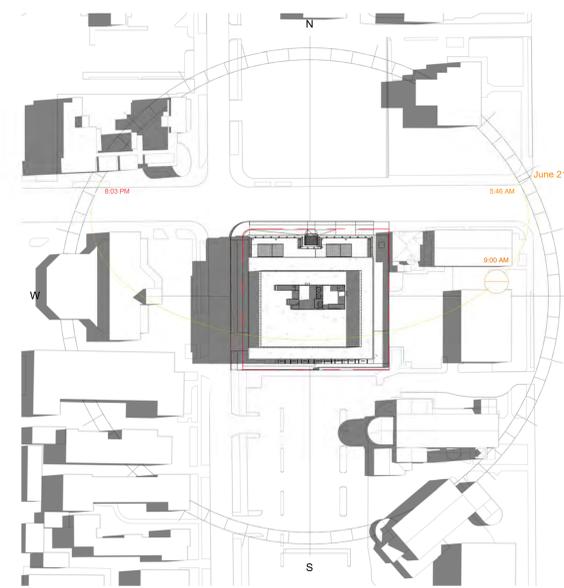
2 SHADOW STUDY - JUNE 21 @ 12PM
SCALE: 1" = 100'-0"



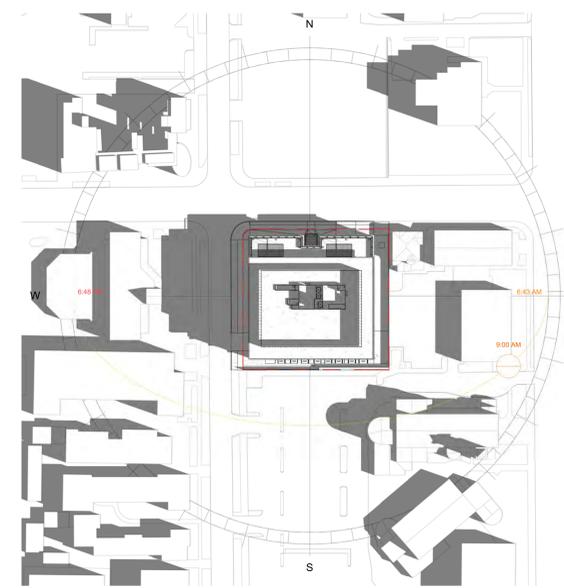
5 SHADOW STUDY - MAR/ SEP 21 @ 12PM
SCALE: 1" = 100'-0"



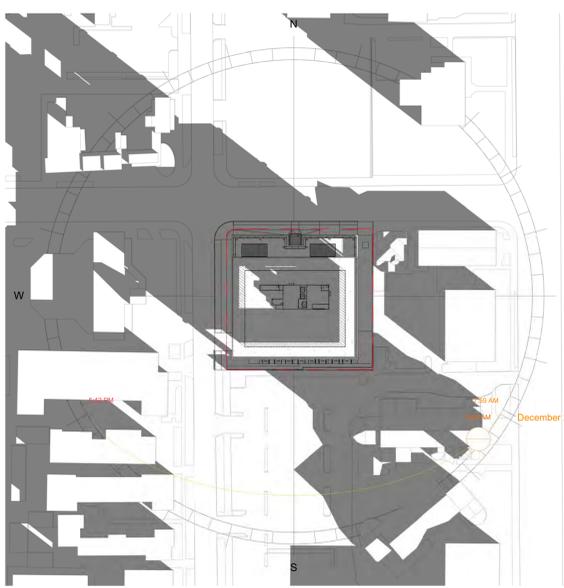
8 SHADOW STUDY - DEC 21 @ 12PM
SCALE: 1" = 100'-0"



1 SHADOW STUDY - JUNE 21 @ 9AM
SCALE: 1" = 100'-0"

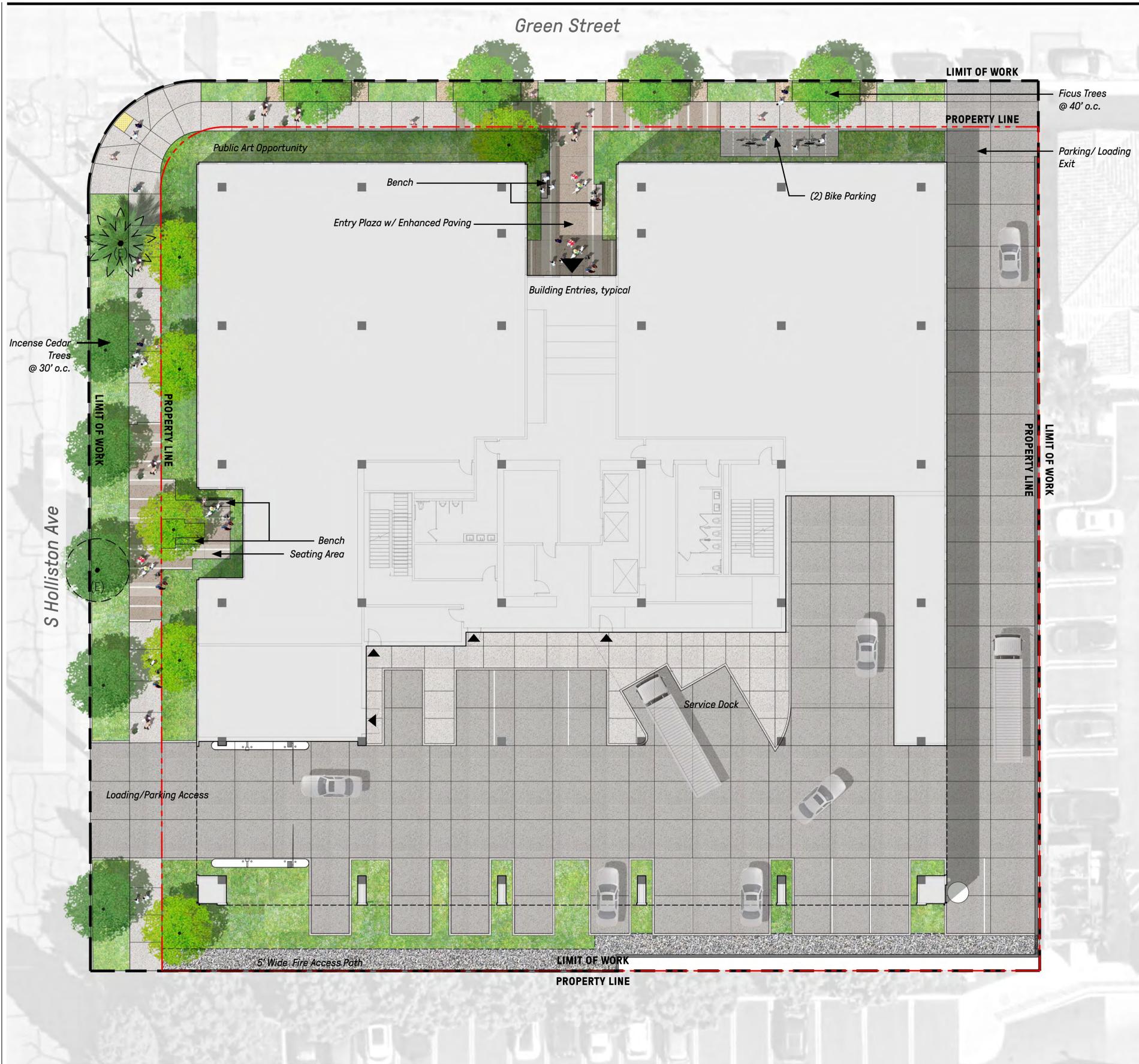


4 SHADOW STUDY - MAR/ SEP 21 @ 9AM
SCALE: 1" = 100'-0"



7 SHADOW STUDY - DEC 21 @ 9AM
SCALE: 1" = 100'-0"

Green Street



ON-SITE LEVEL 01 LANDSCAPE

Trees



Small Screening Trees



Shrubs & Grasses



Groundcovers



SHEET NOTES

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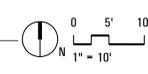
Description
PLANTING PLAN - LEVEL 01

VICINITY MAP

Scale
1"=10'-0"

L1.001

1 PLANTING PLAN -- LEVEL 01
1"=10'-0"



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Green Street

LIMIT OF WORK

PROPERTY LINE

Parking/ Loading Exit

Public Art Opportunity

Bench

Entry Plaza w/ Enhanced Paving

(2) Bike Parking

Building Entries, typical

PROPERTY LINE

LIMIT OF WORK

Bench Seating Area

PROPERTY LINE

LIMIT OF WORK

Service Dock

Loading/Parking Access

5' Wide Fire Access Path

LIMIT OF WORK

PROPERTY LINE

S Holliston Ave

SHEET NOTES

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LEGEND

- Standard Concrete
- Vehicular Concrete
- Decorative Concrete Paver 1
- Decorative Concrete Paver 2
- Decorative Concrete Paver 3
- Stabilized Decomposed Granite
- Gravel

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Project Number
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Description
HARDSCAPE PLAN - LEVEL 01

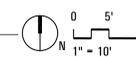
VICINITY MAP

Scale
1"=10'-0"

L1.002

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1 HARDSCAPE PLAN - LEVEL 01
1"=10'-0"



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Green Street

LIMIT OF WORK

PROPERTY LINE

S Holliston Ave

LIMIT OF WORK

PROPERTY LINE

PROPERTY LINE

LIMIT OF WORK

(E) Trees To Remain

(N) Proposed Trees

(E) Trees To Be Removed

LIMIT OF WORK

PROPERTY LINE

Tree No.	Botanical Name	Common Name	Impact
1	Washingtonia filifera	California fan palm	No Impact - Protect in Place
2	Calocedrus decurrens	Incense cedar	No Impact - Protect in Place
3	Washingtonia filifera	California fan palm	Remove
4	Calocedrus decurrens	Incense cedar	Remove

SHEET NOTES

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LEGEND

-  (N) Proposed Trees
-  (E) Trees To Remain
-  (E) Trees To Be Removed

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Description
TREE DEMOLITION PLAN - LEVEL 01

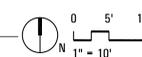
VICINITY MAP

Scale
1"=10'-0"

L1.003

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1 TREE DEMOLITION PLAN - LEVEL 01
1"=10'-0"



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Description
PLANTING PLAN - LEVEL 04

Scale
1"=10'-0"

L1.004

ON-SITE LEVEL 01 LANDSCAPE

Trees



Tristiaopsis laurina 'Elegant'

Small Screening Trees



Alsophila australis

Shrubs & Grasses



Zamia furfuracea



Philodendron xanadu



Westringia fruticosa 'White'



Yucca recurvifolia



Clivia miniata 'Yellow'



Lomandra longifolia 'Breeze'



Mahonia eurybracteata 'Soft Caress'



Liriope muscari 'Majestic'

Groundcovers



Ophiopogon planiscapus 'Nigrescens'



Achillea millefolium



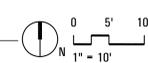
Carex tumulicala



Heuchera 'Upa'



1 PLANTING PLAN -- LEVEL 04
1"=10'-0"



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LEGEND

- Decorative C.I.P. Paving 1
- Decorative C.I.P. Paving 2

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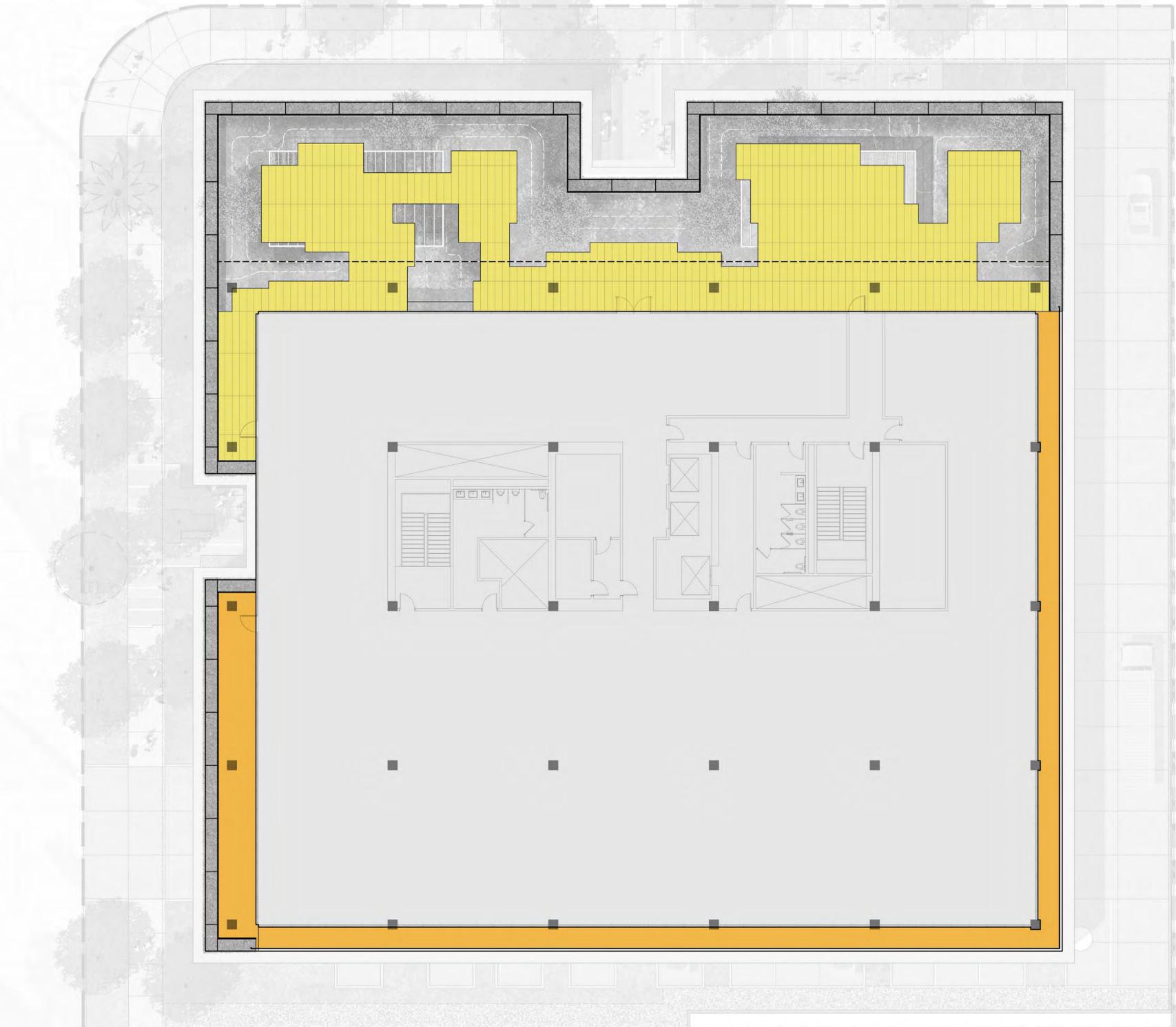
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Project Number
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Description
HARDSCAPE PLAN - LEVEL 04

Scale
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L1.005

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1 HARDSCAPE PLAN – LEVEL 04
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