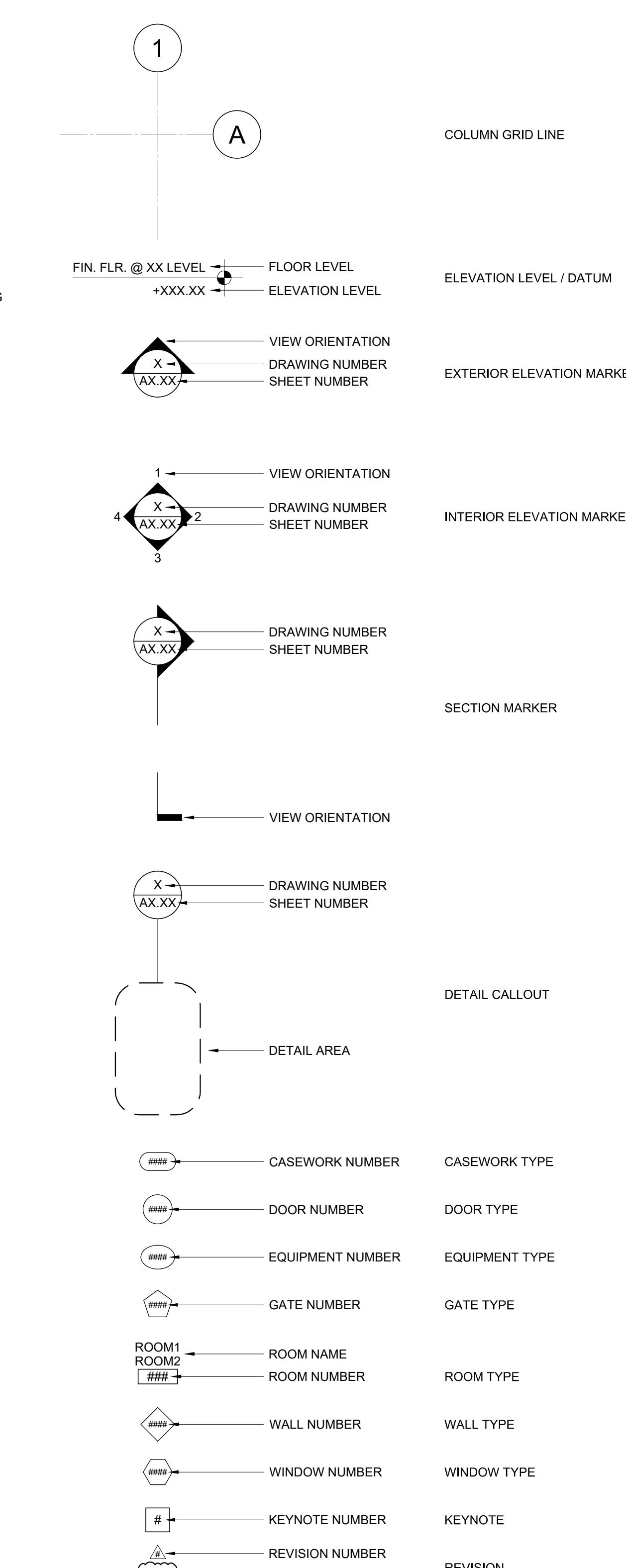


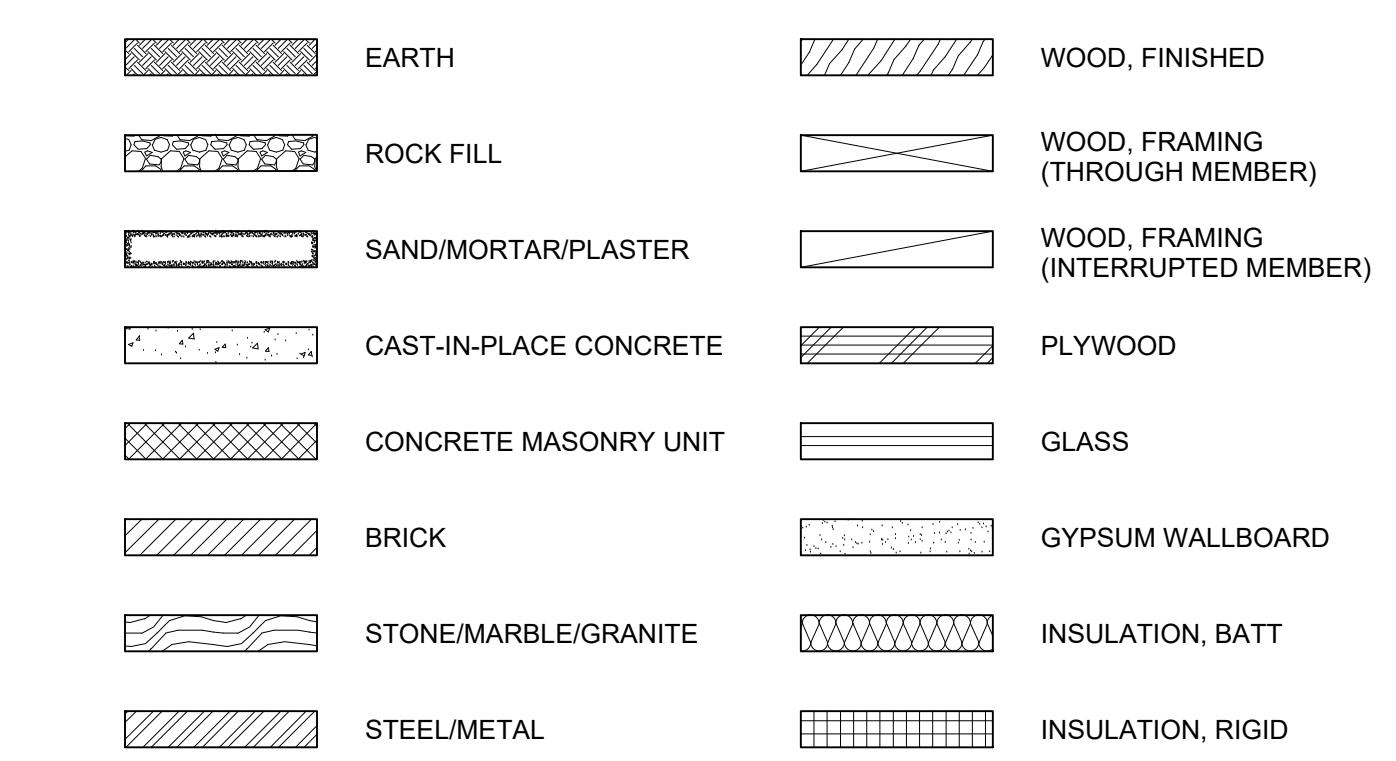
## ABBREVIATIONS

8.	AND	INCAN.	INCANDESCENT	VAR.	VARIABLE
/	ANGLE	INCL.	INCLUDING	V.I.F.	VERIFY IN FIELD
@	AT	INFO.	INFORMATION	VIN.	VINYL
~	CENTERLINE	INSUL.	INSULATION	VERT.	VERTICAL
—	CHANNEL	INT.	INTERIOR	VEST.	VESTIBULE
◊	DIAMETER OR ROUND	INTER.	INTERMEDIATE	V.C.T.	VINYL COMPOSITION
·	FOOT (FEET)			TILE	
"	INCH (INCHES)	JAN.	JANITOR	W.	WEST
#	PERPENDICULAR	J.B.	JUNCTION BOX	W/	WITH
◊	POUND OR NUMBER	J.T.	JUNCTION	WC.	WALL COVERING
◊	SQUARE FEET (FEET)	LAM.	LAMINATE	WD.	WOOD
A/C.	AIR CONDITIONING	LAV.	LAVATORY	WIN.	WINDOW
ACC.	ACCESS	L.H.	LEFT HANDED	W.O.	WHERE OCCURS
ACOUS.	ACOUSTICAL	MAX.	MAXIMUM	W/O	WITH OUT
AC.T.	ACOUSTIC TILE	M.D.F.	MEDIUM DENSITY	WP.	WATERPROOF
A.D.	AREA DRAIN	MECH.	FIBER BOARD	W.P.	WORK POINT
ADJ.	ADJUSTABLE	MED.	MECHANICAL	W.R.	WATER RESISTANT
A.F.F.	ADJUSTABLE FINISHED FLOOR	MEM.	MEDIUM	W.S.	WEATHER-STRIPPING
AL.	ALUMINUM	MEMB.	MEMBRANE	WT.	WEIGHT
ALT.	ALTERNATE	MET.	METAL		
ANOD.	ANODIZED	MEZZ.	MEZZANINE		
A.P.	ACCESS PANEL	MFR.	MANUFACTURER		
APPROX.	APPROXIMATE	MIC.	MICROWAVE		
APPVD.	APPROVED	MIN.	MINIMUM		
ARCH.	ARCHITECTURAL	MIR.	MIRROR		
AUTO.	AUTOMATIC	MISC.	MISCELLANEOUS		
AVG.	AVERAGE	MUL.	MULLION		
BD.	BOARD	N.	NORTH		
B.J.	BUTT JOINT	(N.)	NEW		
BKG.	BACKING	NAT.	NATURAL		
BLDG.	BUILDING	N.I.C.	NOT IN CONTRACT		
BLK.	BLOCK	NO.	NUMBER		
BLKG.	BLOCKING	NOM.	NOMINAL		
BM.	BEAM	N.R.C.	NOISE REDUCTION		
B.MK.	BENCH MARK	COEFFICIENT			
BOT.	BOTTOM	N.T.S.	NOT TO SCALE		
BTWN.	BETWEEN	O.C.	ON CENTER		
CAB.	CABINET	O.D.	OUTSIDE DIAMETER		
CLG.	CEILING	O.F.C.I.	OWNER FURNISHED /		
CLKG.	CAULKING	CONTRACTOR INSTALLED			
CLO.	CLOSET	O.H.	OPNING		
CLR.	CLEAR	OPNG.	OPENING		
COL.	COLUMN	ORIG.	ORIGINAL		
CONC.	CONCRETE	OVDH.	OVERHEAD		
CONF.	CONFERENCE	P.	PAINT		
CONN.	CONNECTION	PAR.	PARALLEL		
CONSTR.	CONSTRUCTION	P. BD.	PARTICLE BOARD		
CONT.	CONTINUOUS	P.C.	PERSONAL COMPUTER		
CORR.	CORRIDOR	PC.	PIECE		
cpt.	CARPET	PCC.	PORTLAND CEMENT		
CSMT.	CASEMENT	PERP.	PERPENDICULAR		
C.T.	CERAMIC TILE	PL.	PLATE		
CTR.	CENTER	P.LAM.	PLASTIC LAMINATE		
CVK.	CASEWORK	PLAS.	PLASTER		
DBL.	DOUBLE	PLYWD.	PLYWOOD		
DEMO.	DEMOLISH	P.N.	PANEL		
DEPT.	DEPARTMENT	POL.	POLISH(ED)		
DET.	DETAIL	PR.	PAIR		
D.F.	DRINKING FOUNTAIN	P.T.	PRESSURE TREATED		
DIA.	DIAMETER	PTN.	PARTITION		
DIM.	DIMENSION				
DISP.	DISPENSER				
DIV.	DIVISION				
DN.	DOWN	QTY.	QUANTITY		
D.O.	DOOR OPENING	QUAL.	QUALITY		
DR.	DOOR				
DW.	DISHWASHER	R.	RISER		
DWG.	DRAWING	(R.)	RELOCATED		
DWR.	DRAWER	R/A.	RETURN AIR		
E.	EAST	RAD.	RADIUS		
(E)	EXISTING	R.B.	RESILIENT BASE		
EA.	EACH	REBAR.	REINFORCING BAR		
EL.	ELEVATION	RECEP.	RECEPTACLE		
ELEC.	ELECTRICAL	REF.	REFLECTION		
ELEV.	ELEVATOR	REFL.	REFLECTED		
EMER.	EMERGENCY	REFR.	REFRIGERATOR		
ENAM.	ENAMEL	REINF.	REINFORCED		
ENCL.	ENCLOSURE	REQ.	REQUIRED		
ENG.	ENGINEER	RESIL.	RESILIENT		
ENT.	ENTRANCE	REV.	REVISION/REVISED		
EQ.	EQUAL	R.H.	RIGHT HAND		
EOPT.	EQUIPMENT	RM.	ROOM		
E.W.C.	ELECTRIC WATER	R.O.	ROUGH OPENING		
		R.T.	RESILIENT TILE		
		RUB.	RUBBER		
EXH.	EXHAUST	S.	SOUTH		
EXP.	EXPANSION	S/A.	SUPPLY AIR		
EXPO.	EXPOSED	S.C.	SOLID CORE		
EXT.	EXTERIOR	SCHED.	SCHEDULE		
F.A.	FIRE ALARM	SDBL.	SANDBLAST		
F.D.	FLOOR DRAIN	S.F.	SQUARE FOOT OR SQUARE FEET		
F.D.C.	FIRE DEPARTMENT CONNECTION	SHT.	SHEET		
FDN.	FOUNDATION	SIM.	SIMILAR		
F.E.	FIRE EXTINGUISHER	SK.	SINK		
F.E.C.	FIRE EXTINGUISHER CABINET	S.M.D.	SFC MECHANICAL DRAWINGS		
F.F.	FINISH FACE	S.N.D.	SANITARY NAPKIN DISPENSER		
F.H.C.	FIRE HOSE CABINET	S.N.R.	SANITARY NAPKIN RECEP.		
FIN.	FINISH	RECEPTACLE			
FIX.	FIXTURE	S.P.D.	SEE PLUMBING DRAWINGS		
FLR.	FLOOR	SPC.	SPECIFICATION(S)		
FLUOR.	FLUORESCENT	SPKR.	SPEAKER		
F.O.	FACE OF	SQ.	SQUARE		
FRPF.	FIREPROOF	S.S.D.	SEE STRUCTURAL DRAWINGS		
F.R.	FIRE RESISTANT	STD.	STANDARD		
FRMG.	FRAMING	STL.	STEEL		
F.S.	FULL SIZE	STOR.	STORAGE		
FT.	FOOT OR FEET	STR.	STRUCTURAL		
G.B.	GRAB BAR	T.	TREAD		
GEN.	GENERAL	TAN.	TANGENT		
GL.	GLASS	TEL.	TELEPHONE		
GND.	GROUND	TEMP.	TEMPERED		
GYP.	GYPSUM	THRES.	THRESHOLD		
GWB.	GYPSUM WALL BOARD	THRU.	THROUGH		
HDCP.	HANDICAPPED	T.O.	TOP OF		
H.D.F.	HIGH DENSITY	T.P.D.	TOILET PAPER DISPENSER		
HDWD.	HARDWOOD	TV.	TELEVISION		
HDWE.	HARDWARE	TYP.	TYPICAL		
H.M.	HOLLOW METAL	UNF.	UNFINISHED		
H.O.	HOLD OPEN	U.O.N.	UNLESS OTHERWISE		
HOR.	HORIZONTAL	UR.	NOTED		
HR.	HOUR	UTIL.	URINAL		
H.R.	HAND RAIL		UTILITY		
HT.	HEIGHT				
HVAC.	HEATING VENTING AIR CONDITIONING				
H.W.	HOT WATER				
H.W.H.	HOT WATER HEATER				

## GRAPHIC SYMBOLS



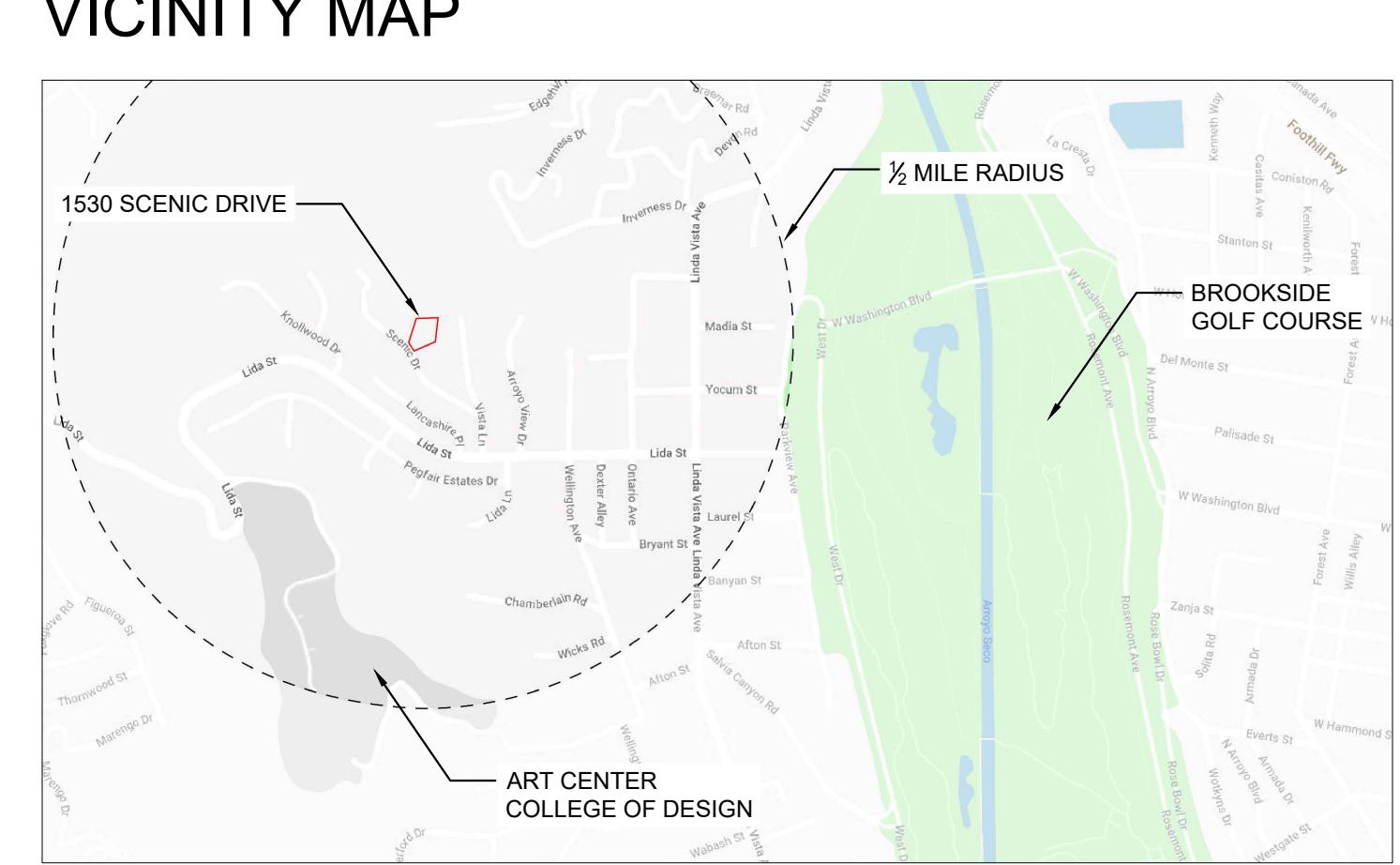
## MATERIAL SYMBOLS



## PROJECT INFORMATION

PROJECT	Ye/Chen Residence
SCOPE OF WORK	Construction of a 2 story single-family residence with 4 bedrooms, 4.5 bathrooms, and a below grade garage. Site improvements include the installation of an access driveway, a swimming pool/spa, and landscaping.
OWNERS	Zuming Chen & Yu Zhao 920 Granite Drive, #412 Pasadena, CA 91101
PROJECT ADDRESS	1530 Scenic Drive Pasadena, CA 91103
APN	5704-025-002
ZONING	RS-4 HD
TRACT	TR 9664
HILLSIDE AREA	Yes
GENERAL PLAN USE	Low Residential
LOT AREA	Total: 29,891 SF
MAXIMUM FLOOR AREA	For floor area calculation and diagrams see sheet G0.06
SETBACKS	
SETBACK	MINIMUM PROPOSED
FRONT YARD	25'-0" 25'-11" (to house)
SIDE YARD (EAST)	8'-9" 17'-7" (to house), 12'-3" (to pool)
SIDE YARD (WEST)	8'-9" 11'-0" (to house)
REAR YARD	25'-0" 104'-1" (to house), 102'-5" (to pool)
	*MIN. SIDE YARD: 10% OF LOT WIDTH (87'-43/4"), WITH A MINIMUM OF 5' AND A MAXIMUM REQUIREMENT OF 10'
HEIGHT	Building Height Limit: 28' to imaginary plane parallel to grade 35' from lowest elevation point (17.29.060 B) Actual Building Height: 31'-3" from lowest elevation point
PARKING	Proposed: 6 Parking Spaces - Below Grade Garage
CONSTRUCTION TYPE	Type V
SPRINKLERS	Sprinklers Per NFPA 13D
BUILDING CODE	2022 California Building Code 2022 California Residential Code 2022 California Mechanical Code 2022 California Electrical Code 2022 California Plumbing Code 2022 California Energy Code 2022 Green Building Standards Code
LOT COVERAGE CALCULATION	
BUILDING (ROOF AREA)	2,633 ft <sup>2</sup>
REAR DECK	506 ft <sup>2</sup>
POOL DECK (EXCLUDING POOL AND SPA)	864 ft <sup>2</sup>
TOTAL LOT COVERAGE	4,003 ft <sup>2</sup>
LOT AREA: 29,891 ft <sup>2</sup>	
LOT COVERAGE: 4,003 ft <sup>2</sup> / 29,891 ft <sup>2</sup> = 13.4%	
MAXIMUM ALLOWABLE GROSS FLOOR AREA CALCULATION	
PER ALLOWABLE FAR:	PER SLOPE BAND ANALYSIS:
Allowable Base FAR:	Average slope: 0.25 per survey (Developable Lot Area x 0.25) + 500 Base FAR reduction by slope (17.29.060): (B) x (1 - ((C - 0.15) / 2))
(27,335 x 0.25) + 500 = 7,333 SF	(7,333) x (1 - ((0.25 - 0.15) / 2)) = 5,966 SF
TOTAL	6,965 ft <sup>2</sup>
SEE SHEET G0.05 FOR FLOOR AREA DIAGRAMS AND CALCULATIONS	

## VICINITY MAP



## SHEET INDEX

## ATTACHMENT L

TO	TOLO Architecture 1700 S. Santa Fe Avenue #240 Los Angeles CA 90021 TEL 213 278 0678 FAX 213 278 0678 toloarchitecture.com




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# GENERAL NOTES

## SUMMARY OF WORK

- For work of this contract, see project information on cover sheet.

## GENERAL PROVISIONS

- The contractor shall be responsible for maintaining that all construction, installation, workmanship, and materials conform to the requirements of all applicable local, state and federal requirements, regulations, codes, and ordinances.
- Mechanical, electrical, and plumbing engineering drawings are not included in these documents. The contractor shall coordinate all mechanical, electrical, and plumbing work and obtain all related permits and inspections. The contractor shall notify the architect of any conflicts between mechanical, electrical, and plumbing work and architectural design intent and supply design-build drawings as requested for coordination with architect.
- Work not included in this contract comprises of work or items marked on drawings as NIC. The term "NIC" shall mean "not in contract". The contractor may be required to coordinate NIC work as indicated on the drawings or specified.
- The "scope" or "description of work" included in each section is given for convenience and is not to be considered as a comprehensive list of items necessary to complete the work of any section. The general contractor shall determine for himself or herself the full extent of work required to complete the work in accordance with drawings and the true meaning and intent of these specifications.
- The intention of these construction documents is to include all labor, materials, services, equipment, and transportation necessary for complete and proper execution of the work indicated on drawings and specifications or reasonably inferred from them. The architect will in no way be responsible for how the field work is performed, safety in, on, or about the job site, methods, performance, or timeliness in the execution of the work. Any questions regarding these drawings shall be discussed with the architect prior to bidding the work.
- These specifications are divided for convenience into sections. No responsibility, either direct or implied, will be assumed by either the architect or the owner for omissions or duplications by the contractor due to the arrangement of matter in the contract documents. The contractor shall coordinate work covered in each section with work of other sections.
- All symbols, abbreviations, and material indications used in the drawings are considered to be construction standards. If the contractor has questions regarding them or their exact meaning, the contractor shall request the architect to issue clarification.
- The contractor shall be responsible for verifying all existing conditions, dimensions, and grades. Any discrepancies between drawings and the existing conditions or dimensions shall be reported in writing to the architect prior to the commencement of the work. The contractor's bid will reflect his/her job site observations and will note any inconsistencies or conflicts.
- Drawings are intended to show general arrangement, design, and extent of the work and are partially diagrammatic. As such, they are not intended to be scaled for measurements or to serve as shop drawings.
- Dimensions missing from the plans or needed for execution of the work shall be clarified or provided by the architect before the work is installed.
  - All dimensions are to face of concrete, centerline of columns, centerline of joints or gyp board finish, or face of stud unless otherwise noted.
  - Finish floor dimensions are to top of finish material unless otherwise noted.
  - Ceiling height dimensions are to surface finish.
  - All written dimensions shall take precedence over actual scaled drawings.
- It shall be the responsibility of the contractor to check the architectural drawings before the installation of structural, mechanical, electrical, and plumbing work. Should there be a discrepancy between the architectural drawings and the consulting engineer's or design/build drawings, it shall be brought to the attention of the architect by the contractor for clarification before commencement of the work.
- All mechanical, electrical, and plumbing penetrations not shown on the architectural drawings shall be approved by the architect and the structural engineer prior to proceeding with the respective work.
- Any work installed in conflict with the architectural drawings shall be corrected by the contractor at his/her own expense and at no cost to the owner or the architect.
- The general building permit and plan check fee shall be secured and paid for by the owner. All other permits shall be taken out and paid for by the contractor directly responsible. No work shall be started until permits are obtained from governing agencies.
- Contractor will be furnished with one set of city approved drawings, one set of contract drawings to be used as a record drawing set, one reproducible set of drawings, one set of specifications, and two copies of such supplementary detail drawings as may be subsequently issued in accordance with related requirements of the general conditions. Should contractor require copies of the said documents duplicated in media other than the above specified, architect will furnish such copies and same to be paid by contractor at cost of reproduction. Title to all copies of documents so furnished remains with the architect.
- Contractor to maintain at project site for owner one record copy of:
  - Drawings
  - Specifications
  - Addenda
  - Change orders and other modifications to contract
  - Architect field orders or written instructions
  - Approved shop drawings, product data and samples
  - Field test records
- Neither owner nor architect assumes any responsibility for defining limits of any subcontracts because of arrangements of the specifications.

## SUBCONTRACTORS

- Before awarding any subcontracts, contractor to notify architect in writing of names of all subcontractors proposed for any part of work, and not employ any to whom architect or owner may have a reasonable objection.
- After the contract has been executed, the owner and the architect will consider a formal request for the substitution of products in place of those specified for a period of 2 weeks only, following the award of the construction contract.
- By making request for substitution based, the contractor:
  - Represents that the contractor has personally investigated the proposed substitute product and determined that it is equal or superior in all respects to that specified;
  - Represents that the contractor will provide the same warranty for the substitution that the contractor would for that specified;
  - Certifies that the cost data presented is complete and includes all related costs under this contract except that architect's re-design costs, and waives all claims for additional costs related to the substitution which subsequently become apparent; and
  - Will coordinate the installation of the accepted substitute, making such changes as may be required for the work to be complete in all respects.
- Within 20 calendar days after award of the contract, submit to architect a list of those manufactured items that require selection of colors.

## SURVEY OF EXISTING CONDITIONS

- The general building contractor shall examine and verify all existing site conditions prior to starting any work. The general contractor shall notify the architect immediately of any discrepancies or inconsistencies, which are found to exist between the construction documents and actual site conditions and shall not proceed with the work until the discrepancies or inconsistencies are reviewed and revised by the architect.

## PROTECTION OF EXISTING IMPROVEMENTS

- Protect all buildings, utilities, properties, sidewalks, etc. which are to remain, from damage during the entire construction period. Any items, which have not been adequately protected during the construction period, may require removal and replacement at no cost to the owner project.

## SUPERVISION AND CONSTRUCTION PROCEDURES

- Contractor to verify figures shown on drawings before laying out work, be responsible for accuracy of all lines, grades, and measurements, and protect and preserve all permanent bench and other markers. Checking of figures or layout by architect does not relieve contractor of his responsibility.
- If specific construction or installation procedures are indicated or specified or if such procedures are recommended by the manufacturer, the contractor shall review these procedures before implementing such procedures and shall advise the architect, in writing:
  - If the specified or recommended procedure deviates from good construction practice
  - If the procedure will effect any warranties including the contractor's general warranty
  - If the contractor has any other objections to the procedure
  - Of alternate procedures that the contractor will warrant

## SAFETY PROVISIONS

- The contractor shall assume sole and complete responsibility for job site safety during the course of construction on this project, including safety of all persons and property whether connected or associated with the contractor's portion of the work or not. The contractor shall defend, indemnify, and hold the architect free and harmless from all claims, demands and all liability, real or alleged, in connection with the performance of work on this project.
- Provide a safe work environment including deactivation of all utilities and/or services in work area during any time work is in progress and complying with all safety orders of all legally constituted public authorities having jurisdiction.

## GUARANTEES

- Furnish and install all new material under this contract free from defects, and guaranteed for a period of one (1) year or as specified elsewhere, but no less than (1) year from date of acceptance of work. Should any trouble develop during this period, due to defective material or faulty workmanship, furnish all necessary materials and labor to correct trouble without any cost to owner.

## ALLOWANCES

- Should net cost or allowances provided for in contract sum be more or less than specified, the amount of allowance, contract sum will be adjusted accordingly by change order. Failure to submit claims will constitute a waiver of claims for additional costs.
- On notification of selection, arrange for and process shop drawings, product data, and samples, as required. Install and finish products in compliance with requirements of referenced specification sections.

## PROJECT COORDINATION

- The contractor shall supervise and direct the work, using the contractor's best skill and attention. The contractor shall be solely responsible for and have control over construction means, methods, techniques, sequences and procedures, including safety procedures, and for coordinating all portions of the work under the contract, unless contract documents give other specific instructions concerning these matters.
- The general contractor shall coordinate and oversee trades to ensure that work conforms to the construction documents and specifications.
- The contractor shall be responsible to the owner for acts and omissions of the contractor's employees, subcontractors and their agents and employees, and other persons performing portions of the work under a contract with the contractor.
- The contractor shall scrutinize drawings and specifications and request his subcontractors and material suppliers to do likewise before commencing with work or starting fabrication in order that the architect have adequate time to furnish any necessary detailed information required which has been found lacking on drawings or in specifications. Do not proceed with work in question until written interpretation is received from architect. Requests for interpretation is not a reason for an extension of time unless architect is found to be unduly tardy in supplying contractor with a legitimately required interpretation.
- The architect is the sole arbiter and may stop construction at any time for the sole purpose of ensuring that the work proceeds with the design intent of the construction documents.
- Drawings by consulting engineers, including structural, mechanical, electrical, & plumbing, where provided, are supplementary to the Architectural drawings. The contractor shall carefully study and compare the contract documents with each other and with information furnished by the owner and if the contractor performs any construction activity knowing it involves a recognized error, without such notice to the architect, the contractor shall assume appropriate responsibility for such performance and shall bear an appropriate amount of the attributable costs for correction.
- Review project with mechanical and plumbing contractors prior to construction, so as to identify any conflicts between any ducts, supply/return air, plumbing vents, exhaust vents, etc. with work shown in structural and architectural drawings. Report to the architect any errors, inconsistencies or omissions discovered. Do not proceed with work in question until written interpretation is received from architect.
- The contractor shall have sole responsibility for the design, adequacy, installation, removal and safety of persons involved with any and all erection, bracing, shoring, temporary supports, scaffolding and construction methods. The contractor shall also comply with all codes, regulations and governing ordinances, assign supervision to a qualified consultant and, obtain and pay for all necessary permits involved with bracing and shoring, etc.
- The placement of pipes, conduit, etc. and the location, size and reinforcement of holes in the building structure shall conform to the architectural and structural drawings. When the requirements of the mechanical, electrical or other sections of the specifications or drawings are in conflict with the structural requirements, the structural requirements shall take precedence.
- No pipes, ducts, sleeves, chases, etc. shall be placed in slabs, footings, beams, nor shall any structural member be cut for pipes, ducts, etc. unless a written description of proposed placement or cuts are submitted to the architect for approval by the structural engineer and architect prior to work being done.
- These drawings represent the finished structure and do not indicate the method of construction. The contractor is responsible for all temporary bracing, shoring, and support necessary to achieve the finished structure. The contractor is responsible for determining and enforcing all construction load limits on the structure.
- Provide all necessary blocking, backing and framing for light fixtures, electrical units, mechanical equipment, plumbing fixtures, toilet accessories, etc.
- Do not scale the drawings. The contractor shall take field measurements and verify field conditions and shall carefully compare such field measurements and conditions and other information known to the contractor with the contract documents before commencing activities. Errors, inconsistencies, or omissions discovered shall be reported to the architect.
- Horizontal dimensions shown on the architectural drawings are to finish face of stud or face of concrete unless otherwise noted. Vertical dimensions and ceiling height dimensions are to finish materials unless otherwise noted. Finish floor elevations are to the top of plywood sheathing unless otherwise noted.
- Material notes and specifications shall take precedence over typical architectural and structural details and specifications.

## PERMITS AND APPROVALS

- Architectural and structural drawings for this project have been submitted to the building department for examination, and plan check fees have been paid, unless noted otherwise. The building permit shall be secured by the contractor and the general building permit fee shall be paid for by the owner. The contractor

shall secure and pay all other fees, licenses and inspections necessary for proper execution and completion of the work, including certificate of occupancy. No work shall be started until permits are obtained from governing agencies.

- The contractor shall comply with and give notices required by laws, ordinances, rules, regulations and lawful orders of public authorities bearing on performance of the work.

Work and materials included in this project shall be in accordance with the latest regulations of legally constituted public authorities having jurisdiction and with rules of utility companies furnishing services. The plans and specifications shall not be construed as permitting work not in conformance with regulations.

- If the contractor observes that portions of the contract documents are at variance with applicable laws, statutes, ordinances, building codes, and rules and regulations, the contractor shall promptly notify architect in writing, and necessary changes shall be accomplished by appropriate modification.

The general building contractor and subcontractors must certify that all materials, equipment & processes that are used or installed on the project are free of asbestos containing materials (acm), & polychlorinated biphenyls (pcb's).

## CONTROL USE OF SITE

- Construction materials shall be spread out if placed on framed floors or roof. The load shall not exceed the design live loads for the framed structure.
- The general contractor shall protect all work installed during the construction period. If the work is not properly protected, the owner may require its removal and replacement at the general contractor's expense.

Operations of the general contractor, including storage of materials, shall be confined to areas approved by the owner. The contractor shall be liable for damage caused by the contractor during such use of property of the owner or other parties. The contractor shall save the owner, its officers and agents, and the architect and his employees free and harmless from liability of any nature or kind arising from any use, trespass, or damage occasioned by his operations on premises of third persons. Storage facilities shall provide protection of products from excessive cold, heat, moisture, humidity or physical abuse as specified in the respective sections for the products stored.

- Owner will not assume responsibility for the loss of or damage to materials, tools, appliances, or work arising from acts of theft, vandalism, malicious mischief or other causes.

## CHANGES

- The owner may order extra work or make changes by altering, adding to, or deducting from the work, the contract sum being adjusted accordingly. However, no additional work shall proceed without owner and architect written approval.

## COST CONTROL

- Maintain reports and records at job site, available to architect and owner.

## CUTTING AND PATCHING

- General building contractor and all trades shall do their own cutting, fitting, patching, etc. to make all parts come together properly. All trades shall interface as required for complete and proper execution of the work as indicated on the construction documents. Any refinished surfaces shall match adjacent surfaces.
- The contractor shall not damage or endanger any portion of fully or partially completed construction of the owner or separate contractors by cutting, patching or otherwise altering such construction.

## ALTERNATES

- The construction documents and this section describe basic proposed changes that shall be incorporated into work only when that alternate is made a part of work by specific provisions in the owner-contract agreement.
- If owner elects to proceed on basis on one or more alternates, make all modifications to work required in furnishing and installation of selected alternate(s) to approval of architect and at no additional cost to the owner other than as allowed for in contract documents.

## PROJECT MEETINGS

- Schedule and administer pre-construction conference, weekly construction progress meetings, and pre-installation conferences throughout progress of work.
- Preside at progress meetings, record minutes, and distribute copies within two days after meeting to participants, to entities affected by decisions at meetings, with one copy each to the owner, construction consultant, and architect. Submit revised progress schedules periodically.

## CONSTRUCTION SCHEDULES

- Within 14 days after award of contract, prepare and submit to architect estimated construction progress schedules for work. Designate dates for submittals and dates that reviewed shop drawings, product data, and samples will be needed.

## SHOP DRAWINGS, PRODUCT DATA AND SAMPLES

- The contractor shall review shop drawings, product data, and samples prior to submission. The architect will review only those shop drawings, product data and samples that bear the contractor's signature as evidence of contractor's review. The contractor shall verify field measurements, field construction criteria, catalog numbers and conformance with drawings and specifications.
- The contractor shall begin no fabrication or work which requires submittals until return of submittals with architect approval.
- The architect will affix stamp and initials and indicate requirements for resubmittal, or approval. The contractor shall make any corrections or changes in submittals required by the architect and resubmit until approved.
- The contractor shall coordinate each submittal with the requirements of work, other trades, public agencies involved and of contract documents.
- The contractor shall make submittals far enough in advance of scheduled dates for installation to provide required time for reviews, for securing necessary approvals, for possible revision and resubmittals, and for placing orders and securing delivery. The contractor shall allow at least ten full working days for architect's review following his receipt of submittal.
- The contractor shall provide a copy of all approved shop drawings with any approved changes to the owner. A copy of approved shop drawings are to be kept with the permitted set of construction documents at the job site at all times during project construction.
- The contractor shall not be relieved of responsibility for errors or omissions in shop drawings, product data, samples or similar submittals by the architect's review thereof. The contractor shall be solely responsible for providing a complete installation of elements whether or not the shop drawings have been reviewed by the architect.
- The contractor shall clearly mark each copy of product data to identify pertinent products or models.
- The contractor shall provide samples of sufficient size and quantity to clearly illustrate functional characteristics of product, with integrally related parts and attachment devices and full range of color, texture and pattern.
- The contractor shall request, and receive from the architect, a color/material board indicating the stone, wood species, stain, ceramic tile, and paint finish, color, and reference number prior to ordering said products for use on this project.

## INSPECTIONS, TESTING, LABORATORY SERVICES

- Inspections and tests required by codes, or ordinances or by a plan approval authority are to be responsibility of and to be paid for by contractor, unless otherwise provided in contract documents.

- The general building contractor shall be responsible for inspection of portions of work already performed under this contract to determine that such portions are in proper condition to receive subsequent work. Correct conditions detrimental to timely and proper completion of the work. Do not proceed until unsatisfactory conditions are corrected. commencement of work by any trade will be considered unqualified acceptance of the substrate and installation conditions. No claim for warranty voidance will be accepted if installation over an improper substrate has commenced.

## STRUCTURAL OBSERVATIONS

- Refer to structural drawings.

## TEMPORARY UTILITIES

- Furnish, install and maintain temporary utilities required for construction and as required for compliance with laws and regulations. Remove on completion of work.

- Obtain written approval from owner for point of connection for temporary power used during construction period including arrangement of costs for power used. Provide connections to existing facilities, size to provide service required for power and lighting.

- Make connections to existing facilities, provide water for construction purposes; owner will pay costs of water used.

## CONSTRUCTION AIDS

- Provide construction aids and equipment required by personnel and to facilitate execution of work; scaffolds, staging, ladders, stairs, ramps runways, such facilities and equipment. Refer to respective sections for particular requirements for each trade.

- The contractor is responsible for all temporary bracing, shoring, and support necessary to achieve the finished structure and shall obtain and pay for all necessary related permits.

- The general contractor shall have sole responsibility for the design, adequacy, installation, removal and safety of persons involved with any and all erection, bracing, shoring, temporary supports, scaffolding and construction methods.

- Provide weather protection for interior materials, allow for effective temporary heating and to prevent entry of unauthorized persons.

## BARRIERS, TREE AND PLANT PROTECTION

- Preserve and protect existing trees and plants at site that are designated to remain, and those adjacent to site.

- Consult with architect and remove agreed-on roots and branches which interfere with construction. Employ qualified tree surgeon for major removal, and to treat cuts.

- Protect root zones of trees and plants. Carefully supervise excavating, grading and filling, and subsequent construction operations, to prevent damage.

## MATERIAL AND EQUIPMENT

- The architect reserves the option to refuse or disallow any structural or decorative material, member or finish based on physical appearance, which does not meet or conform to generally accepted standards for same in the architect's opinion.

- Comply with size, make, type and quality of material and equipment specified, or as specifically approved in writing by architect.

- Design, fabricate and assemble in accordance with best engineering and shop practices.

- Manufacturer's suggested installation methods and specifications shall be followed except where specifically noted otherwise. Perform work in accord with manufacturer's instructions using approved or recommended components. Do not omit any preparatory step or installation procedure unless specifically modified or exempted by contract documents.

- Store products in accord with manufacturer's instructions, with seals and labels intact and legible. Store products subject to damage by elements in weather tight enclosures.

- Notify owner of non-availability of specified materials at the time of bidding. If no notification is given, it will be assumed that materials are available.

## CONTRACT CLOSEOUT

- Substantial completion; when contractor considers work is substantially complete, submit to architect a written notice that work, or designated portion thereof,

## GENERAL NOTES

### LANDSCAPE NOTES

- Refer to Civil Engineer's utility and grading and drainage plans for utility location and drainage information. Refer to Civil Engineer's grading plans for grading information. If actual site conditions vary from what is shown on the plans or if there are discrepancies between the plans, contact the Landscape Architect for direction as to how to proceed.
- Verify locations of pertinent site improvements installed under other sections. If any part of this plan cannot be followed due to site conditions, contact Landscape Architect for instructions prior to commencing work.
- Exact locations of plant materials to be approved by the Landscape Architect in the field prior to installation. Landscape Architect reserves the right to adjust plants to exact location in field.
- Verify plant counts and square footages: Quantities are provided as Owner information only. If quantities on plant list differ from graphic indications, then graphics shall prevail.
- Contact the local underground utility services for utility location and identification.
- Perform excavation in the vicinity of underground utilities with care and if necessary, by hand. The Contractor bears full responsibility for this work and disruption or damage to utilities shall be repaired immediately at no expense to the Owner.
- Trees shall bear same relation to finished grade as it bore to existing.
- Trees to be planted a minimum of 4 feet from face of building, or pavement, except as approved by Landscape Architect.
- Provide matching forms and sizes for plant materials within each species and size designated on the drawings.
- Prune newly planted trees only as directed by Landscape Architect.
- Align and equally space in all directions trees and shrubs so designated per these notes and drawings.
- Finish grades of planter areas shall be 2 inches below adjacent paving or top of wall unless otherwise noted.

### SOIL PREPARATION NOTES

- Soil preparation of a landscape design is a critical factor in creating a healthy and long-lasting landscape. Remove existing topsoil and stockpile on site. Topsoil to be incorporated back into the soil at a later date. Contractor to conduct a soil evaluation to determine the soil's composition, compaction rate, nutrient qualities, organic content, PH levels, and water holding capabilities. The ideal particle soil mix is approximately 45% sand, 40% silt, 10% clay and 5% organic material with a PH level near seven.
- Prior to the installation of the landscape and irrigation system, contractor to prepare soil to ensure a proper environment for plant root development.
- When performing soil de-compaction, multiple passes across the area will be required and, when possible, should be at varying angles to ensure adequate coverage. When using disc or ripping equipment, it is required that the final passes over the area be made with a roto-tiller to break up any large clumps to make final grading easier.
- After initial soil de-compaction procedures are performed, soil amendments should be added. The addition of soil amendments is determined from soil tests conducted prior to work commencing. Soil amendment may include organic material such as sand, silt or clay, which help improve soil texture. Organic material such as compost, manure, and peat moss may also be used and help improve soil structure. Other amendments such as fertilizer improve nutrient content and sulfur adjusts the soil PH level. Sulfur shall be incorporated at the rate of one pound of sulfur per 100 square feet.
- All amendments should be mixed thoroughly with existing soil and an additional soil test will be taken to ensure proper soil conditions prior to planting.

### GRADING NOTES

- All grading slopes to be planted and irrigated
- Standard 12" berm is required at top of all graded slopes
- No fill to be placed until the city grading inspector has inspected and approved the bottom excavation.
- Man made fill shall be compacted to a minimum relative compaction of 90% max dry density within 40 feet below finish grade and 93% of max dry density deeper than 40 feet below finish grade, unless a lower relative compaction is justified by the soils engineer.
- Temporary erosion control to be installed between Oct 1st and April 15th.
- Retaining walls located closer to the property line than the height of the wall shall be backfilled not later than 10 days after construction of the wall and necessary structural supporting members unless recommended otherwise by responsible engineer.
- GRADING INSPECTION NOTE:** The soils engineer is to approve the key or bottom and leave a certificate on the site for the grading inspector. The grading inspector is to be notified before any grading begins and, for bottom inspection, before fill is placed. Fill may not be placed without approval of the the grading inspector.

### BATHROOM NOTES

- Safety Glazing (i.e., tempered) Windows in Bathrooms [CRC 308.4.5] is required in the following locations:
  - Windows in any portion of a wall enclosing tubs and/or showers where the bottom edge of the glazing is less than 60" above the standing surface.
  - Windows within 60" measured horizontally from water's edge of a bathtub or whirlpool tub or from edge of a shower and where the bottom edge of the glazing is less than 60" above the walking surface.
- Water Conserving Plumbing Fixtures [California Civil Code 1101.4(a)] The California Civil Code requires that all existing non-compliant plumbing fixtures (based on water efficiency) throughout the house be upgraded whenever a building permit is issued for remodeling improvements even if the fixtures are not within the scope of work. Residential building constructed after January 1, 1994 are exempt from this requirement. The following table shows the fixtures that are considered to be non-compliant and the type of water-conserving plumbing fixture that should be installed:
 

• water closet (toilet) more than 1.6 gallons/flush 1.28 gallons/flush
• urinal more than 1.0 gallons/flush 1.25 gallons/flush for wall mount, 0.50 for others
• showerhead more than 2.5 gallons/minute 1.8 gallons/minute at 80 PSI
• faucet - bathroom more than 2.2 gallons/minute 1.2 gallons/minute at 60 psi
• faucet - kitchen more than 2.2 gallons/minute 1.8 gallons/minute at 60 psi
- Toilet and Bidet require a total minimum 30" clear space (15" from centerline to each side). Toilet, Bidet, or Lavatory require a minimum of 24" clear space in front of the fixture. Urinals require a total minimum 24" clear space (12" from centerline to each side). [CPC 402.5]
- When additional toilets (water closets) are installed, a maximum of three (3) toilets are allowed on a 3" waste line. [Table 703.2, Footnote 4]
- Provide safety glazing (tempered) glass for tub/shower enclosures & doors. [CRC R308.4.5]
- Showers and tub-shower combinations shall be provided with individual control valves of the pressure balance, thermostatic, or combination pressure balance/thermostatic mixing valve type conforming to ASSE 1016/ASME A112.1016/CSA B125.16 or ASME A112.18.1/CSA B125.1. Handle positions shall be adjusted to deliver a maximum mixed water setting of 120° F. [CPC 409.3]
- The hot water valve shall be installed on the left side where two separate handles control are provided. [417.5]
- A minimum 12"x12" access panel is required when a slip joint p-trap waste & overflow is provided for inspection & repair. [402.10]
- Bidets**
  - The water supply to the bidet shall be protected by an air gap or vacuum breaker. [410.2, 603.3.2, 603.3.5, 603.3.6]
  - The maximum hot water temperature discharging from the bidet shall be limited to 110° F by a device that is in accordance with ASSE 1070/ASME A112.1070/CSA B125.70. Water heater thermostats shall not be considered a control for meeting this provision. [410.3]
- Showers**
  - Shower stalls shall have a minimum interior finished area of 1.024 sq.-in. and be able to encompass a 30" diameter circle. [408.6]
  - Stall shower door to open out with a minimum 22" wide opening. [408.5]
  - Site built shower stalls shall be installed in accordance to Section 408.7.
  - Floor and walls shall be finished with a nonabsorbent surface and wall finish shall extend to a height of not less than 6-ft above the floor. [CRC R307.2]

### 11. Bathtubs & Whirlpool (Spa) Tubs

- Tubs shall have a readily accessible access panel of size to permit the removal and replacement of the circulation pump. [409.6]
- The circulation pump shall be located above the crown weir of the trap.
- The pump and circulation piping shall be self-draining to minimize water retention. Such fittings shall be listed in accordance with ASME A112.19.7/CSA B45
- The maximum hot water temperature discharging from the tub shall be limited to 120° F by a device that is in accordance with ASSE 1070/ASME A112.1070/CSA B125.70. Water heater thermostats shall not be considered a control for meeting this provision. [409.4]
- Floor and walls above tub-shower combo shall be finished with a nonabsorbent surface and wall finish shall extend to a height of not less than 6-ft above the floor. [CRC R307.2]
- Floor and walls shall be finished with a nonabsorbent surface and wall finish shall extend to a height of not less than 6-ft above the floor. [CRC R307.2]
- Newly installed bathroom fans not functioning as part of a whole house ventilation system must be controlled by a humidistat which shall be readily accessible.

### 14. WATERPROOFING NOTE:

- Provide 70" high minimum non-absorbent wall adjacent to shower. ALL SHOWER GLASS TO BE TEMPERED
- Bathtub and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet.

### 15. Plumbing fixtures are required to be connected to a sanitary sewer or to an approved sewage disposal system.

- Items labeled FOIC (Furnished by Owner and Installed by Contractor) must be coordinated by the contractor as to the schedule and installation requirements. Provide at least five (5) business days for client to prepare material for purchase, delivery and/or fabrication and/or supply prior to expected installation date.

### BATHROOM EXHAUST

- Local exhaust system shall be installed in a bathroom containing a tub, shower, spa, or some other similar source of moisture and vented to the outdoors with a minimum exhaust rate of 50 cfm (20 cfm if continuous operation). A maximum of 3 zone rating (1 for continuous) is required for the (ENERGY) exhaust fan. Fans must be controlled by a humidistat which shall be readily accessible and capable of adjustment between a relative humidity range of 50% to 80%. [CEC 150(o), ASHRAE std. 62.2, CalGreen 4.506.1]
- Exhaust fans shall be switch separately from lighting system OR have a lighting system that can be manually turned on and off while allowing the fan to continue to operate for an extended period of time. [CEC 150(k)2.B]
- Bathrooms that only have a toilet and sink do not require local exhaust if there is an (min. 3-sq-ft) operable window. [CRC R303.3]
- Exhaust ducts shall terminate outside the building and equipped with back-draft dampers. Termination shall not be less than 3-ft from a property line, 10-ft from a forced air inlet, and 3-ft from openings into the building. Ducts shall not discharge onto a public walkway. [CMC 504.1.1, 502.2.1]

### KITCHEN HOOD VENTILATION

- Local exhaust system shall be installed in the kitchen and vented to the outdoors (recirculation prohibited) with a minimum exhaust rate as indicated below and maximum 3 zone rating. [CEC 150(o), ASHRAE std. 62.2]
  - Intermittent - Application: Kitchen, Min Flow Rate: 100 cfm, Notes: Vented range hood required if exhaust fan flow is less than 300 cfm
  - Continuous - Application: Kitchen, Min Flow Rate: 5 air changes per hr, Notes: Based on Kitchen volume
- Kitchen range hood fans are now required to be verified by a HERS Rater. See Section 4.6.7 of 2019 Residential Compliance Manual for more details. Range hood that exhaust more than 400 cfm at a minimum speed are exempt from HERS verification.
- Ducts used for kitchen range ventilation shall be of metal and have smooth interior surface. Aluminum flex duct is prohibited. A backdraft damper shall be provided. [CMC 504.3, 504.1.1]
- Upper cabinets shall be a minimum of 30" above cooking top. Cabinets and kitchen range hood shall be installed with the minimum clearances as required by the range/cooktop manufacturer's installation instructions. [920.3.2]

### LIGHTING REQUIREMENTS

- All installed luminaire (lighting) shall be high efficacy in accordance with Table 150.0-A. A minimum of one high efficacy luminaire shall be controlled by a vacancy sensor.
- Switches shall not be installed within tubs or shower spaces unless installed as part of a listed tub. [CEC 404.4(C)]
- All recessed lighting shall be "IC Rated and Airtight Certified". [CEC 150.0(k)1.C]
- No pendant lighting shall be located within a zone measured 3-ft horizontally and 8-ft vertically from the top of a bathtub rim or shower stall threshold. [CEC 410.10(D)]
- Luminaires located within the actual outside dimensions of the bathtub or shower to a height of 8-ft vertically from the top of the tub rim and shower threshold shall be of enclosed & gasketed type listed for damp or wet locations and be GFCI protected. [550.14(D), 551.53(B)]
- For occupancies with a horizontal (floor/ceiling assembly) fire-rated separation, the recessed fixtures shall be protected to the same rating of the separation (1-hour) OR be listed for the required fire protection. This generally applies to residential condominium construction where units are above or below other units. [CBC 714.4.2]
- Cabinet (in and under) lighting shall be switched separately from other lighting systems.

### ELECTRICAL

- Provide at least one 20-amp GFCI protected receptacle within 36" of the outside edge of the each bathroom sink basin. [CEC 210.52(D)]
  - Receptacle shall be located on a wall or partition that is adjacent to the basin, on the countertop, or installed on the side or face of the basin cabinet not more than 12" below the top of the basin.
  - All receptacles shall be tamper-resistant (TR). [406.12]
- A minimum of one 120-V/20-amp branch circuit is required for bathroom receptacle(s). Such circuit shall have no other receptacles. [210.11(C)(3)]
- All 125-V, single-phase, 15- and 20-amp receptacles installed in bathrooms shall have GFCI protection. The GFCI shall be installed in a readily accessible location. [210.8]
- Receptacles shall not be installed within or directly over a bathtub or shower stall. [406.9(C)]
- Countertop receptacles shall meet all of the following requirements: [CEC 210.8, 210.52, 406.12]
  - All receptacles shall be GFCI protected and tamper-resistant (TR).
  - Wall receptacle shall be provided at all wall countertop spaces with a minimum dimension of 12" wide.
  - Be located so that no point along the wall line is more than 24" measured horizontally from a receptacle in the countertop space.
  - Receptacles shall be located no more than 20" above countertop.
  - Islands/pensulas (min. long dimension of 24" & short dimension of 12") shall have at least one receptacle mounted not more than 12 inches below the countertop and where the countertop does not extend more than 6 inches beyond its support base.
- All receptacles at the following location shall be GFCI protected and tamper-resistant (TR):
  - Within 6-ft of the outside edge of the sink.
  - Supplying dishwashers
- GFCI shall be installed in a readily accessible location.
- Kitchen receptacles shall be supplied by circuits meeting all of the following requirements: [210.11(C), 210.52, 422.16]
  - Minimum of two 20-amp single-appliance branch circuits shall be provided to serve all wall & floor receptacles, and countertop receptacles. No small-appliance branch circuit shall serve more than one kitchen.
  - A dedicated circuit is required for cord and plug connected range exhaust (range) hoods. Separate circuits may be required for the garbage disposal, dishwasher, and built-in microwave based on the manufacturer's requirements and the motor rating.
  - The existing electrical panel may need to be upgraded, or a sub-panel added, if the requirements above cannot be accommodated.
- All 120-V, single-phase, 15- and 20-amp branch circuits supply outlets or devices installed in kitchens shall be AFCI protected. The AFCI shall be installed in a readily accessible location. [210.12]

### SMOKE AND CARBON MONOXIDE ALARMS

- Smoke alarms shall be installed in each sleeping room, on the ceiling or wall outside each separate sleeping area in the immediate vicinity of the bedrooms, on each story of a multi-story unit, in habitable attics, and in basements. [CRC

### R314.3]

- Smoke alarms shall be listed and labeled in accordance with UL 217 and installed in accordance with the provisions of NFPA 72. Alarms shall be tested and maintained in accordance with the manufacturer's instructions. Alarms that no longer function must be replaced.
- Carbon monoxide alarms are not required if there is no fuel-burning appliances or fireplace in the unit and where the garage is detached from the unit. [R315.2.1]
- Carbon monoxide alarms shall be installed on the ceiling or wall (above the door header) outside each separate sleeping area in the immediate vicinity of the bedrooms, on every occupiable level, in basements, and in bedrooms where a fuel-burning appliance is located within the bedroom or its attached bathroom. [R315.3]
- Carbon monoxide alarms (including smoke & carbon monoxide combination alarms) shall be listed and labeled in accordance with UL 2034 (and UL 217 for combo alarms) and installed & maintained in accordance with NFPA 720 & manufacturer's instructions.
- In multi-family buildings, all required carbon monoxide alarms shall be equipped with the capability to support visible alarm notification in accordance with NFPA 720. [CBC 915.7]

### ENERGY (TITLE-24)

- All exterior walls exposed during construction shall be insulated with min. R-13 for 2x4 studs or min. R-19 for 2x6 or greater studs. [CEC 150.2(b), 150.0(c)]
- All roof/ceilings exposed during construction shall be insulated with min. R-19. [150.2(b), 150.0(a)]
- All accessible joints, penetrations, and other openings in the building envelope about the area of work shall be caulked, gasketed, weather stripped, or otherwise sealed. [110.7]

### GREEN BUILDING STANDARDS

- Adhesives, sealants, caulk, paints, & coatings shall comply with the VOC limits. [CalGreen 4.504.2.1 & 4.504.2.2]
- Aerosol paints & coatings shall meet the Product-Weighted MIR Limits for ROC. [4.504.2.3]
- Minimum 80% of the installed resilient flooring shall comply with one or more certified products per Section 4.504.4.
- Interior use of hardwood plywood, particle board, and medium density fiberboard composite wood products shall comply with the formaldehyde limits per Table 4.504.5.
- New framing shall not be enclosed when the framing members have a moisture content exceeding 19%. [4.505.3]

### PAVING

- All parking areas, circulation aisles, and accessways (including driveways) shall be paved with Portland cement concrete. [PMC §17.46.300]

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### RECORD DATE

PRE PLAN REVIEW SUBMITTAL	02.03.2022
HILLSIDE DEV. PERMIT SUBMITTAL	07.13.2023
HILLSIDE DEV. PERMIT RESUB.	01.12.2024
HILLSIDE DEV. PERMIT RESUB. #2	08.30.2024
HILLSIDE DEV. PERMIT RESUB. #3	12.02.2024
HILLSIDE DEV. PERMIT PLANS	01.29.2025

### DRAWING NOTES/KEY PLAN



APN	Address	Zone	Overlay	Lot Size	House Size	FAR	
5704-025-012	1475 VISTA LN	RS4	HD	5813	1218	0.209530363	
5704-027-014	1556 SCENIC DR	RS2	HD	20855	1245	0.059697914	
5704-024-024	1526 VISTA LN	RS4	HD	10599	1267	0.119539579	
5704-024-022	1519 ARROYO VIEW DR	RS4	HD	9216	1346	0.146050347	
5704-025-015	1484 SCENIC DR	RS4	HD	5527	1358	0.245702913	
5704-025-014	1485 VISTA LN	RS4	HD	6138	1380	0.224828935	
5704-029-014	1545 SCENIC DR	RS4	HD	8897	1425	0.160166348	
5704-025-005	1519 VISTA LN	RS4	HD	9961	1440	0.144563799	
5704-025-008	1507 VISTA LN	RS4	HD	8721	1443	0.165462676	
5704-024-025	1538 VISTA LN	RS4	HD	12955	1451	0.112003088	
5704-024-016	1480 VISTA LN	RS4	HD	7489	1468	0.196020831	
5704-029-019	1500 LANCASHIRE PL	RS4	HD	11990	1500	0.125104254	
5704-024-021	1510 VISTA LN	RS4	HD	8170	1544	0.188984088	
5704-025-011	1470 SCENIC DR	RS4	HD	7111	1550	0.217972156	
5704-025-007	1502 SCENIC DR	RS4	HD	9285	1558	0.167797523	
5704-024-020	1500 VISTA LN	RS4	HD	7945	1616	0.203398364	
5704-029-004	1457 SCENIC DR	RS4	HD	8739	1652	0.189037647	
5704-027-015	1554 SCENIC DR	RS2	HD	22837	1696	0.074265446	
5704-025-006	1508 SCENIC DR	RS4	HD	9661	1711	0.177103819	
5704-024-014	1483 ARROYO VIEW DR	RS4	HD	11061	1736	0.156947835	
5704-029-006	1475 SCENIC DR	RS4	HD	10047	1737	0.172887429	
5704-029-011	1521 SCENIC DR	RS4	HD	9844	1800	0.182852499	
5704-029-013	1535 SCENIC DR	RS4	HD	8936	1851	0.20713966	
5704-029-009	1501 SCENIC DR	RS4	HD	12654	1856	0.146672989	
5704-029-003	1449 SCENIC DR	RS4	HD	8816	1876	0.212794918	
5704-029-015	1551 SCENIC DR	RS4	HD	11447	1889	0.165021403	
5704-026-007	1555 VISTA LN	RS2	HD	85912	1908	0.022208772	
5704-029-007	1485 SCENIC DR	RS4	HD	15507	1911	0.12323468	
5704-028-019	1620 KNOLLCOOD DR	RS4	HD	10420	1931	0.185316699	
5704-027-010	1560 SCENIC DR	RS2	HD	27538	1940	0.070448108	
5704-024-023	1525 ARROYO VIEW DR	RS4	HD	11583	1946	0.168004835	
5704-027-002	1560 KNOLLCOOD TER	RS4	HD	11527	1956	0.169688557	
5704-024-015	1470 VISTA LN	RS4	HD	7894	2016	0.255383836	
5704-025-009	1495 VISTA LN	RS4	HD	8579	2042	0.23802308	
5704-029-020	1510 LANCASHIRE PL	RS4	HD	12692	2045	0.161125118	
5704-024-019	1507 ARROYO VIEW DR	RS4	HD	8888	2055	0.231210621	
5704-029-005	1465 SCENIC DR	RS4	HD	11312	2074	0.18334512	
5704-025-004	1529 VISTA LN	RS4	HD	12422	2132	0.171630977	
5704-029-012	1527 SCENIC DR	RS4	HD	9241	2152	0.23287523	
5704-025-013	1455 VISTA LN	RS4	HD	8920	2159	0.242040359	
5704-025-010	1494 SCENIC DR	RS4	HD	8379	2161	0.257906671	
5704-024-013	1471 ARROYO VIEW DR	RS4	HD	9859	2176	0.22071204	
5704-029-024	1545 LANCASHIRE PL	RS4	HD	16437	2195	0.133540184	
5704-029-023	1540 LANCASHIRE PL	RS4	HD	17194	2208	0.12841689	
5704-027-001	1550 KNOLLCOOD TER	RS4	HD	17924	2235	0.124693149	
5704-024-018	1495 ARROYO VIEW DR	RS4	HD	8878	2280	0.256814598	
5704-029-018	1490 LANCASHIRE PL	RS4	HD	11949	2298	0.192317349	
5704-029-022	1530 LANCASHIRE PL	RS4	HD	13809	2407	0.174306612	
5704-024-012	1450 VISTA LN	RS4	HD	7794	2492	0.319733128	
5704-025-022	1525 PEGFAIR ESTATES DR	RS4	HD	12373	2494	0.20156793	
5705-020-023	1545 PEGFAIR ESTATES DR	RS4	HD	12814	2504	0.195411269	
5704-029-026	1615 KNOLLCOOD DR	RS4	HD	25118	2547	0.101401385	
5704-026-009	1540 ARROYO VIEW DR	RS2	HD	61000	2597	0.04257377	
5704-024-017	1490 VISTA LN	RS4	HD	7802	2616	0.335298641	
5704-029-010	1509 SCENIC DR	RS4	HD	8403	2619	0.311674402	
5705-020-024	1535 PEGFAIR ESTATES DR	RS4	HD	12548	2706	0.215651897	
5704-029-008	1493 SCENIC DR	RS4	HD	6357	2782	0.437627812	
5704-024-001	1535 ARROYO VIEW DR	RS4	HD	15859	2796	0.176303676	
5704-025-003	1549 VISTA LN	RS4	HD	10900	2806	0.257431193	
5704-027-012	1555 SCENIC DR	RS2	HD	34456	2826	0.082017646	
5704-029-027	1625 KNOLLCOOD DR	RS4	HD	12432	2868	0.230694981	
5704-029-021	1520 LANCASHIRE PL	RS4	HD	12431	2914	0.234413965	
5704-029-025	1535 LANCASHIRE PL	RS4	HD	13752	3059	0.222440372	
5704-025-001	1550 SCENIC DR	RS4	HD	19856	3346	0.168513296	
5704-029-028	1635 KNOLLCOOD DR	RS4	HD	14254	3357	0.235512839	
5704-026-006	1613 VISTA LN	RS2	HD	395875	3943	0.009960215	
5704-027-017	1563 SCENIC DR	RS2	HD	19346	4134	0.213687584	
5704-027-016	1557 SCENIC DR	RS2	HD	28578	4549	0.159178389	
5704-027-018	1568 SCENIC DR	RS2	HD	19869	4619	0.232472696	
5704-025-002	1530 SCENIC DR	RS4	HD	29980	0		
5704-026-008	1320 INVERNESS DR	RS2	HD	140750	0		
5704-029-900	1601 KNOLLCOOD DR	RS4	HD	1573	0		
				Median	2045	Average FAR	0.184034
				Median +35%	2761		

5 NEIGHBORHOOD COMPATIBILITY DATA

4 FLOOR AREA CALCULATIONS: GROSS FLOOR AREA

PASADENA MUNICIPAL CODE  
TITLE 17 - ZONING CODE  
SECTION 17.29.060.F  
NEIGHBORHOOD COMPATIBILITY

In addition to the floor area ratio requirements of Section 17.29.060.A, the allowable floor area of the house shall not be greater than 35 percent above the median floor area of the existing houses within the established radius (excluding garages and other accessory structures). Floor area shall be determined using primary residence data from the Los Angeles County Assessor.

Neighborhood Median SF:

All Properties	Median	2,045 SF
	Median + 35%	2,761 SF

For lots larger than 20,000 square feet in size, the review authority may approve additional floor area if it does not exceed the average FAR of the neighborhood after first making the findings in Section 17.29.080.G following a review of site conditions and compliance with the remainder of the Hillside District standards.

Max. Area for Approval per 17.29.060.F (Neighborhood Compatibility)

Lot Size	29,891 ft <sup>2</sup>
Average Neighborhood FAR	.184034
Max. Area for Approval (Lot Size x FAR)	5,501 ft <sup>2</sup>

PROPOSED PROJECT AREA (4,280 SF) IS BELOW MAX AREA FOR APPROVAL (5,501 SF)

Floor Area Calculation per 17.29.060.F (Neighborhood Compatibility)

**PROPOSED FLOOR AREA TOTALS (EXCLUDES GARAGES AND OTHER ACCESSORY STRUCTURES)**

FIRST LEVEL (1,580 ft<sup>2</sup> + 194 ft<sup>2</sup> + 78 ft<sup>2</sup>) 1,852 ft<sup>2</sup>  
SECOND LEVEL (2,315 ft<sup>2</sup> + 113 ft<sup>2</sup>) 2,428 ft<sup>2</sup>

**TOTAL** 4,280 ft<sup>2</sup>

FAR (FLOOR AREA/LOT AREA) = 4,280 ft<sup>2</sup> / 29,891 ft<sup>2</sup> .143186

PROPOSED PROJECT FAR = 14.3%

PROPOSED PROJECT FAR (14.3%) IS BELOW AVERAGE NEIGHBORHOOD FAR (18%)

**MAXIMUM ALLOWABLE GROSS FLOOR AREA**

PER ALLOWABLE FAR: PER SLOPE BAND ANALYSIS:

Allowable Base FAR: Average slope: 0.25 per survey  
(Developable Lot Area x 0.25) + 500 Base FAR reduction by slope (17.29.060):  
Developable Lot Area = 27,335 SF (B) x (1 - ((C - 0.15) / 2))  
(27,335 x 0.25) + 500 = 7,333 SF (7,333 x (1 - ((0.25 - 0.15) / 2)) = 6,966 SF

**PROPOSED FLOOR AREA TOTALS**

BELOW GRADE (2,540 ft<sup>2</sup> + 79 ft<sup>2</sup> + 66 ft<sup>2</sup>)

RECORD	DATE
PRE PLAN REVIEW SUBMITTAL	02.03.2022
HILLSIDE DEV. PERMIT SUBMITTAL	07.13.2023
HILLSIDE DEV. PERMIT RESUB.	01.12.2024
HILLSIDE DEV. PERMIT RESUB. #2	08.30.2024
HILLSIDE DEV. PERMIT RESUB. #3	12.02.2024
HILLSIDE DEV. PERMIT PLANS	01.29.2025

DRAWING NOTES/KEY PLAN	

TITLE	
NEIGHBORHOOD COMPATIBILITY PHOTO INDEX	

SCALE	N.T.S.
PROJECT NO.	2-2109-299
ISSUE DATE	01.29.2025
FILE NO.	

**G0.06**

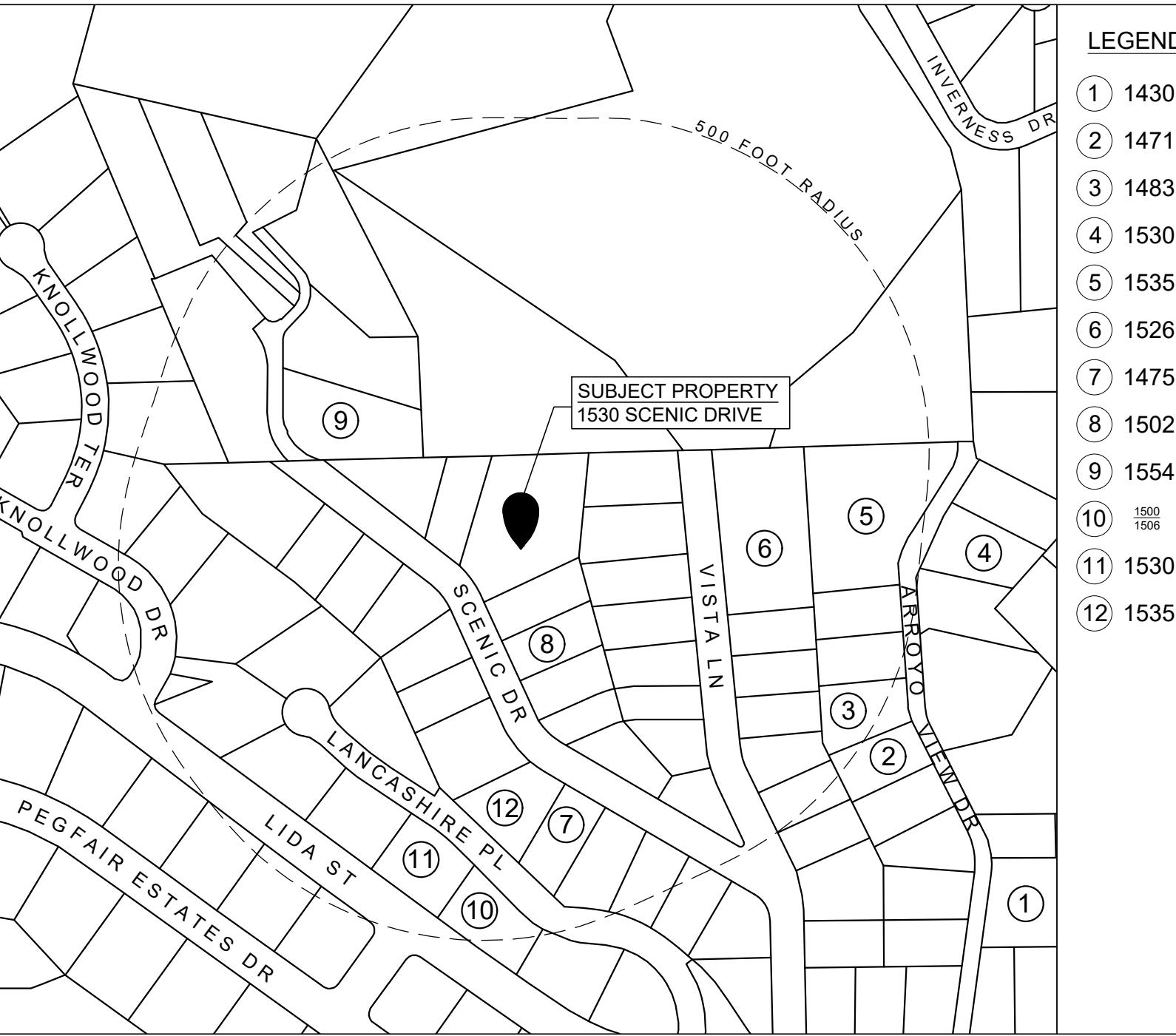


PHOTO INDEX MAP



6 | 1526 VISTA LANE



4 | 1530 ARROYO VIEW DRIVE



2 | 1471 ARROYO VIEW DRIVE



5 | 1535 ARROYO VIEW DRIVE



3 | 1483 ARROYO VIEW DRIVE



1 | 1430 ARROYO VIEW DRIVE

RECORD	DATE
PRE PLAN REVIEW SUBMITTAL	02.03.2022
HILLSIDE DEV. PERMIT SUBMITTAL	07.13.2023
HILLSIDE DEV. PERMIT RESUB.	01.12.2024
HILLSIDE DEV. PERMIT RESUB. #2	08.30.2024
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NEIGHBORHOOD COMPATIBILITY PHOTO INDEX	

SCALE	N.T.S.
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**G0.06**

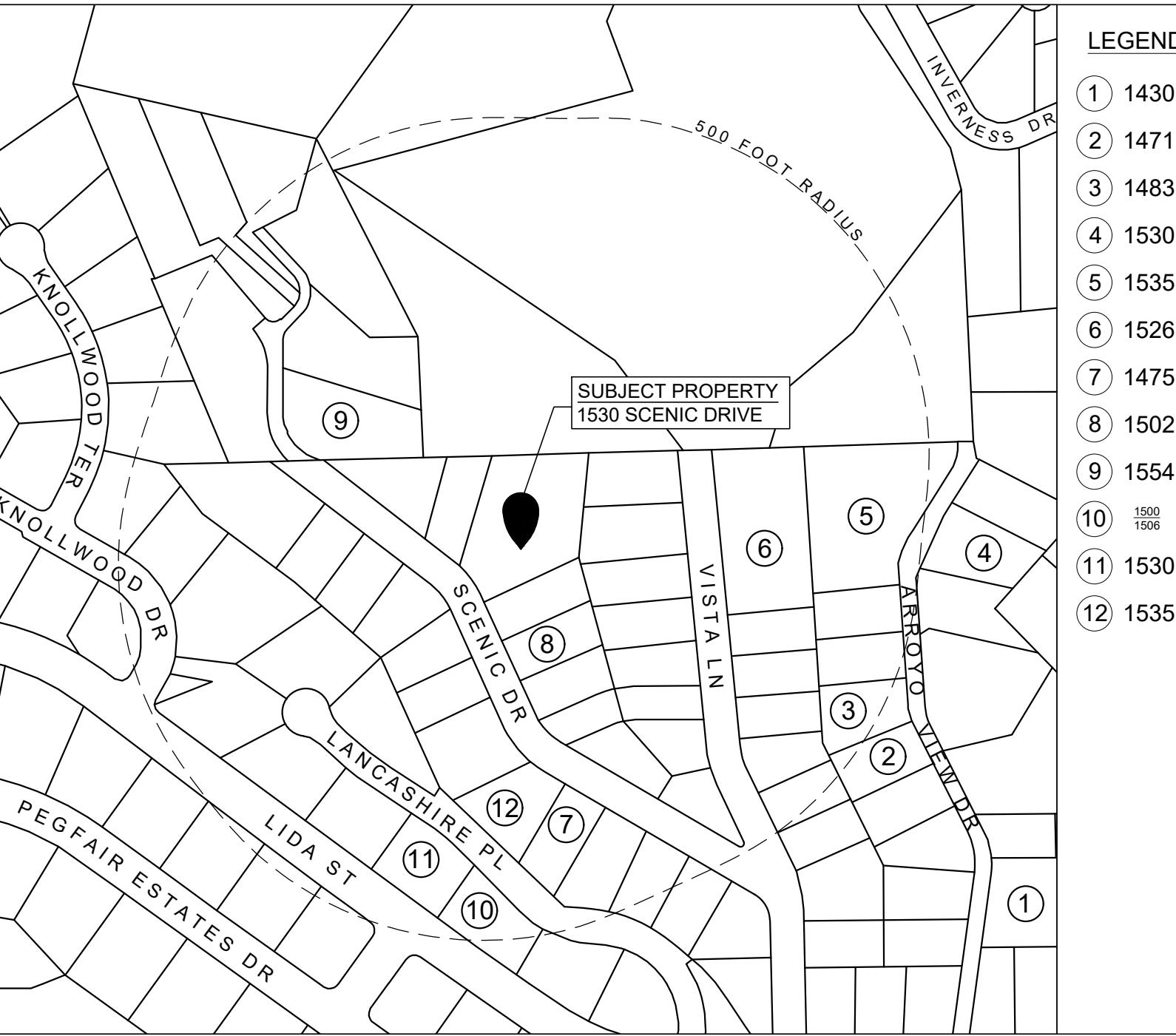


PHOTO INDEX MAP



12 | 1535 LANCASHIRE PLACE



10 | 1500 LANCASHIRE DRIVE



8 | 1502 SCENIC DRIVE



11 | 1530 LANCASHIRE DRIVE




9 | 1554 SCENIC DRIVE

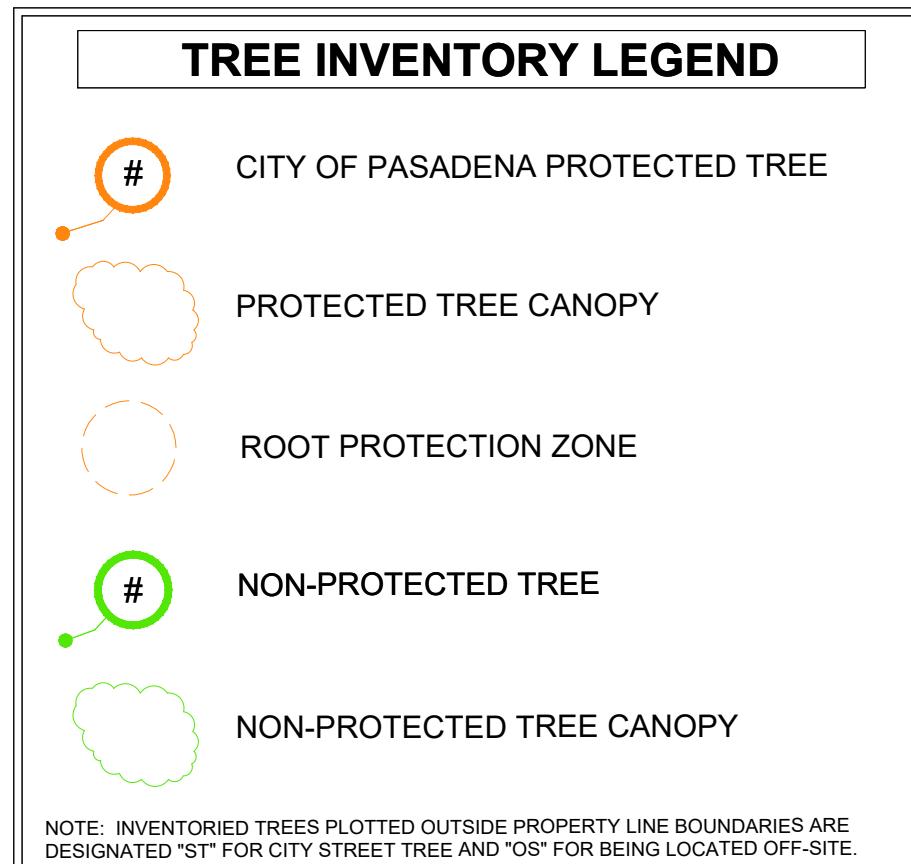


7 | 1475 SCENIC DRIVE





TREE INVENTORY TABLE												
Tree #	Common Name	Botanical Name	DBH (inches)	Converted Trunk Diameter to Single Trunk Diameter (inches)	City Protected, Native or ROW Tree	Height (feet)	Canopy E (feet)	Canopy S (feet)	Canopy N (feet)	Canopy W (feet)	Health	Structure
ST1	Siberian elm	Ulmus pumila	13.5		ROW	22	12	15	10	16	B	B
ST2	sawtooth zelkova	Zelkova serrata	1.4		ROW	12	2	2	2	2	B	B
3	Jujube	Ziziphus jujuba	6.2		No	18	12	5	10	12	B	B
4	lemon bottlebrush	Callistemon citrinus	3.7, 3.6, 2.8	6	No	12	8	4	2	8	B	B
5	coast live oak	Quercus agrifolia	16.3		Protected	35	13	9	18	16	A	A
6	coast live oak	Quercus agrifolia	11.7		Protected	30	13	14	15	8	B	B
7	coast live oak	Quercus agrifolia	4.1		Native	18	5	8	8	4	B	B
8	coast live oak	Quercus agrifolia	11.5		Protected	25	10	21	18	20	B	B
9	coast live oak	Quercus agrifolia	4.4, 4.7	6.6	Native	25	6	10	8	7	B	B
10	coast live oak	Quercus agrifolia	9.4		Protected	30	5	10	12	12	B	B
11	coast live oak	Quercus agrifolia	9.2		Protected	30	6	7	15	18	C+	B
12	coast live oak	Quercus agrifolia	10.4		Protected	30	8	10	14	10	C+	B
13	lacebark	Brachychiton discolor	6.8, 8.8	10.4	No	18	5	8	10	7	A-	B
14	shamel ash	Fraxinus uhdei	5.8, 8.4, 13.7, 7.1	18	No	10	18	18	13	20	B-	B
15	Mexican fan palm	Washingtonia robusta	BT-35'		No	40	6	6	6	6	A	A
16	coast live oak	Quercus agrifolia	12.7		Protected	35	24	12	7	20	C+	B-
17	olive	Olea europaea	4.7, 15, 10.0	18.7	Protected	22	8	17	28	22	B	B
18	coast live oak	Quercus agrifolia	23		Protected	25	25	27	24	28	B-	B
19	coast live oak	Quercus agrifolia	6.5		Native	18	4	24	3	0	C+	C+
20	silver dollar gum	Eucalyptus polyanthemos	11.5		No	35	6	25	18	7	B	B
21	coast live oak	Quercus agrifolia	24		Protected	30	25	27	20	32	B	B
22	coast live oak	Quercus agrifolia	21.2, 18.9	28.3	Protected	35	28	33	33	35	B+	B
23	coast live oak	Quercus agrifolia	14.1		Protected	35	10	8	20	15	A-	B
24	coast live oak	Quercus agrifolia	21.5		Protected	30	28	36	0	0	B	C
25	coast live oak	Quercus agrifolia	9.2		Protected	18	24	0	0	0	C-	C



DATE PREPARED: 06/28/24  
PREPARED BY: S. McALLASTER  
ISA CERTIFIED ARBORIST  
REVIEWED BY: CY CARLBERG, RCA #405

BASIS OF BEARINGS:  
THE BEARING OF N52°58'14"E ALONG THE CENTERLINE OF SCENIC DRIVE AS SHOWN ON MAP OF TRACT NO. 9664, MB 145-73/74 AND IS THE BASIS OF BEARINGS FOR THIS SURVEY.

PROJECT BENCHMARK:

ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29) CITY OF PASADENA PER THE FOLLOWING CITY BENCHMARK:

CITY OF PASADENA BENCHMARK 560/31

FD SPIKE/LEAD IN SOUTH CURB 1 FT W/O CL LT PROD AT THE INTERSECTION OF VISTA LANE AND LIDA ST.

ANY USER OF ELEVATIONS AND/OR COORDINATES SHOWN HEREON FOR THE CONTROL OF CONSTRUCTION, SHALL VERIFY AT LEAST 3 POINTS SHOWN HEREON, FOR MATHEMATICAL CONSISTENCY PRIOR TO SUCH USE.

SURVEYOR'S NOTES:

1. BOUNDARY LINES SHOWN HEREON WERE ESTABLISHED FROM PUBLIC AND/OR PRIVATE SURVEY MONUMENTS WHOSE CHARACTER AND SOURCE ARE SO NOTED HEREON. LOT LINES WERE ESTABLISHED PER CORNER RECORD SHOWN HEREON.
2. LEGAL DESCRIPTION WAS SUPPLIED BY CLIENT.
3. TITLE REPORT WAS SUPPLIED BY CLIENT. SEE 'TITLE REPORT MATTERS'.
4. THE AREA OF THE SUBJECT PROPERTY IS AS FOLLOWS:  
AREA: 29,891 SQUARE FEET, 0.686 ACRES.  
(AREA IS BASED ON FIELD MEASUREMENTS)
5. THE SUBJECT PROPERTY IS ZONED AS FOLLOWS: RS-4-HD

LEGAL DESCRIPTION:

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOT 18 OF TRACT NO. 9664, IN THE CITY OF PASADENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 145, PAGES 73 AND 74 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

ASSESSOR'S PARCEL NUMBER: 5704-025-002

FLOOD ZONE NOTE:

THE SUBJECT PROPERTY IS IN FEMA FLOOD ZONE 'X' (UNSHADED), WHICH IS OUTSIDE THE 0.2% (500 YEAR) ANNUAL CHANCE FLOOD, PER FEDERAL FLOOD INSURANCE RATE MAP (FIRM) #06037C1375F EFFECTIVE 09/26/2008.

ALTA TABLE A ITEMS 16, 17 & WETLANDS NOTE:

THERE IS NO VISIBLE EVIDENCE OF EARTH MOVING OR BUILDING CONSTRUCTION, PROPOSED CHANGES IN STREET, RIGHT OF WAY LINES, SIDEWALK OR STREET CONSTRUCTION OR REPAIRS, USE OF SITE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL, NOR OF WETLANDS.

TREE INVENTORY TABLE												
Tree #	Common Name	Botanical Name	DBH (inches)	Converted Trunk Diameter to Single Trunk Diameter (inches)	City Protected, Native or ROW Tree	Height (feet)	Canopy E (feet)	Canopy S (feet)	Canopy N (feet)	Canopy W (feet)	Health	Structure
26	coast live oak	Quercus agrifolia	11.7		Protected	18	12	18	10	6	C-	C-
27	shamel ash	Fraxinus uhdei	5.4		No	30	10	5	6	6	B	B
28	fern pine	Araucaria grisea	4.3		No	30	10	10	10	4	A-	A-
29	Chinese elm	Ulmus parvifolia	4, 3	5	No	15	17	20	6	8	B	B
30	Brisbane box	Lophostemon confertus	2, 5, 6	6.4	No	25	15	15	12	14	B	B
31	coast live oak	Quercus agrifolia	8.6		Protected	15	5	10	10	7	C	C
32	scrub oak	Quercus berberidifolia	5, 3, 4.9	7.3	Native	18	8	14	14	14	B	B
33	coast live oak	Quercus agrifolia	9.6		Protected	16	15	4	3	27	B-	C+
34	coast live oak	Quercus agrifolia	18.2		Protected	25	32	0	0	30	B-	C+
35	coast live oak	Quercus agrifolia	14.3, 16.9	22.2	Protected	35	14	27	20	22	A-	B
36	coast live oak	Quercus agrifolia	5		Native	20	0	14	0	15	A-	A-
37	Japanese persimmon	Diospyros kaki	5, 4, 6.7	8.6	No	22	15	17	12	12	B	B
38	coast live oak	Quercus agrifolia	14.2		Protected	35	22	22	14	13	C	B
39	Japanese persimmon	Diospyros kaki	6.5, 7.5	8.7	No	15	13	14	8	10	B	B
40	olive	Olea europaea	1, 1, 1, 1	9	No	30	18	15	15	13	A-	B
41	scrub oak	Quercus berberidifolia	5, 3, 4.9	6.3	Protected	22	12	23	0	15	B	B
42	coast live oak	Quercus agrifolia	8.3		Protected	35	17	9	8	15	C	B
43	scrub oak	Quercus berberidifolia	5		Native	15	15	13	0	18	B-	B
44	scrub oak	Quercus berberidifolia	4.5		Native	16	13	5	7	8	B	B
45	coast live oak	Quercus agrifolia	9.5, 10.5, 13	19.3	Protected	40	21	30	15	18	B	B
46	coast live oak	Quercus agrifolia	4.5		Native	20	0	0	15	9	A-	A-
47	scrub oak	Quercus berberidifolia	4, 2, 3, 4	9.8	Protected	18	0	5	15	20	B	B
48	coast live oak	Quercus agrifolia	8.6		Protected	18	0	0	23	0	B-	C+
49	coast live oak	Quercus agrifolia	2, 7, 6.8	7.3	Native	15	0	0	21	0	B-	C+
50	coast live oak	Quercus agrifolia	15.9		Protected	25	0	0	28	24	B	B
51	coast live oak	Quercus agrifolia	10.6		Protected	30	0	0	18	0	B	B
52	coast live oak	Quercus agrifolia	13, 10.9	17.1	Protected	35	15	18	25	12	A-	B+
53	coast live oak	Quercus agrifolia	14.5		Protected	3						

TREE INVENTORY TABLE													
Tree #	Common Name	Botanical Name	Converted DBH (inches)	City Diameter (inches)	Protected, Native or ROW tree	Height (feet)	Canopy (feet)	Canopy S (feet)	Canopy W (feet)	Health	Structure	Removal, Preserve, Encoach	
ST1	Siberian elm	Ulmus pumila	13.5	ROW	22	12	15	10	16	B	B	Encoach	
ST2	sawtooth zelkova	Zelkova serrata	1.4	ROW	12	2	2	2	8	B	B	Remove	
3	Jobbe	Ziziphus jujube	6.2	No	18	12	5	10	12	B	B	Remove	
4	lemon bottlebrush	Callistemon citrinus	3.7, 3.6, 2.8	6	No	12	8	4	2	B	B	Remove	
5	coast live oak	Quercus agrifolia	16.3	Protected	35	13	9	18	16	A	A	Remove	
6	coast live oak	Quercus agrifolia	11.7	Protected	30	13	14	15	8	B	B	Remove	
7	coast live oak	Quercus agrifolia	4.1	Native	18	5	8	8	4	B	B	Remove	
8	coast live oak	Quercus agrifolia	11.5	Protected	25	10	21	18	20	B	B	Remove	
9	coast live oak	Quercus agrifolia	4.4, 4.7	Native	25	6	10	8	7	B	B	Remove	
10	coast live oak	Quercus agrifolia	9.4	Protected	30	5	10	12	12	B	B	Remove	
11	coast live oak	Quercus agrifolia	9.2	Protected	30	6	7	15	18	C+	B	Remove	
12	coast live oak	Quercus agrifolia	10.4	Protected	30	8	10	14	10	C+	B	Remove	
13	larchbark	Brachychiton discolor	6.8, 8	10.4	No	16	5	8	10	A	B	Remove	
14	shaved ash	Fraxinus uhdei	5.8, 6.4, 7.3	18	No	10	18	18	13	20	B-	B	Remove
15	Mexican fan palm	Washingtonia robusta	87'-85'	No	40	6	6	6	6	A	A	Remove	
16	coast live oak	Quercus agrifolia	12.7	Protected	35	24	12	7	20	C+	B	Remove	
17	olive	Olea europaea	4.2, 5.1, 10	18.7	Protected	22	8	17	28	22	B	B	Remove
18	coast live oak	Quercus agrifolia	23	Protected	25	25	27	24	28	B-	B	Remove	
19	coast live oak	Quercus agrifolia	6.5	Native	18	4	24	3	0	C+	C	Remove	
20	silver dollar tree	Ficus benjamina	11.5	No	35	6	25	18	7	B	B	Remove	
21	coast live oak	Quercus agrifolia	24	Protected	30	25	27	20	32	B	B	Remove	
22	coast live oak	Quercus agrifolia	21.2, 18.9	28.3	Protected	35	28	33	33	35	B+	B	Encoach
23	coast live oak	Quercus agrifolia	14.1	Protected	35	10	8	20	15	A-	B	Remove	
24	coast live oak	Quercus agrifolia	21.5	Protected	30	28	36	0	0	B	C	Encoach	
25	coast live oak	Quercus agrifolia	9.2	Protected	18	24	0	0	0	C-	C	Encoach	
26	coast live oak	Quercus agrifolia	11.7	Protected	18	12	18	10	6	C	C	Remove	
27	shaved ash	Fraxinus uhdei	5.4	No	30	10	5	6	6	B	B	Remove	
28	fern pine	Araucaria heterophylla	4.3	No	30	10	10	10	4	A-	A	Remove	
29	Chinese elm	Ulmus parvifolia	4.3	5	No	15	17	20	6	B	B	Remove	
30	Brisbane box	Lophostemon confertus	2.5, 6	6.4	No	25	15	15	12	C+	B	Remove	
31	coast live oak	Quercus agrifolia	8.6	Protected	15	5	10	10	7	C	C	Preserve	
32	scrub oak	Quercus berberidifolia	5.3, 4.9	7.3	Native	18	18	8	14	14	B	B	Preserve
33	coast live oak	Quercus agrifolia	9.6	Protected	16	15	4	3	27	B-	C+	Remove	
34	coast live oak	Quercus agrifolia	18.2	Protected	25	32	0	0	30	B-	C	Remove	
35	coast live oak	Quercus agrifolia	14.3, 16.9	22.2	Protected	35	14	27	20	22	A-	B	Remove
36	coast live oak	Quercus agrifolia	5	Native	20	0	14	13	0	A-	A	Remove	
37	Japanese persimmon	Diospyros kaki	5.4, 6.7	8.6	No	22	15	17	17	12	B	B	Remove
38	coast live oak	Quercus agrifolia	14.2	Protected	35	22	22	14	13	C	B	Encoach	
39	Japanese persimmon	Diospyros kaki	6.0, 5.5	8.7	No	15	13	14	8	10	B	B	Remove
40	olive	Olea europaea	4.5, 7.5	9	No	30	18	15	15	13	A-	B	Remove
41	scrub oak	Quercus berberidifolia	5.1, 5.1	10	Protected	22	12	23	0	15	B	B	Preserve
42	coast live oak	Quercus agrifolia	8.3	Protected	35	17	9	8	15	C	B	Preserve	
43	scrub oak	Quercus berberidifolia	5	Native	15	15	13	0	18	B-	B	Preserve	
44	scrub oak	Quercus berberidifolia	4.5	Native	16	13	5	5	7	B-	B	Preserve	
45	coast live oak	Quercus agrifolia	9.5, 10.5, 23	19.3	Protected	40	21	30	15	18	B	B	Remove
46	coast live oak	Quercus agrifolia	4.5	Native	20	0	0	15	9	A-	A	Preserve	
47	scrub oak	Quercus berberidifolia	4.2, 3.4	9.8	Protected	18	0	5	15	20	B	B	Preserve
48	coast live oak	Quercus agrifolia	8.6	Protected	18	0	0	23	0	B-	C+	Preserve	
49	coast live oak	Quercus agrifolia	2.7, 6.8	7.3	Native	15	0	0	21	0	B-	C	Preserve
50	coast live oak	Quercus agrifolia	15.9	Protected	25	0	0	28	24	B	B	Preserve	
51	coast live oak	Quercus agrifolia	10.6	Protected	30	0	0	18	0	B	B	Preserve	
52	coast live oak	Quercus agrifolia	13.2, 10.9	17.1	Protected	35	15	18	25	12	A-	B+	Preserve
53	coast live oak	Quercus agrifolia	14.5	Protected	35	9	4	22	24	A-	A	Preserve	
54	coast live oak	Quercus agrifolia	11, 11.8	16.1	Protected	28	15	22	15	18	A-	B+	Preserve
55	sugar gum	Eucalyptus cladocalyx	36	Protected	55	18	20	35	25	A	B	Preserve	
56	scrub oak	Quercus berberidifolia	6.2	Native	15	10	18	4	0	B	B	Preserve	
57	scrub oak	Quercus berberidifolia	5.3, 5.7	7.7	Native	20	6	17	15	13	B	B	Preserve
58	scrub oak	Quercus berberidifolia	6.1	Native	22	0	3	17	0	B	B	Preserve	
59	scrub oak	Quercus berberidifolia	4.2	Native	5	0	0	15	0	C-	C	Preserve	
60	red river gum	Eucalyptus camaldulensis	24.8	No	60	20	18	22	22	A	A	Preserve	
61	scrub oak	Quercus berberidifolia	2.7, 4.4	12.1	Protected	18	13	18	20	8	B	B	Preserve
62	coast live oak	Quercus agrifolia	7.8	Native	20	5	16	16	0	C+	C+	Preserve	
63	coast live oak	Quercus agrifolia	9.4, 5	10.7	Protected	18	13	17	20	3	C+	C+	Preserve
64	coast live oak	Quercus agrifolia	7.2	Native	20	6	9	10	8	C+	C+	Preserve	
65	Chinese elm	Ulmus parvifolia	7.7	No	20	0	6	25	8	B	C	Remove	
66	coast live oak	Quercus agrifolia	10.4	Protected	28	8	7	15	15	A	A	Preserve	
67	coast live oak	Quercus agrifolia	15	Protected	25	15	16	18	16	B	A	Preserve	
68	coast live oak	Quercus agrifolia	6.5, 1.1	6.7	Native	14	15	5	4	5	C	C	Preserve

1550 SCENIC DRIVE  
(SINGLE-FAMILY RESIDENCE)

AVERAGE BLOCKFACE FRONT YARD SETBACK

1530 SCENIC DRIVE  
(SINGLE-FAMILY RESIDENCE)

SLAB-ON-GRADE CONCRETE STAIR AND WALKWAY

DRIVEWAY TO BELOW GRADE LEVEL GARAGE  
MAXIMUM 15% SLOPE



# Scenic Drive

1530 Scenic Drive  
Pasadena, California 91103  
Tract: TR 9664  
Site Area: .685 ACRES

Park Design Case Number: 00000000 - PPD  
Approved Park Plan Number: 00000000 - PPA  
Playground Plan Number: 00000000 - PPA

Client

Zuming Chen & Ye Hong

C920 Granite Dr. #412  
Pasadena, CA 91101  
T: 213-705-1983

**EPTDESIGN**  
234 NORTH EL MOLINO AVE, SUITE 100  
PASADENA, CA 91101  
626.795.2008  
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HARDSCAPE/SOFTSCAPE CALCULATIONS		
FRONT YARD		
FRONT YARD AREA: 1910 SQ.FT.		
ITEM	DESCRIPTION	DETAIL
P-1	CONCRETE DRIVEWAY	DETAIL X SHEET LXX
P-2	CONCRETE PAVING	DETAIL X SHEET LXX
P-3	CONCRETE STAIRS	DETAIL X SHEET LXX
P-4	POOL DECK	DETAIL X SHEET LXX
P-5	LANDSCAPE TIMBER STEPS	DETAIL X SHEET LXX
P-6	STAIRS AND CHEEK WALL AT ENTRY	DETAIL X SHEET LXX
P-7	GRAVEL PATHWAY	DETAIL X SHEET LXX
TOTAL PAVED AREA: 567 SQ.FT.		
TOTAL LANDSCAPE AREA: 1,341 SQ.FT.		
29.7% PAVED FRONT YARD		

PAVING LEGEND		
FOR MATERIALS, COLORS, FINISHES AND MODELS, SEE CONSTRUCTION LEGEND, SHEET L1XX		
ITEM	DESCRIPTION	DETAIL
P-1	CONCRETE DRIVEWAY	DETAIL X SHEET LXX
P-2	CONCRETE PAVING	DETAIL X SHEET LXX
P-3	CONCRETE STAIRS	DETAIL X SHEET LXX
P-4	POOL DECK	DETAIL X SHEET LXX
P-5	LANDSCAPE TIMBER STEPS	DETAIL X SHEET LXX
P-6	STAIRS AND CHEEK WALL AT ENTRY	DETAIL X SHEET LXX
P-7	GRAVEL PATHWAY	DETAIL X SHEET LXX

## WALL & FENCE LEGEND

[W-1]	RETAINING WALL PER CIVIL	DETAIL X SHEET LXX
[W-2]	GARDEN WALL	DETAIL X SHEET LXX

## SITE AMENITIES LEGEND

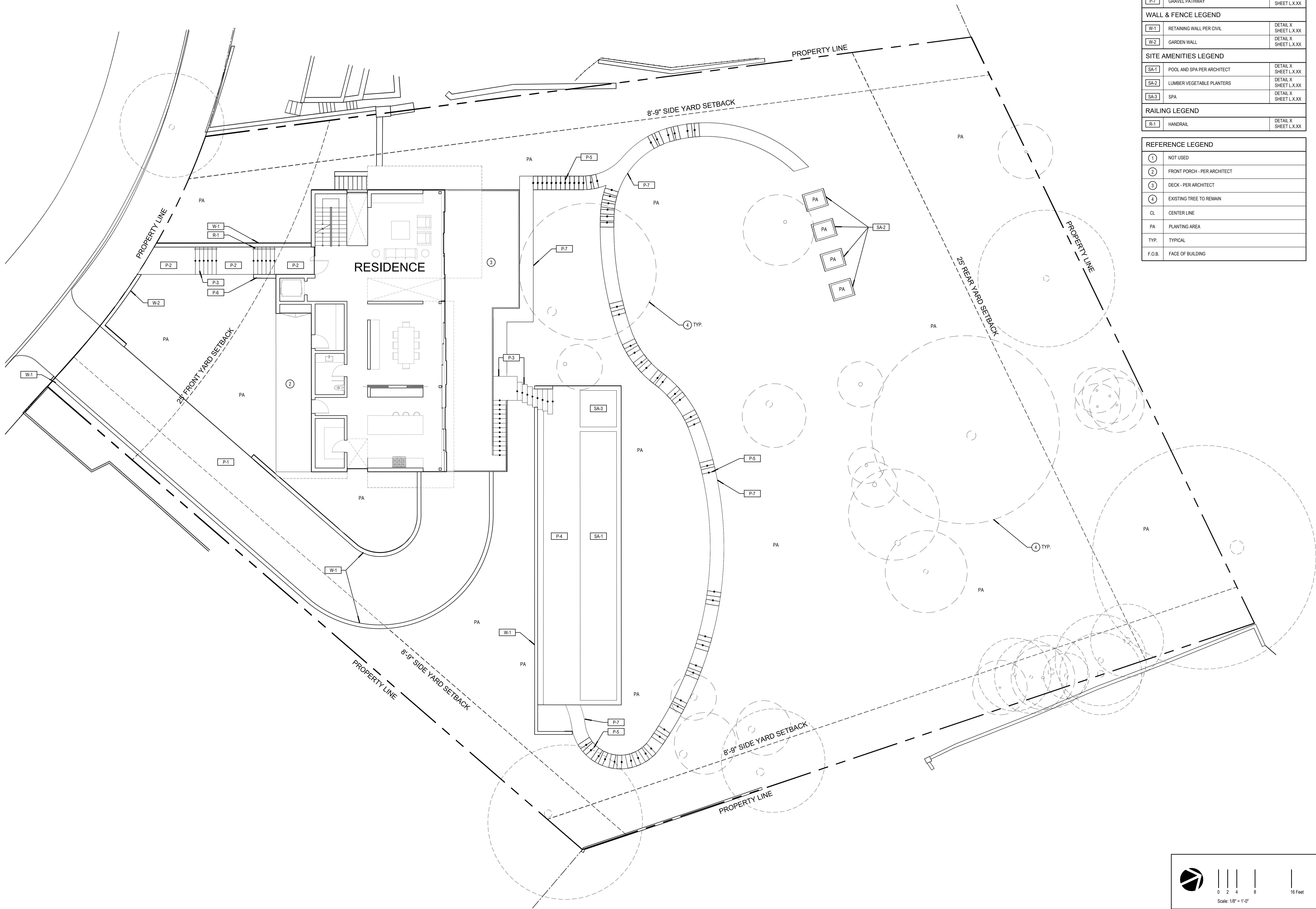
[SA-1]	POOL AND SPA PER ARCHITECT	DETAIL X SHEET LXX
[SA-2]	LUMBER VEGETABLE PLANTERS	DETAIL X SHEET LXX
[SA-3]	SPA	DETAIL X SHEET LXX

## RAILING LEGEND

[R-1]	HANDRAIL	DETAIL X SHEET LXX
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## REFERENCE LEGEND

(1)	NOT USED
(2)	FRONT PORCH - PER ARCHITECT
(3)	DECK - PER ARCHITECT
(4)	EXISTING TREE TO REMAIN
CL	CENTER LINE
PA	PLANTING AREA
TYP.	TYPICAL
F.O.B.	FACE OF BUILDING



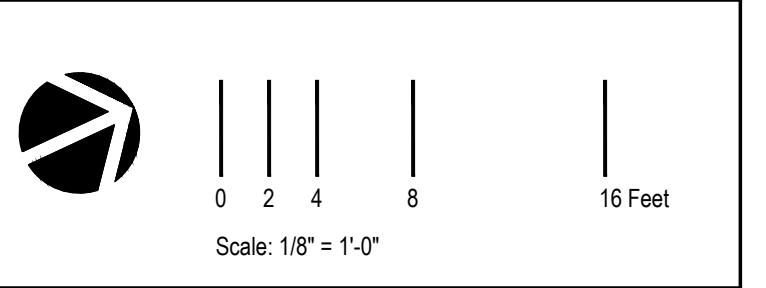
Revisions	By	Date
HDP	RW	06/27/2023
HDP REV 1	RW	09/19/2023
HDP REV 2	RW	11/01/2023
HDP REV 3	RW	01/10/2024
HDP REV 4	RW	07/24/2024
HDP REV 5	RW	08/28/2024
HDP REV 6	RW	10/16/2024
HDP REV 7	RW	01/29/2025

Job Number E22-047  
Design Staff JC  
Project Manager RW  
Principal NE

Preliminary  
Construction Plan

L1.01

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1st City Sub. XX Month 2023



## Scenic Drive

1530 Scenic Drive  
Pasadena, California 91103  
Tract: TR 9664  
Site Area: .685 ACRES

Park Design Case Number: 00000000 - PPD  
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Client  
Zuming Chen & Ye Hong

C920 Granite Dr. #412  
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HDP REV 5	RW	08/28/2024
HDP REV 6	RW	10/16/2024
HDP REV 7	RW	01/29/2025

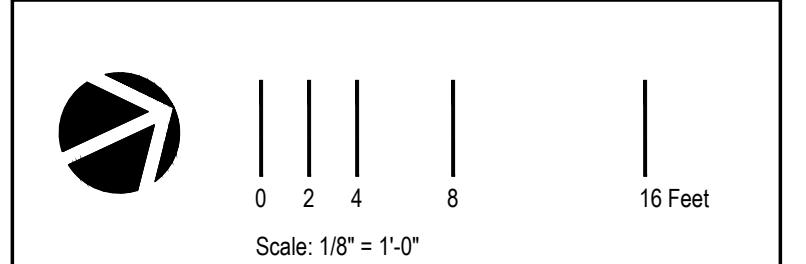
Job Number E22-047  
Design Staff JC  
Project Manager RW  
Principal NE

## Landscape Site Plan

L1.01A

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Plan Control: XX  
Plan Sub: XX Month 2023  
1st





# Scenic Drive

1530 Scenic Drive  
Pasadena, California 91103  
Tract: TR-0664

Tract: TR 9664  
Site Area: .685 ACRES

Park Design Case Number: 00000000 - PPD  
Approved Park Plan Number: 00000000 - PPP  
Playground Plan Number: 00000000 - PPA

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# Zuming Chen & Ye Hom

C920 Granite Dr. #412  
Pasadena, CA 91101  
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A circular registration stamp for Nord Eriksson, Landscape Architect, No. 28583, State of California. The outer ring contains the text "REGISTERED LANDSCAPE ARCHITECT" at the top and "STATE OF CALIFORNIA" at the bottom. The inner circle contains "NORD ERIKSSON" at the top, "No. 28583" in the center, and "Signature" and "Expiration Date" with their respective dates "10/31/23" and "04/21/25" below them. The signature "Nord Eriksson" is written across the center of the inner circle.

Revisions	By	Date
HDP	RW	06/27/2023
HDP REV 1	RW	09/19/2023
HDP REV 2	RW	11/01/2023
HDP REV 3	RW	01/10/2024
HDP REV 4	RW	07/24/2024
HDP REV 5	RW	08/28/2024
HDP REV 6	RW	10/16/2024
HDP REV 7	RW	01/29/2025

**Job Number** E22-047  
**Design Staff** JC  
**Project Manager** RW  
**Principal** NE

# Planting Plan

**L3.00**

Plan Check Number: 00000000-PARK

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# Scenic Drive

1530 Scenic Drive  
Pasadena, California 91103  
Tract: TR 9664  
Site Area: .685 ACRES

Part Design Case Number: 00000000 - PPD  
Approved Park Plan Number: 00000000 - PPP  
Playground Plan Number: 00000000 - PPA

Client

Zuming Chen & Ye Hong

C920 Granite Dr. #412  
Pasadena, CA 91101  
T: 213-705-1983

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Revisions		By	Date
HDP		RW	06/27/2023
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HDP REV 2		RW	11/01/2023
HDP REV 3		RW	01/10/2024
HDP REV 4		RW	07/24/2024
HDP REV 5		RW	08/28/2024
HDP REV 6		RW	10/16/2024
HDP REV 7		RW	01/29/2025

Job Number E22-047  
Design Staff JC  
Project Manager RW  
Principal NE

## Planting Plan - Shrubs and Groundcovers

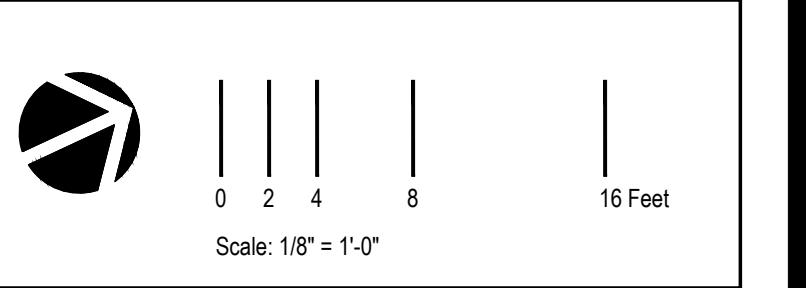
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1st City Sub. XX Month 2023



\*WATER REQUIREMENT PLANT FACTOR IS BASED ON WUCOLS DATABASE AND CAN BE FOUND ONLINE AT:

<http://lucarr.edu/sites/WUCOLS/>



# Scenic Drive

1530 Scenic Drive  
Pasadena, California 91103

Tract: TR 9664  
Site Area: .685 ACRES

Part Design Case Number: 00000000 - PPD  
Approved Plan Number: 00000000 - PPA  
Playground Plan Number: 00000000 - PPA

Client

Zuming Chen & Ye Hong

C920 Granite Dr. #412  
Pasadena, CA 91101  
T: 213-705-1983

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HDP REV 4	RW			07/24/2024
HDP REV 5	RW			08/28/2024
HDP REV 6	RW			10/16/2024
HDP REV 7	RW			01/29/2025

Job Number E22-047  
Design Staff JC  
Project Manager RW  
Principal NE

Tree Disposition Plan

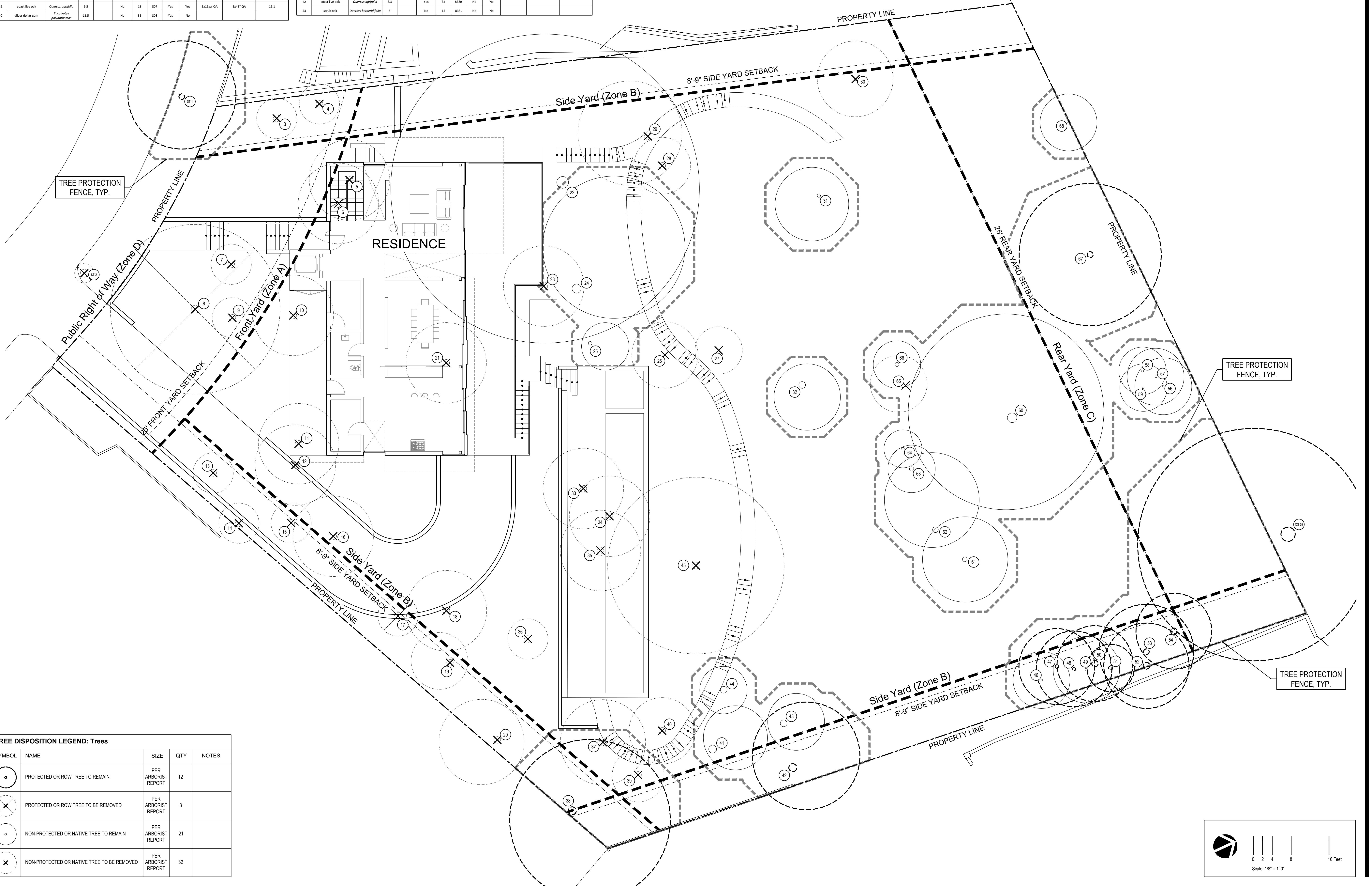
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Plan Control: XX  
Plan Control: XX  
Month: XX  
Year: 2023

Tree #	Common Name	Botanical Name	DBH (Inches)	Circumference Trunk Diameter (Inches)	Projected Tree Height (feet)	Photo #	Required Removal	Required mitigation	Number of Mitigation Trees	Proposed Replacement	Mitigation Trees (per planting plan)	
21	coast live oak	Quercus agrifolia	24		No	30	809, 810	Yes	Yes	1x24"	1x48" QA	
22	coast live oak	Quercus agrifolia	21.2	58.9	No	35	811	No	No		21.1	
23	coast live oak	Quercus agrifolia	14.1		No	35	812	Yes	Yes	1x24"	1x48" QA	
24	coast live oak	Quercus agrifolia	21.5		No	30	813	No	No		23.1	
25	coast live oak	Quercus agrifolia	9.2		No	18	8130	No	No			
26	coast live oak	Quercus agrifolia	11.7		No	18	8140	Yes	Yes	1x24"	1x48" QA	
27	shamel ash	Freminia ulmoides	5.4		No	30	8141	Yes	No		26.1	
28	fern pine	Araucaria bidwillii	4.3		No	30	815	Yes	No			
29	Chinese elm	Ulmus parvifolia	4.3	5	No	15	816	Yes	No			
30	Brisbane box	Lophostemon confertus	2.5, 8	6.6	No	25	823	Yes	No			
31	coast live oak	Quercus agrifolia	8.6		No	15	825	No	No			
32	scrub oak	Quercus berberidifolia	5.3, 4.9	7.3	No	18	826	No	No			
33	coast live oak	Quercus agrifolia	9.6		No	16	827R	Yes	Yes	1x24"	1x48" QA	
34	coast live oak	Quercus agrifolia	18.2		No	25	827L	Yes	Yes	1x24"	1x48" QA	
35	coast live oak	Quercus agrifolia	14.5	22.2	No	35	827C	Yes	Yes	1x24"	1x48" QA	
36	coast live oak	Quercus agrifolia	5		No	20	828	Yes	Yes	1x15gal QA	1x48" QA	
37	Japanese persimmon	Diospyros kaki	5.4, 6.7	8.6	No	22	829-833	Yes	No			
38	coast live oak	Quercus agrifolia	3.4.2		No	35	834	No	No			
39	Japanese persimmon	Diospyros kaki	6.5, 5.5,	8.7	No	15	835	Yes	No			
40	olive	Olea europaea	4.7, 15,	10	Yes	22	805	Yes	Yes	4x30"	4x30" OE	
41	scrub oak	Quercus berberidifolia	5.1, 5.5,	10	No	22	837	No	No			
42	coast live oak	Quercus agrifolia	8.3		Yes	35	838R	No	No			
43	scrub oak	Quercus berberidifolia	5		No	15	838L	No	No			
44	scrub oak	Quercus berberidifolia	2.7, 4.4,	5.5, 6.3		No	16	839	No	No		
45	coast live oak	Quercus agrifolia	9.5, 10.5		No	40	840	Yes	Yes	1x24"	1x48" QA	
46	coast live oak	Quercus agrifolia	4.5		No	20	841	No	No		45.1	
47	scrub oak	Quercus berberidifolia	4.5, 5.5,	4.5	No	18	841	Yes	No			
48	coast live oak	Quercus agrifolia	8.6		No	18	841	Yes	No			
49	coast live oak	Quercus agrifolia	2.7, 6.8	7.3	No	15	842L	No	No			
50	coast live oak	Quercus agrifolia	15.9		Yes	25	842C	No	No			
51	coast live oak	Quercus agrifolia	10.6		No	30	841, 842L	No	No			
52	coast live oak	Quercus agrifolia	13.2,		No	35	843	No	No			
53	coast live oak	Quercus agrifolia	14.5		No	35	843C	No	No			
54	coast live oak	Quercus agrifolia	11, 11.8	16.1	No	28	843L	No	No			
55	sugar gum	Eucalyptus cladocalyx	36		Yes	55	844	No	No			
56	scrub oak	Quercus berberidifolia	6.2		No	15	845R	No	No			
57	scrub oak	Quercus berberidifolia	5.1, 5.7	7.7	No	20	845C	No	No			
58	scrub oak	Quercus berberidifolia	6.1		No	22	845L	No	No			
59	scrub oak	Quercus berberidifolia	4.2		No	5	846LC	No	No			
60	red river gum	comocladus	24.8		No	60	846-854	No	No			
61	scrub oak	Quercus berberidifolia	2.7, 4.4,	4.6, 5.1,	5.5, 6.3	No	12.1	Yes	18	855	No	No
62	coast live oak	Quercus agrifolia	7.8		No	20	856	No	No			
63	coast live oak	Quercus agrifolia	9.4, 5		No	18	857R	No	No			
64	coast live oak	Quercus agrifolia	7.2		No	20	857L	No	No			
65	Chinese elm	Ulmus parvifolia	7.7		No	20	858	Yes	No			
66	coast live oak	Quercus agrifolia	10.4		No	28	859	No	No			
67	coast live oak	Quercus agrifolia	15		Yes	25	860	No	No			
68	coast live oak	Quercus agrifolia	6.5, 1.1,	6.7	No	14	861	No	No			

Note:  
Replacement Matrix per City Tree and Tree Protection  
Ordinance requirement #6:  
City Tree and Tree Protection Ordinance requires #6  
the project, as defined in Section 17.12.020, includes a  
landscape design plan that emphasizes a tree canopy that is  
sustainable over the long term by adhering to the replacement  
matrix prepared by the city manager and included in the  
associated administrative guidelines.



## City Trees #1 thru #8

No fencing has been requested for these trees because they are away from the scope of work and separated by fencing; however no vehicles shall drive or park anywhere near them and their drip. There shall be no storing of trash, materials, or washing of chemicals and cement anywhere near them or their drip line.

## All Oak Trees

1) Any approved trimming of Oak trees shall be done before the beginning of October or with the approval of the project arborist.

## All Protected Trees

1) No broadcast trenching shall be done within six times the diameter of any protected tree.

2) Sprinklers shall be adjusted so they don't wet the tree trunks of any Oak trees

3) Plantings within six times the diameter of any protected tree shall be relocated if a root larger than 2 inches is encountered and must be severed.

4) Any existing debris within the protection fencing areas shall be removed and loaded manually away from the trees and not with heavy equipment.

## General Tree Protection Plan

1) Avoid damaging the roots, stem, and branches with mechanical and manual equipment.

2) Avoid soil compaction by prohibiting the use of heavy equipment such as backhoes and bobcats under the tree drip line.

3) Do not store or park tools, equipment, vehicles, or chemicals under the tree drip line.

4) Avoid washing of equipment and tools such as wheel barrels, shovels, and mechanical motors under the tree drip line.

5) Prevent flooding and pooling of service water under the drip line.

6) Avoid cutting tree roots whenever possible. This can sometimes be accomplished by bridging roots, tunneling, or radial trenching. If roots must be cut use a sharp tool that will make a clean flush cut and not tear the roots. If possible all digging under the tree drip line should be done manually to avoid tearing out of roots.

7) Place a protective barrier or temporary fencing around as much of the drip line of the tree trunk as possible while allowing for the proposed work to be done. Protection fencing shall be 4 to 6 ft. high chain link freestanding panels or secured to posts driven into the ground. There shall be no entry gates into the protection fencing. The fencing shall be placed around the tree trunk and shall be removed when all heavy equipment such as back-hoers, bobcats, and loaders will not be required. Fencing can be adjusted or sections reduced or removed as the project advances into the landscaping phases of the project. The consulting arborist shall be contacted if there are doubts about the placement or removal of fencing.

8) Construction personnel should be briefed on the importance of the guidelines before construction begins and reminded of it during tailgate meetings and as necessary. A printed copy should be posted where employees can be reminded of it.

## TREE PROTECTION NOTES

1. Trimming and pruning shall be performed only under the supervision of the Owner or Arborist of Record.

2. Chain link fencing, five (5) feet in height, will be secured to two-inch diameter galvanized iron posts spaced no more than ten feet apart. See the Tree Protection Plan. A two (2) foot access area will be provided. Installation of protective fencing is the responsibility of the Contractor. Parking or storing of vehicles, trailers, equipment, machinery or construction materials will not be permitted within areas delineated by protective fences, nor will dumping of oils or chemicals.

3. Fences are in tact to (1) prevent direct contact and damage to the canopy, branches, and trunk; (2) preserve roots and soil in an intact and non-compacted state, and (3) identify the tree protection zone. The tree protection fence shall be continuously maintained and repaired as necessary throughout the construction period and remain in place until final landscape work commences.

4. During the course of construction, relocation of the fence may be required to accommodate construction. The Contractor may do so with the approval of the Owner or Arborist of Record at no additional expense.

5. During the course of construction the Contractor shall take all necessary precautions to protect the existing trees from injury. The roots, trunks, and foliage of all existing trees shall be protected. The Contractor shall keep the site area around all existing trees free of debris at all times.

6. Trees subject to the provisions of these requirements that have been injured for any reason shall be repaired immediately by the Arborist of Record or authorized representative. Repair shall include removal of rough bark edges and severely injured branches as directed by the Arborist of Record or authorized representative to protect existing trees to be preserved.

B. During the course of construction within the fenced area, no roots larger than two (2) inches in diameter shall be cut without prior approval from the Arborist of Record or authorized representative.

7. During construction, the existing drainage patterns shall not be altered within the area of the drip line.

8. The following is not permitted within the drip line of any existing tree to be preserved:

A. Storage or parking of automobiles or other vehicles.

B. Stockpiling of building materials or refuse of excavated materials.

C. Skinning or bruising of bark.

D. Use of trees as support posts, power poles, or signposts; anchorage for ropes, guy wires, power lines, or other similar equipment.

E. Dumping of poisonous materials on or around trees and roots. Such material includes but is not limited to paint, petroleum products, contaminated water, or other deleterious materials.

F. Cutting of tree roots by utility trenching, foundation digging, placement of curbs and trenches, and other means of excavation that may interfere with prior approval of the Arborist of Record or authorized representative.

G. Damage to trunk, limbs, or foliage caused by machinery or vehicles.

H. Compaction of the root zone under the drip line by the movement of trucks or grading machines; storage of equipment, gravel, earth fill, or construction supplies, etc.

I. Excessive water or heat from equipment, utility line construction, or burning of trash under or near shrubs or trees.

J. Damage to root system from flooding, erosion, and excessive wetting and drying resulting from dewatering and other operations.

K. Excavating around Trees:

A. Excavation within drip lines shall be done only where absolutely necessary.

B. When trenching for utilities is required within drip lines, tunneling under and around roots or bridging over them is preferred over root severance. Main buttress, or supportive roots, shall not be cut. Smaller roots that interfere with installation of new work may be cut with prior approval of the Arborist of Record or authorized representative.

C. When excavation for new construction is required within drip lines of trees, hand excavation shall be employed to minimize damage to roots. If mechanical excavation is required, the contractor shall contact the Arborist of Record or authorized representative for excavation limits as required to bend and relocate them without breaking. Any roots 2-inches or larger which might be severed will be cleanly cut behind torn ends to enhance the efficient natural "compartmentalization" of the damage by roots. There is no need to apply any type of "pruning seal" compound when roots are cleanly cut, since the torn ends will own intertwiners to decay.

D. Excavated roots shall not be left to dry out or be exposed to permanent backfill is placed. Temporary earth cover shall be provided, or roots shall be packed with wet peat moss or four layers of wet, untreated burlap, and temporarily supported and protected from damage until permanently covered with backfill. The cover over the roots shall be wetted to the point of runoff.

10. Trimming of Trees (when indicated as work included in contract, or when pruning is required as an approval has been granted by the Owner to accommodate construction):

A. Branches shall be thinned in accordance with the American National Standards Institute Standard Practices for Pruning (ANSI) 300-2012.

B. The Arborist of Record or authorized representative shall be engaged to oversee removal of branches from trees and large shrubs which are to remain.

C. In the case of root cuts, apply wet burlap or other protection to prevent drying out, and maintain in a moist condition until permanent backfill is in place.

11. Soil Compaction Mitigation:

A. The Contractor will be responsible for installing any root buffer material such as mulch, gravel, or plywood. The Contractor is responsible for its maintenance to assure effectiveness against soil compaction.

12. Repair Compensation:

A. Damage to existing crowns or roots over two (2) inches in diameter shall be immediately reported to the Owner, in writing, and repaired immediately at the Contractor's expense by the Arborist of Record or authorized representative.

B. The Arborist of Record or authorized representative shall direct the repair of trees damaged by construction operations. Repairs shall be made promptly after damage occurs to prevent progressive deterioration of damaged trees.

C. Any tree to remain which is damaged or destroyed owing to the Contractor's failure to provide adequate protection shall be compensated for in accordance with the guidelines set forth in the Guide for Plant Appraisal, 9th Edition, using the Trunk Formula Method.

13. For trees and shrubs with diameters up to and including 6 inches, compensation shall be the actual cost of replacement with item similar in species, size, and shape, including, but not limited to:

A. Actual cost of replacement.

B. Transportation and delivery of boxed tree to site.

C. Planting and staking (or guying).

D. Establishment period maintenance for at least 90 days, including watering, pruning, pest control, or other care to bring replacement to the same general condition of the original tree.

E. Damaged tree limbs or trees which have died as a result of injury during construction shall remain or be removed by the Contractor as directed by the Owner or Arborist of Record.



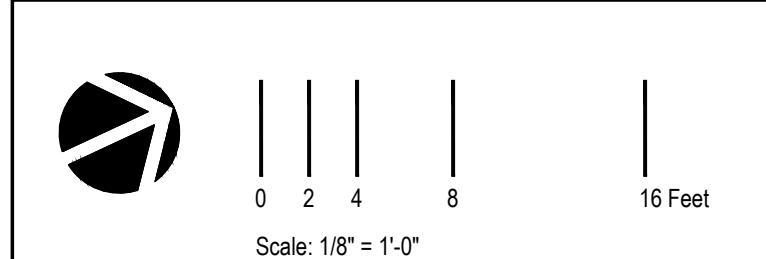
Revisions	By	Date
HDP	RW	06/27/2023
HDP REV 1	RW	09/19/2023
HDP REV 2	RW	11/01/2023
HDP REV 3	RW	01/10/2024
HDP REV 4	RW	07/24/2024
HDP REV 5	RW	08/28/2024
HDP REV 6	RW	10/16/2024
HDP REV 7	RW	01/29/2025

Job Number	E22-047
Design Staff	JC
Project Manager	RW
Principal	NE

## Tree Disposition Plan

L3.02

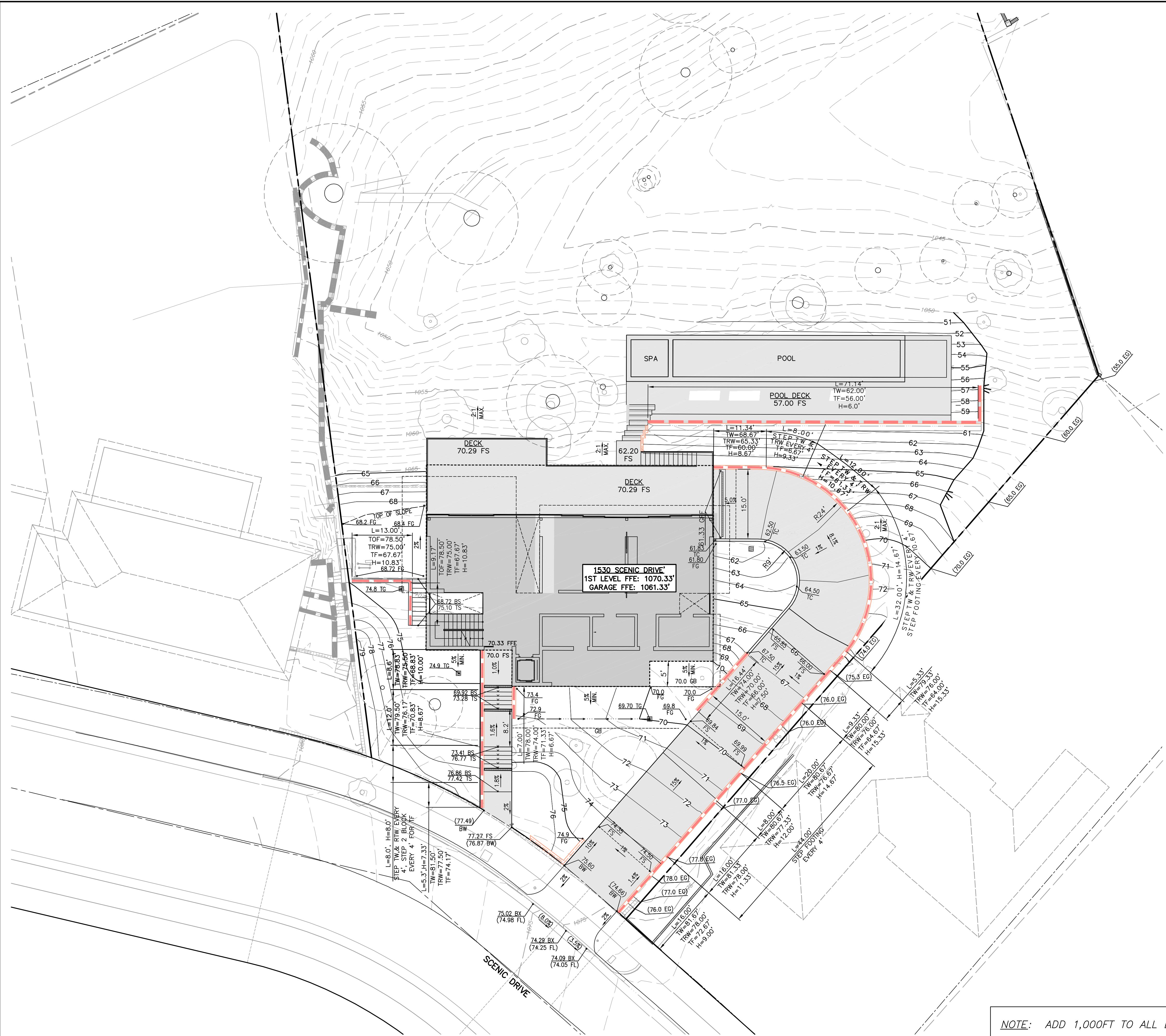
Plan Check Number: 00000000-PARK  
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Plan Control: XX  
Sub: XX Month: XX



Tree #	Common Name	Botanical Name	DBH (Inches)	Circumference Trunk Diameter (Inches)	Projected Tree Height (feet)	Photo #	Required Removal	Required mitigation	Number of Mitigation Trees	Proposed Replacement	Mitigation Trees (per planting plan)
21	coast live oak	Quercus agrifolia	24		No	30	809, 810	Yes	Yes	1x24"	1x48" QA
22	coast live oak	Quercus agrifolia	21.2	28.3	No	35	811	No	No		21.1
23	coast live oak	Quercus agrifolia	14.1		No	35	812	Yes	Yes	1x24"	1x48" QA
24	coast live oak	Quercus agrifolia	21.5		No	30	813	No	No		23.1
25	coast live oak	Quercus agrifolia	9.2		No	18	814	No	No		
26	coast live oak	Quercus agrifolia	11.7		No	18	814	Yes	Yes	1x24"	1x48" QA
27	shamel ash	Fraxinus uhdei	5.4		No	30	814	Yes	No		
28	fern pine	Araucaria bidwillii	4.3		No	30	815	Yes	No		
29	Chinese elm	Ulmus parvifolia	4.3	5	No	15	816	Yes	No		
30	Brisbane box	Lophostemon confertus	2.5, 8	6.4	No	25	823	Yes	No		
31	coast live oak	Quercus agrifolia	8.6		No	15	825	No	No		
32	scrub oak	Quercus berberidifolia	5.3, 4.9	7.3	No	18	826	No	No		
33	coast live oak	Quercus agrifolia	9.6		No	16	827	Yes	Yes	1x24"	1x48" QA
34	coast live oak	Quercus agrifolia	18.2		No	25	827	Yes	Yes	1x24"	1x48" QA
35	coast live oak	Quercus agrifolia	14.3	22.2	No	35	827C	Yes	Yes	1x24"	1x48" QA
36	coast live oak	Quercus agrifolia	5		No	20	828	No	Yes	1x15gal QA	1x48" QA
37	Japanese persimmon	Diospyros kaki	5.4, 6.7	8.6	No	22	829-833	Yes	No		
38	coast live oak	Quercus agrifolia	3.4, 2		No	35	834	No	No		
39	Japanese persimmon	Diospyros kaki	6.3, 3.5,	8.7	No	15	835	Yes	No		
40	olive	Olea europaea	4.7, 15,	10	No	30	836	Yes	No		
41	scrub oak	Quercus berberidifolia	3.1, 5.5,	10	No	22	837	Yes	No		
42	coast live oak	Quercus agrifolia	8.3		No	35	838	No	No		
43	scrub oak	Quercus berberidifolia	5		No	15	839	No	No		
44	scrub oak	Quercus berberidifolia	4.5		No	16	839	No	No		
45	coast live oak	Quercus agrifolia	9.5, 10.5		No	40	840	Yes	Yes	1x24"	1x48" QA
46	coast live oak	Quercus agrifolia	4.5		No	20	841	No	No		45.1
47	scrub oak	Quercus berberidifolia	4.3, 5.1,	4.3	No	18	841	No	No		
48	coast live oak	Quercus agrifolia	2.7, 8.8	7.3	No	15	841	No	No		
49	coast live oak	Quercus agrifolia	15.9		Yes	25	842C	No	No		
50	coast live oak	Quercus agrifolia	10.6		Yes	30	841, 842	No	No		
51	coast live oak	Quercus agrifolia	13.2,		Yes	35	843	No	No		
52	coast live oak	Quercus agrifolia	17.1		Yes	35	843R	No	No		
53	coast live oak	Quercus agrifolia	14.5		Yes	35	843C	No	No		
54	coast live oak	Quercus agrifolia	11, 11.8	16.1	Yes	28	843L	No	No		
55	sugar gum	Eucalyptus cladocalyx	36		Yes	55	844	No	No		
56	scrub oak	Quercus berberidifolia	6.2		No	15	845R	No	No		
57	scrub oak	Quercus berberidifolia	5.1, 5.7	7.7	No	20	845C	No	No		
58	scrub oak	Quercus berberidifolia	6.1		No	22	845L	No	No		
59	scrub oak	Quercus berberidifolia	4.2		No	5	846C	No	No		
60	red river gum	Acacia elata	24.8		No	60	846-854	No	No		

Tree #	Common Name	Botanical Name	DBH (Inches)	Circumference Trunk Diameter (Inches)	Projected Tree Height (feet)	Photo #	Required Removal	Required mitigation	Number of Mitigation Trees	Proposed Replacement	Mitigation Trees (per planting plan)
21	Siberian elm	Ulmus pumila	13.5		ROW	22	778-784	Yes	No		
22	sawtooth zelkova	Zelkova serrata	1.4		ROW	12	785	Yes	Yes	1x15gal	Zelkova serrata
23	Japanese maple	Zelkova serrata	6.2		No	18	786-793	Yes	No		
24	lemon berberis	Callicarpa citriodora	3.7, 3.6	6	No	12	794	Yes	No		
25	coast live oak	Quercus agrifolia	14.3		No	18	814	Yes	Yes	1x24"	1x48" QA
26	coast live oak	Quercus agrifolia	11.7		No	30	815	Yes	Yes	1x24"	1x48" QA
27	coast live oak	Quercus agrifolia	16.3		No	35	815L	Yes	Yes	1x24"	1x48" QA
28	coast live oak	Quercus agrifolia	11.7		No	30	815R	Yes	Yes	1x24"	1x48" QA
29	coast live oak	Quercus agrifolia	4.1		No	18	796R	Yes	Yes	1x15gal	Quercus agrifolia
30	coast live oak	Quercus agrifolia	11.5		Yes	25	797	Yes	Yes	3x24"	3x72" QA, 8.1, 8.2, and 8.3
31	coast live oak	Quercus agrifolia	4.4, 4.7	6.6	No	25	798	Yes	Yes	1x15gal	Quercus agrifolia
32	coast live oak	Quercus agrifolia	9.4		No	30	799	Yes	Yes	1x24"	1x48" QA
33	coast live oak	Quercus agrifolia	9.2		No	30	800L	Yes	Yes	1x24"	1x48" QA
34	coast live oak	Quercus agrifolia	10.4		No	30	800R	Yes	Yes	1x24"	1x48" QA
35	larch	Betula utilis	6.8, 8	10.4	No	18	801	Yes	No		
36	shamel ash	Fraxinus uhdei	5.8, 8.4	13.1	No	10	802	Yes	No		
37	Mexican fan palm	Washingtonia robusta	87-95		No	40	803	Yes	No		
38	coast live oak	Quercus agrifolia	12.7		No	35	804	Yes	Yes	1x24"	1x48" QA
39	olive	Olea europaea	4.7, 15,	10	Yes	22	805	Yes	Yes	4x36"	17.1, 17.2, 17.3, and 17.4
40	coast live oak	Quercus agrifolia	23		No	25	806	Yes	Yes	1x24"	1x48" QA
41	coast live oak	Quercus agrifolia	6.5		No	18	807	Yes	Yes	1x15gal	Quercus agrifolia
42	silver dollar gum	Eucalyptus polyanthemos	11.5		No	35	808	Yes	No		

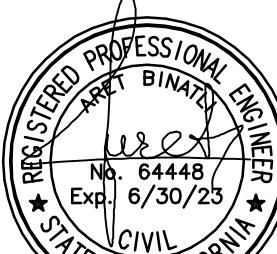
Tree #	Common Name	Botanical Name	DBH (Inches)	Circumference Trunk Diameter (Inches)	Projected Tree Height (feet)	Photo #	Required Removal	Required mitigation	Number of Mitigation Trees	Proposed Replacement	Mitigation Trees (per planting plan)
43	scrub oak	Quercus berberidifolia	4.5		No	16	839	No	No		
44	coast live oak	Quercus agrifolia	9.5, 10.5		No	40	840	Yes	Yes	1x24"	1x48" QA
45	coast live oak	Quercus agrifolia	4.5		No	20	841	No	No		
46	scrub oak	Quercus berberidifolia	4.3, 5.1,	4.3	No	18	841	No	No		
47	scrub oak	Quercus berberidifolia	4.3, 5.1,	4.3	No	18	841	No	No		
48	coast live oak	Quercus agrifolia	2.7, 8.8	7.3	No	15	841	No	No		
49	coast live oak	Quercus agrifolia	15.9		No	25	842	No	No		
50	coast live oak	Quercus agrifolia	10.6		Yes	30	841, 842	No	No		
51	coast live oak	Quercus agrifolia	13.2,		Yes	35	843	No	No		
52	coast live oak	Querc									



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SOILS ENGINEER:  
CONTACT ADDRESS LOCATION (xx)-xxx-xxxx

OWNER:  
YE HONG & ZUMING CHEN  
920 GRANITE DRIVE, #412  
PASADENA, CA 91101





**EARTHWORK QUANTITY TABLE**

	CUT (CY)	FILL (CY)
ROUGH GRADE*	2,213	45
OVEREX & RECOMPACT (ASSUMED 24" UNDER ALL PAVEMENT)	200	200
SUBTOTAL:	2,413	245
SHRINKAGE (10% OF R&R ASSUMED)	0	25
TOTAL:	2,413	270
ESTIMATED EXPORT AMOUNT:	2,143 CY	

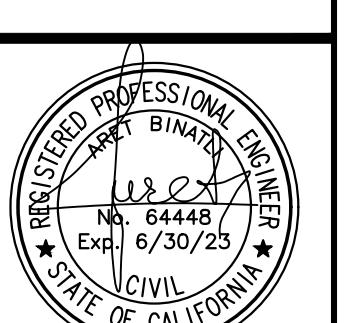
\*APPROXIMATE VALUES FOR BUILDING SUBSURFACE. ROUGH GRADE LEFT 8" LOW FOR FOOTING AND OTHER SPOILS. VOLUME GENERATED USING AUTODESK, AUTOCAD CIVIL 3D SOFTWARE. CUT/FILL DEPTHS AS SHOWN IN PLAN. COMPARISON BETWEEN EXISTING GRADE AND HOUSE ROUGH SURFACE.

**EARTHWORK LEGEND**

◊ xx.x	FILL DEPTH
◊ -xx.x	CUT DEPTH
██████████	FILL AREA
██████████	CUT AREA

**SOILS ENGINEER:**

OWNER:  
YE HONG & ZUMING CHEN  
920 GRANITE DRIVE, #412  
PASADENA, CA 91101



PREPARED BY:

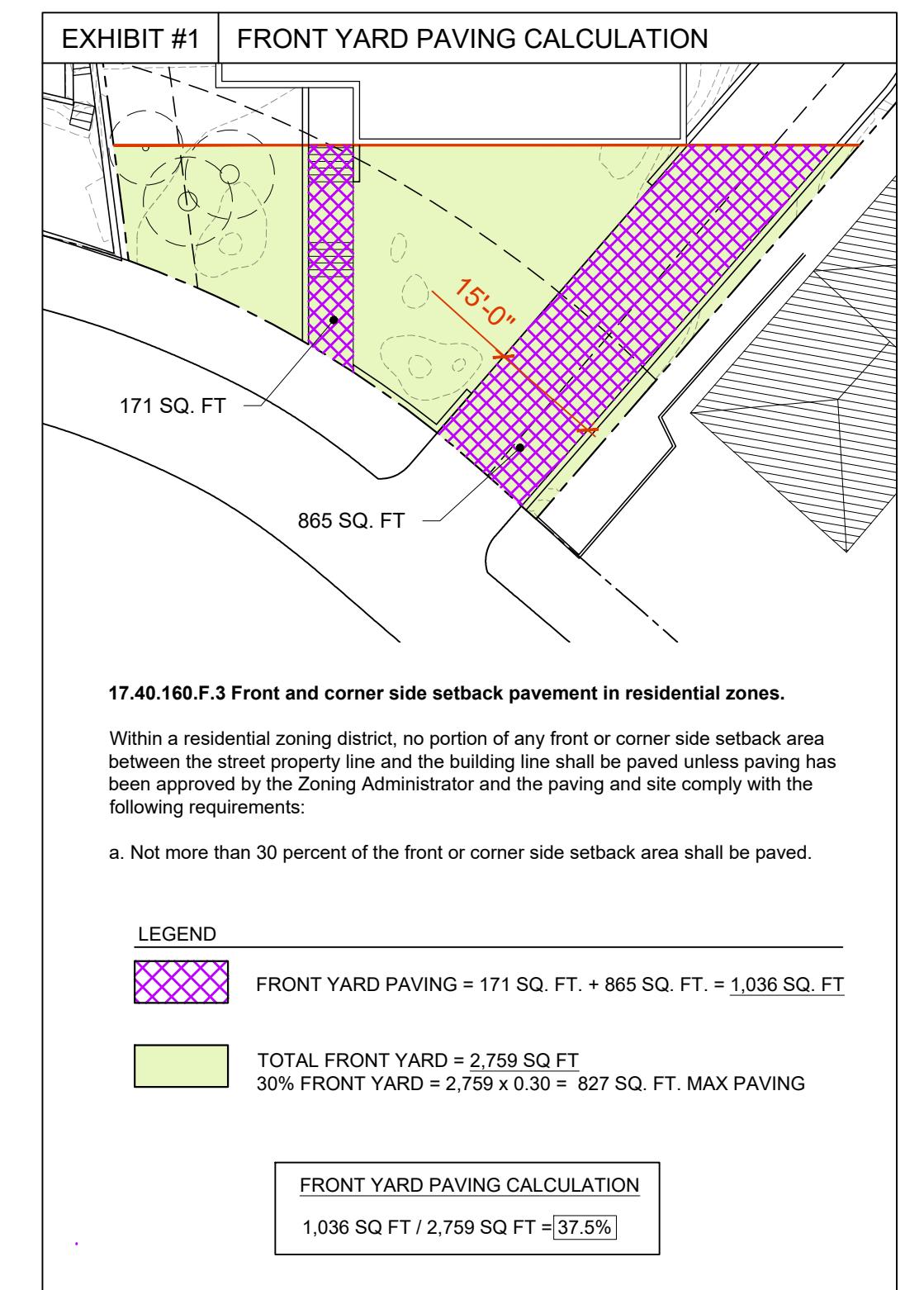
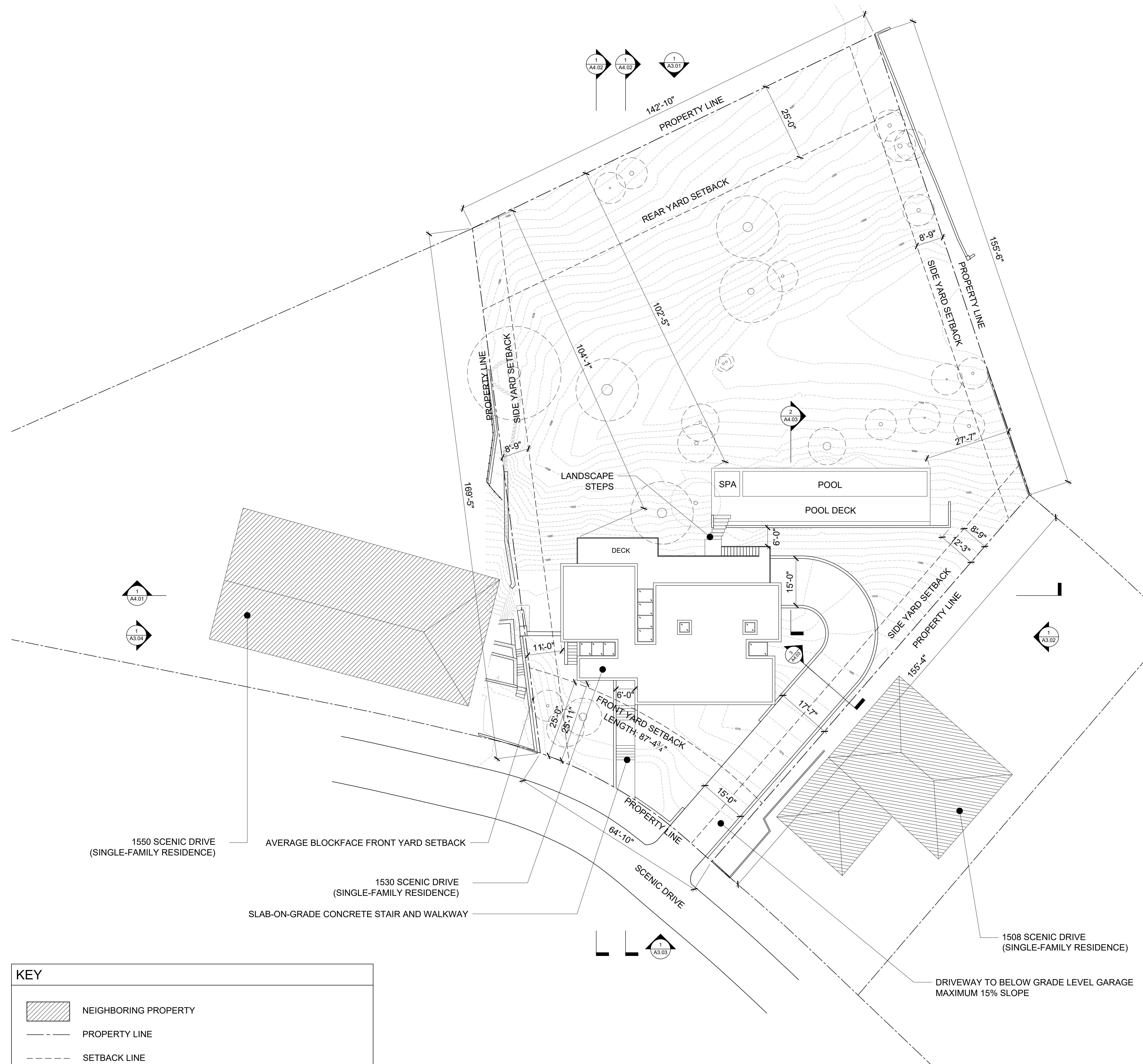
**FORMA ENGINEERING INC.**  
400 SAN FERNANDO MISSION BLVD., STE 200  
SAN FERNANDO, CA 91340-1710 • 818-832-1740  
Phone: 818-832-1710

**EARTHWORK**  
**1530 SCENIC DRIVE**  
**PASADENA, CA 91103**

DATE  
8/26/2024  
JOB NUMBER  
22212

C2

NOTE: ADD 1,000FT TO ALL ELEVATIONS SHOWN



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O	FAX 213 278 0678
	<a href="http://toloarchitecture.com">toloarchitecture.com</a>

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El Segundo, CA 90245  
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---

## DRAWING NOTES/KEY PLAN

---

TITLE	
SITE PLAN	
SCALE $\frac{1}{16}$ " = 1'-0"	
PROJECT NO.    2-2109-299	
ISSUE DATE      01.29.2025	
FILE NO.	
A1.00	

KEY

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 NEIGHBORING PROPERTY

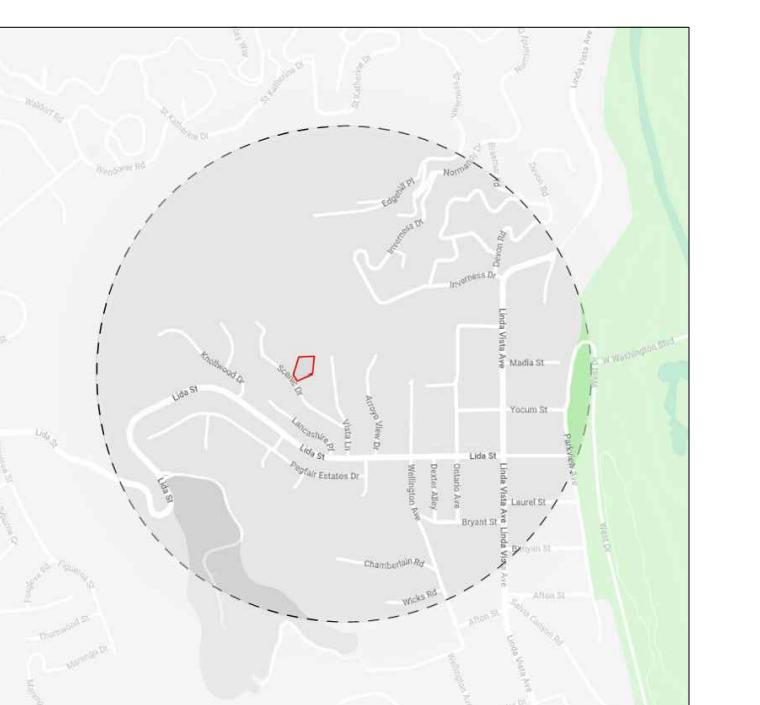
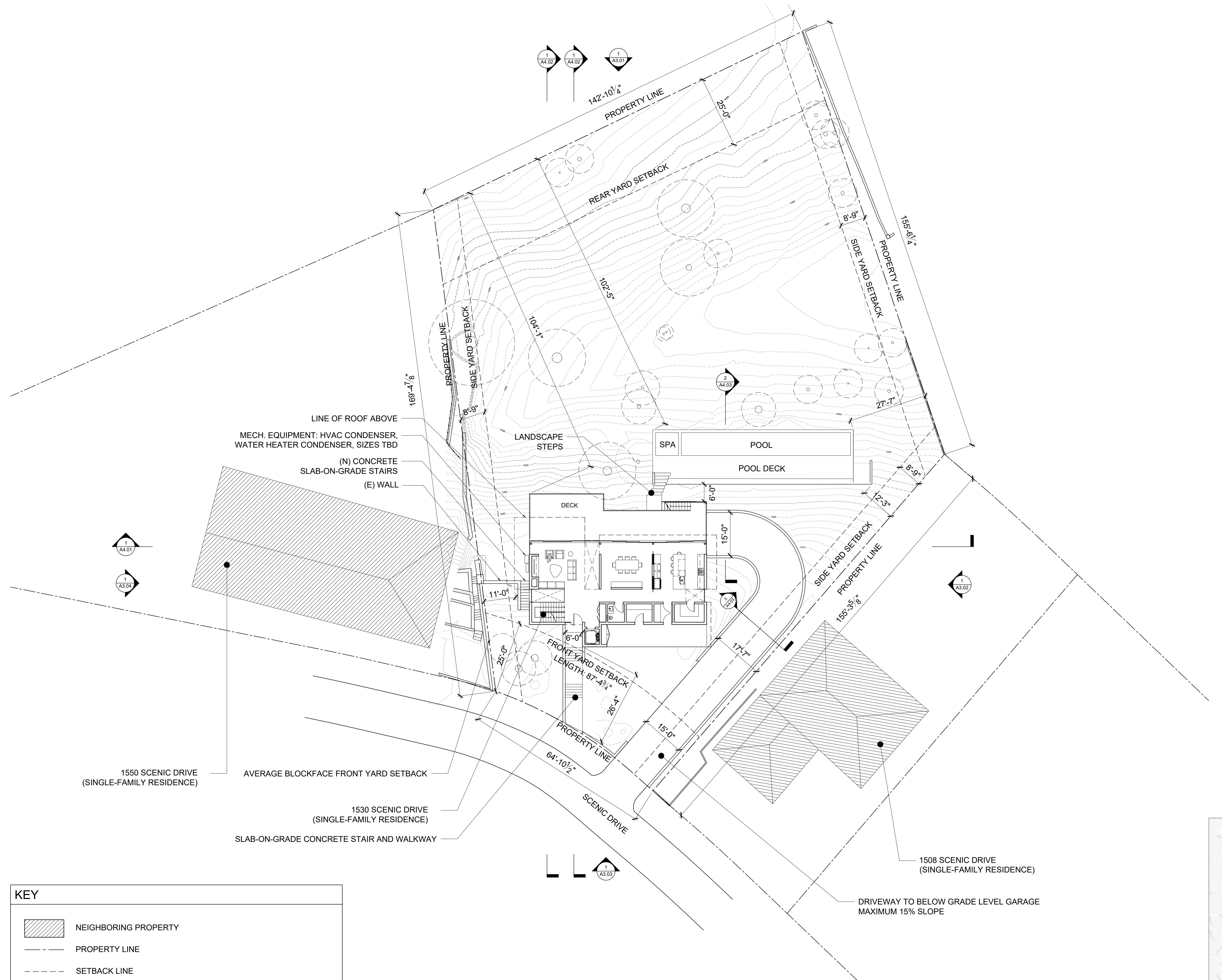
 PROPERTY LINE

 SETBACK LINE

## 1 SITE PLAN

## VICINITY MAP, N.T.S.

A1.00



# SITE PLAN - FIRST LEVEL PLAN

SCALE	$\frac{1}{16}$ " = 1'-0"
PROJECT NO.	2-2109-299
ISSUE DATE	01.29.2025
FILE NO.	

# A1.00-A

## 1 SITE PLAN - FIRST LEVEL PLAN

## VICINITY MAP, N.T.S.



## KEY

- WALLS TO BE DEMOLISHED
- PROPERTY LINE
- NEIGHBORING PROPERTY

## NOTES

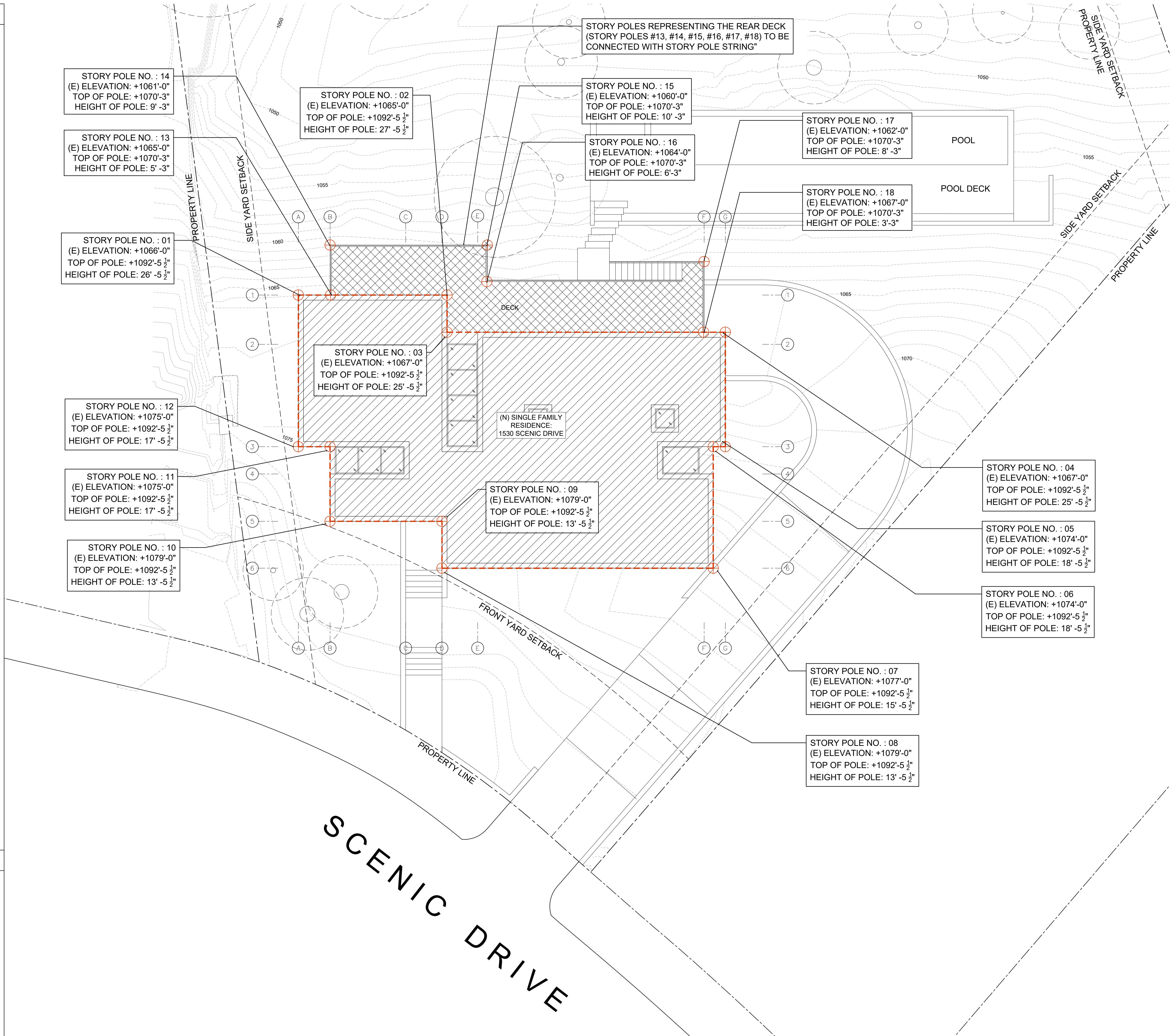
- VERIFY AND PROTECT EXISTING UTILITIES. CONTACT DIG ALERT BEFORE EXCAVATING. PHONE NUMBER: 8-1-1.
- EXISTING FENCES TO BE DEMOLISHED, UNLESS NOTED.
- ADJUST CONSTRUCTION FENCE WHEN APPROPRIATE AS CONSTRUCTION PROGRESSES.
- REFER TO SITE PLAN FOR LOCATION OF RELOCATED UTILITIES AND CONNECTIONS. REFER TO CIVIL FOR ADDITIONAL INFORMATION.
- BEFORE DEMOLITION BEGINS ARCHITECT TO GO OVER WITH CONTRACTOR DEMOLITION PLANS ON SITE.
- CONTRACTOR TO BE RESPONSIBLE FOR ANY SHORING OR SUPPORTS ON EXISTING SINGLE FAMILY RESIDENCE DURING THE DEMOLITION AND CONSTRUCTION PROCESS.

## NOTES

1. STORY POLES SHALL CONSIST OF WOOD POSTS OR OTHER RIGID MATERIALS AT ALL CORNERS OF THE STRUCTURE AND AT EITHER END OF THE PROPOSED RIDGELINES, WITH A MINIMUM OF TWO FEET OF ORANGE SAFETY FENCING CONNECTING THE TOP OF THE POLES.
2. CONNECTED WITH A TAUT ROPE WITH TRIANGULAR FLAGGING, THE STORY POLES SHALL DEPICT THE FULL EXTENT OF THE VOLUME OF THE PROJECT.
3. THE TOP ONE FOOT OF THE POSTS SHALL BE PAINTED RED OR ORANGE TO DEMARQUE THE HEIGHT OF THE PROPOSED STRUCTURE.
4. THE TEMPORARY SILHOUETTE SHALL BE CONSTRUCTED AT LEAST 14 DAYS PRIOR TO THE PUBLIC HEARING AND REMAIN IN PLACE THROUGHOUT THE REQUIRED NOTICING PERIOD AND THE APPEAL PERIOD. THE ZONING ADMINISTRATOR OR THE DIRECTOR MAY REQUIRE THE SILHOUETTE TO BE CONSTRUCTED MORE THAN 14 DAYS BEFORE THE HEARING. THE APPLICANT SHALL NOT CONSTRUCT THE TEMPORARY SILHOUETTE UNTIL INSTRUCTED TO DO SO.
5. THE ZONING ADMINISTRATOR OR THE DIRECTOR MAY MODIFY THESE STANDARDS AS NEEDED.
6. STORY POLES REPRESENTING THE REAR DECK (STORY POLES #13, #14, #15, #16, #17, #18) TO BE CONNECTED WITH STORY POLE STRING

## KEY

- DECK AREA
- STORY POLE
- STORY POLE STRING
- ROOF AREA
- PROPERTY LINE
- SETBACK LINE



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**LO**

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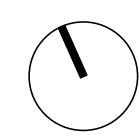
**LANDSCAPE ARCHITECT**  
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RECORD DATE  
PRE PLAN REVIEW SUBMITTAL 02.03.2022  
HILLSIDE DEV. PERMIT SUBMITTAL 07.13.2023  
HILLSIDE DEV. PERMIT RESUB. 01.12.2024  
HILLSIDE DEV. PERMIT RESUB. #2 08.30.2024  
HILLSIDE DEV. PERMIT RESUB. #3 12.02.2024  
HILLSIDE DEV. PERMIT PLANS 01.29.2025

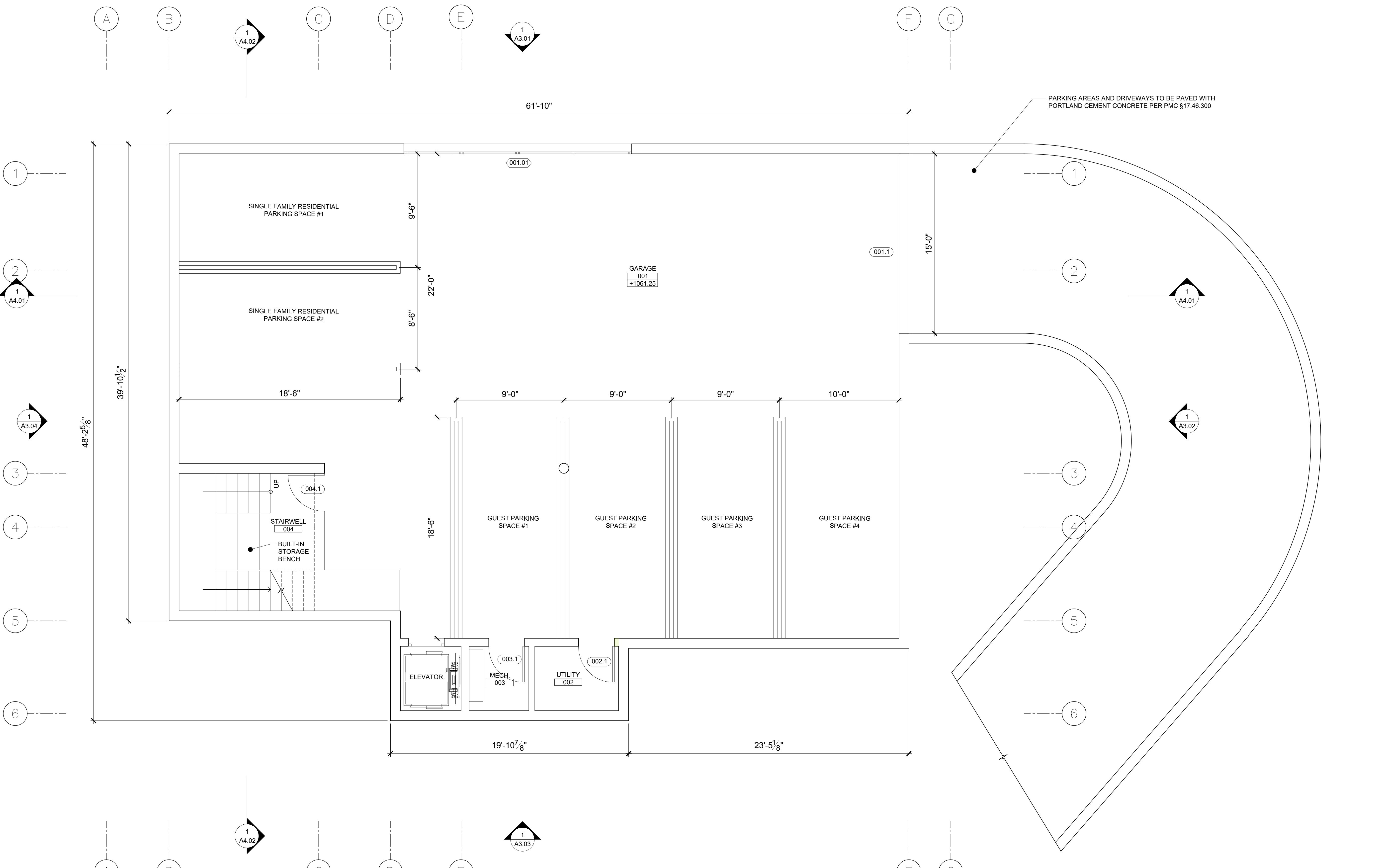
## DRAWING NOTES/KEY PLAN



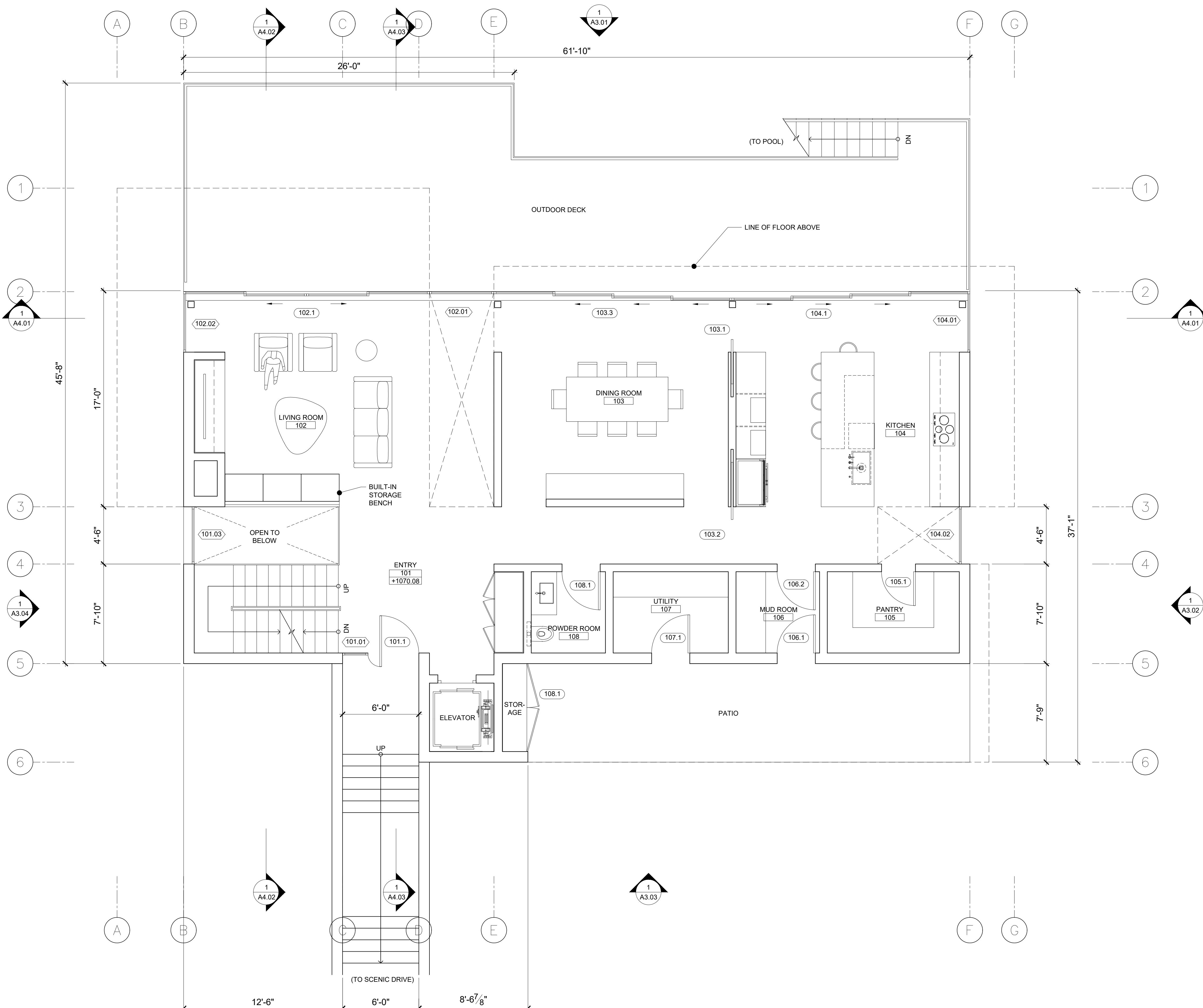
TITLE  
STORY POLE PLAN

SCALE  $1/16'' = 1'-0''$   
PROJECT NO. 2-2109-299  
ISSUE DATE 01.29.2025  
FILE NO.

A1.02



1/4 Scale 1 unit = 1'-0"



1/4 Scale 1 unit = 1'-0"

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**RECORD** **DATE**  
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HILLSIDE DEV. PERMIT RESUB. #2 08.30.2024  
HILLSIDE DEV. PERMIT RESUB. #3 12.02.2024  
HILLSIDE DEV. PERMIT PLANS 01.29.2025

**DRAWING NOTES/KEY PLAN**

**TITLE**  
**FIRST LEVEL FLOOR PLAN**

SCALE	1/4" = 1'-0"
PROJECT NO.	2-2109-299
ISSUE DATE	01.29.2025
FILE NO.	

**A2.01**

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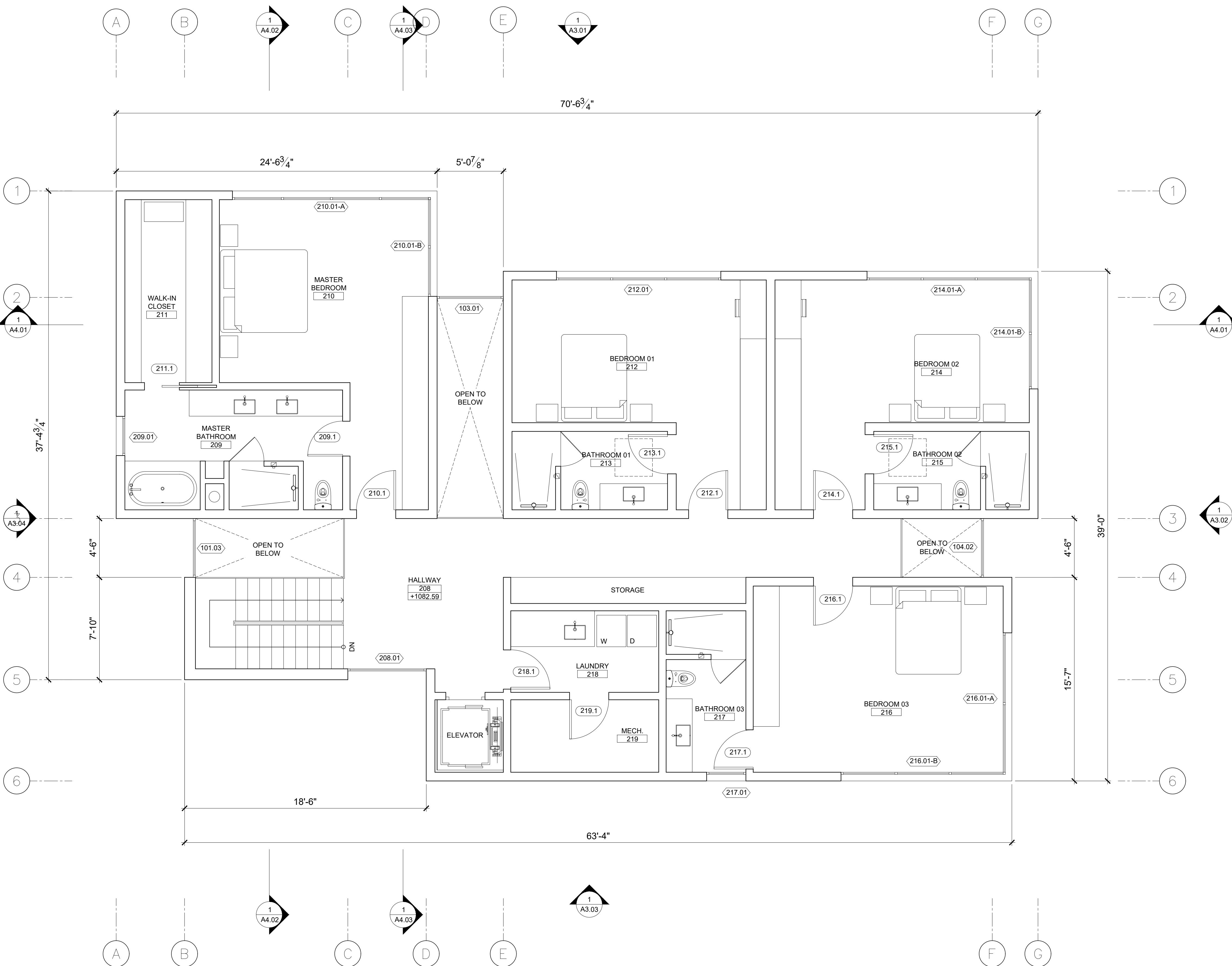
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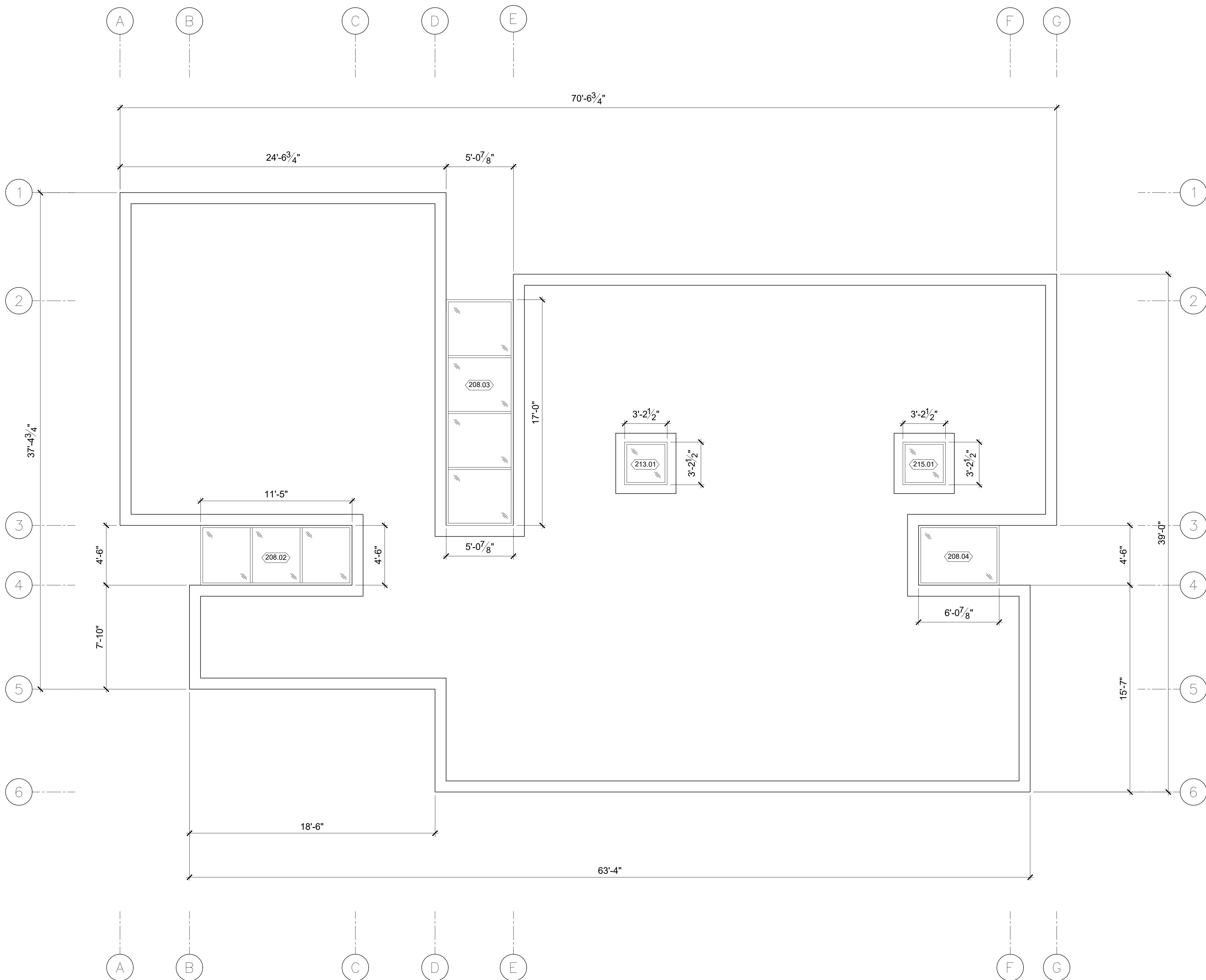
RECORD	DATE
PRE PLAN REVIEW SUBMITTAL	02.03.2022
HILLSIDE DEV. PERMIT SUBMITTAL	07.13.2023
HILLSIDE DEV. PERMIT RESUB.	01.12.2024
HILLSIDE DEV. PERMIT RESUB. #2	08.30.2024
HILLSIDE DEV. PERMIT RESUB. #3	12.02.2024
HILLSIDE DEV. PERMIT PLANS	01.29.2025

DRAWING NOTES/KEY PLAN	

TITLE	
SECOND LEVEL FLOOR PLAN	
SCALE	$\frac{1}{4}$ " = 1'-0"
PROJECT NO.	2-2109-299
ISSUE DATE	01.29.2025
FILE NO.	



1/4 Scale 1 unit = 1'-0"



The logo consists of the letters 'T', 'O', 'L', and 'O' in a large, bold, black font, arranged vertically to form the acronym 'TOLO'.

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HILLSIDE DEV. PERMIT RESUB. #3	12.02.2024
HILLSIDE DEV. PERMIT PLANS	01.29.2025

## DRAWING NOTES/KEY PLAN

# ROOF PLAN

SCALE	$\frac{1}{4}$ " = 1'-0"
PROJECT NO.	2-2109-299
ISSUE DATE	01 29 2025

## ZONING REQUIREMENTS

MAXIMUM PERMITTED BUILDING HEIGHT: 35' - MEASURED FROM LOWEST POINT OF GRADE  
28' - IMAGINARY PLANE PARALLEL TO GRADE  
  
PROPOSED BUILDING HEIGHT: ~30'-1"  
BUILDING HEIGHT IS MEASURED FROM THE LOWEST POINT OF GRADE TO THE HIGHEST ROOF PLANE.  
  
REQUIREMENT IS DEMONSTRATED ON ELEVATIONS (SEE A3.01 - A3.04)

## CEILING HEIGHTS

FLOOR TO CEILING HEIGHTS  
8'-0" BELOW GRADE GARAGE TO FIRST LEVEL  
10'-4" FIRST LEVEL TO SECOND LEVEL  
9'-4" SECOND LEVEL TO ROOF LEVEL

## NOTES

PORTIONS OF RESIDENCE OVER 17'-0" IN HEIGHT ARE COUNTED TWICE PER SECTION 17.80.020 PMC. SEE FLOOR AREA DIAGRAMS ON SHEET G0.06

KEY	
	NEIGHBORING PROPERTY
	BUILDING HEIGHT PLANE

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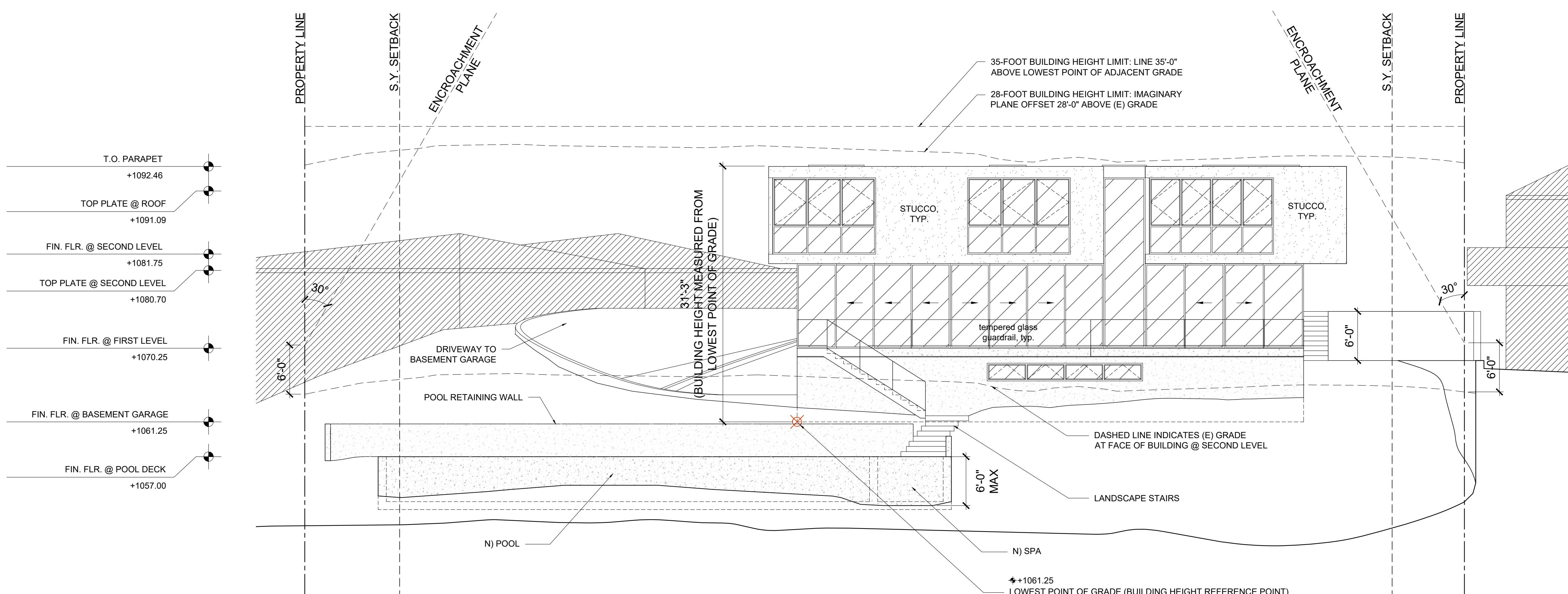
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HILLSIDE DEV. PERMIT RESUB. #3	12.02.2024
HILLSIDE DEV. PERMIT PLANS	01.29.2025

DRAWING NOTES/KEY PLAN	

TITLE	
NORTH ELEVATION	
SCALE	1/8" = 1'-0"
PROJECT NO.	2-2109-299
ISSUE DATE	01.29.2025
FILE NO.	

A3.01



## ZONING REQUIREMENTS

MAXIMUM PERMITTED BUILDING HEIGHT: 35' - MEASURED FROM LOWEST POINT OF GRADE  
28' - IMAGINARY PLANE PARALLEL TO GRADE  
  
PROPOSED BUILDING HEIGHT: ~30'-1"  
BUILDING HEIGHT IS MEASURED FROM THE LOWEST POINT OF GRADE TO THE HIGHEST ROOF PLANE.  
  
REQUIREMENT IS DEMONSTRATED ON ELEVATIONS (SEE A3.01 - A3.04)

## CEILING HEIGHTS

FLOOR TO CEILING HEIGHTS  
8'-0" BELOW GRADE GARAGE TO FIRST LEVEL  
10'-4" FIRST LEVEL TO SECOND LEVEL  
9'-4" SECOND LEVEL TO ROOF LEVEL

## NOTES

PORTIONS OF RESIDENCE OVER 17'-0" IN HEIGHT ARE COUNTED TWICE PER SECTION 17.80.020 PMC. SEE FLOOR AREA DIAGRAMS ON SHEET G0.06

KEY	
	NEIGHBORING PROPERTY
	BUILDING HEIGHT PLANE

<b>T</b>	<b>O</b>	TOLO Architecture 1700 S. Santa Fe Avenue #240 Los Angeles CA 90021 TEL 213 278 0678 FAX 213 278 0678 toloarchitecture.com
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PROJECT	Ye/Chen Residence 1530 Scenic Drive Pasadena, CA 91103
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CLIENT	Zuming Chen & Yu Zhao 920 Granite Drive, #412 Pasadena, CA 91101
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CIVIL ENGINEER	Forma Engineering 400 San Fernando Mission Blvd., Suite 200 San Fernando, CA 91340 Contact: Aret Binatti Email: abinatti@formaeng.com
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LANDSCAPE ARCHITECT	EPT Design 234 N El Molino Ave., Suite 100 Pasadena, CA 91101 Contact: Nord Eriksson Email: neriksson@eptdesign.com
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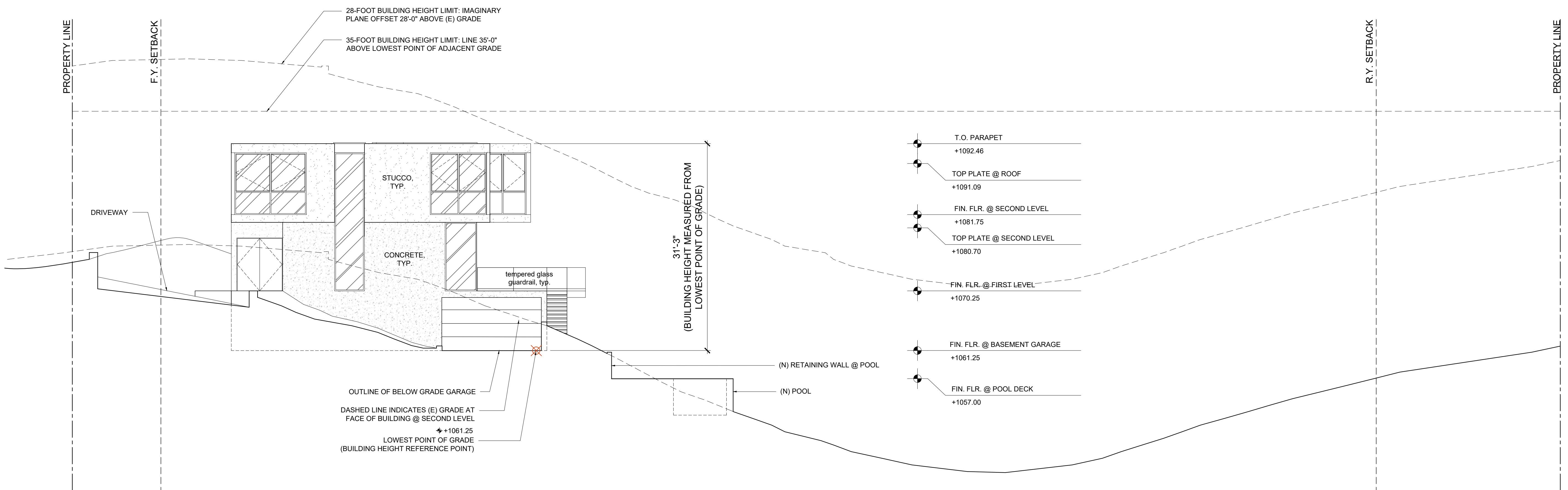
STRUCTURAL ENGINEER	Labib Funk + Associates 319 Main St El Segundo, CA 90245 Contact: Fabio Zangoli Email: fabio.zangoli@abifunk.com
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SURVEYOR	Hennon Surveying & Mapping, Inc. 601 E Glenoaks Blvd., Suite 208 Glendale, CA 91207 Contact: Rob Hennon Email: info@hennon.com
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HILLSIDE DEV. PERMIT RESUB. #3	12.02.2024
HILLSIDE DEV. PERMIT PLANS	01.29.2025

DRAWING NOTES/KEY PLAN	
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TITLE	EAST ELEVATION
SCALE	$\frac{1}{8}$ " = 1'-0"
PROJECT NO.	2-2109-299
ISSUE DATE	01.29.2025
FILE NO.	



## ZONING REQUIREMENTS

MAXIMUM PERMITTED BUILDING HEIGHT: 35' - MEASURED FROM LOWEST POINT OF GRADE  
28' - IMAGINARY PLANE PARALLEL TO GRADE

PROPOSED BUILDING HEIGHT: ~30'-1"  
BUILDING HEIGHT IS MEASURED FROM THE LOWEST POINT OF GRADE TO THE HIGHEST ROOF PLANE.

REQUIREMENT IS DEMONSTRATED ON ELEVATIONS (SEE A3.01 - A3.04)

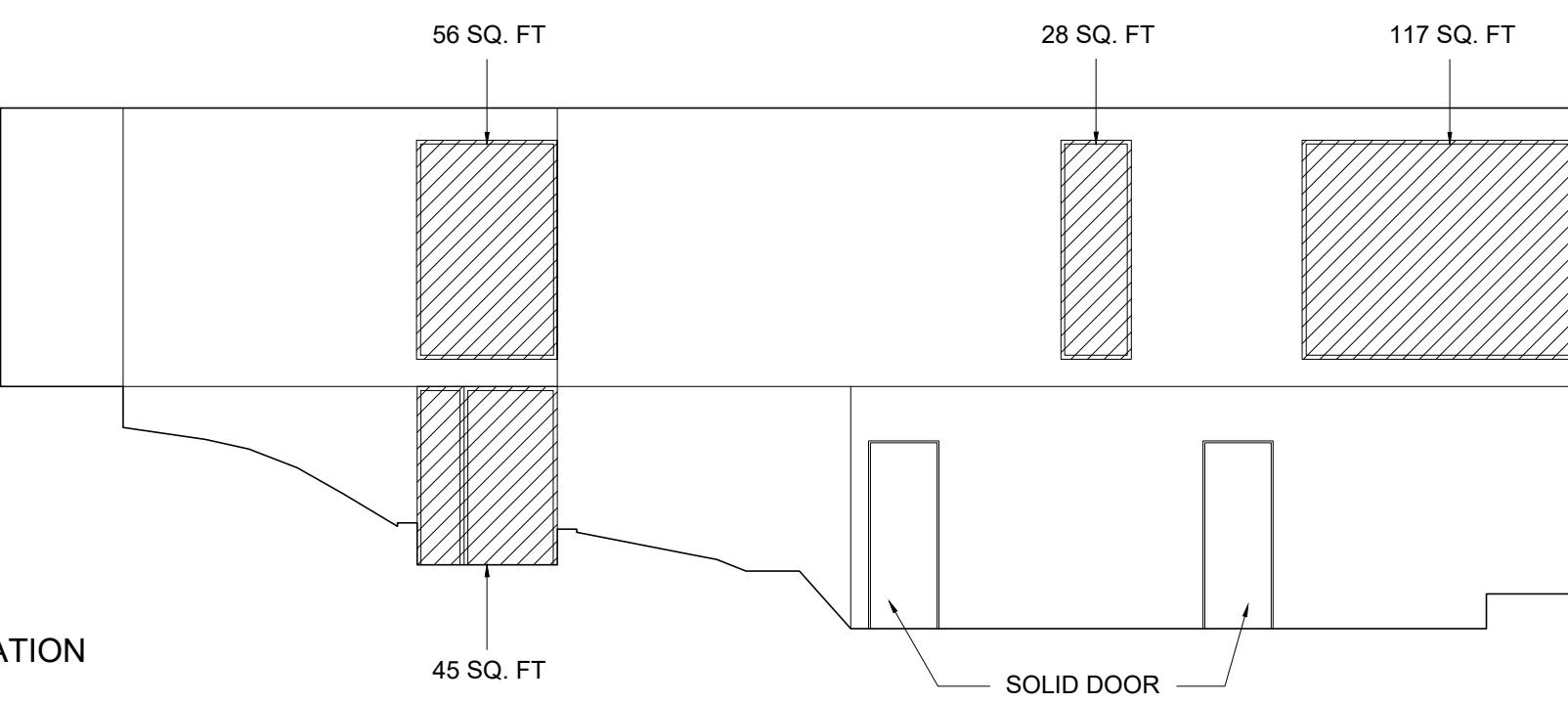
## CEILING HEIGHTS

FLOOR TO CEILING HEIGHTS  
8'-0" BELOW GRADE GARAGE TO FIRST LEVEL  
10'-4" FIRST LEVEL TO SECOND LEVEL  
9'-4" SECOND LEVEL TO ROOF LEVEL

## NOTES

PORTIONS OF RESIDENCE OVER 17'-0" IN HEIGHT ARE COUNTED TWICE PER SECTION 17.80.020 PMC. SEE FLOOR AREA DIAGRAMS ON SHEET G0.06

DIAGRAM OF GLAZING PERCENTAGE FOR SOUTH ELEVATIONS



## KEY

NEIGHBORING PROPERTY  
BUILDING HEIGHT PLANE

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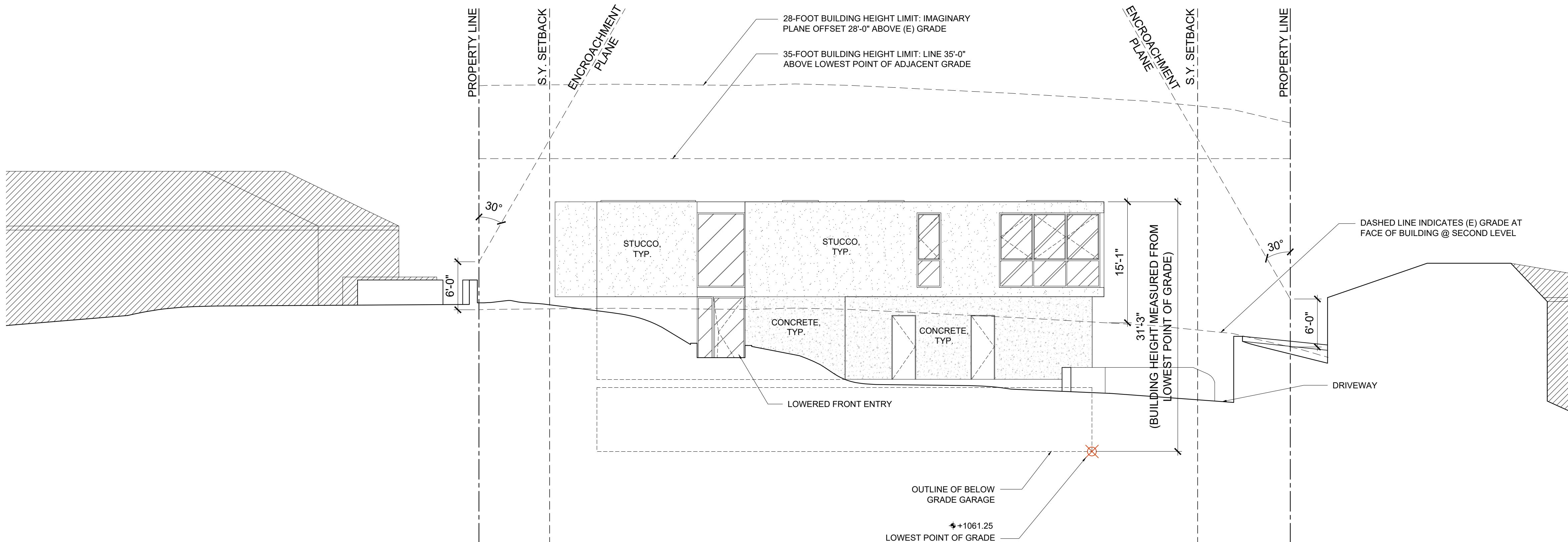
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## DRAWING NOTES/KEY PLAN

TITLE  
SOUTH ELEVATION

SCALE  $\frac{1}{8}$ " = 1'-0"  
PROJECT NO. 2-2109-299  
ISSUE DATE 01.29.2025  
FILE NO.

T.O. PARAPET  
+1092.46  
TOP PLATE @ ROOF  
+1091.09  
FIN. FLR. @ SECOND LEVEL  
+1081.75  
TOP PLATE @ SECOND LEVEL  
+1080.70  
FIN. FLR. @ FIRST LEVEL  
+1070.25  
FIN. FLR. @ BASEMENT GARAGE  
+1061.25  
FIN. FLR. @ POOL DECK  
+1057.00



## ZONING REQUIREMENTS

MAXIMUM PERMITTED BUILDING HEIGHT: 35' - MEASURED FROM LOWEST POINT OF GRADE  
28' - IMAGINARY PLANE PARALLEL TO GRADE  
  
PROPOSED BUILDING HEIGHT: ~30'-1"  
BUILDING HEIGHT IS MEASURED FROM THE LOWEST POINT OF GRADE TO THE HIGHEST ROOF PLANE.  
  
REQUIREMENT IS DEMONSTRATED ON ELEVATIONS (SEE A3.01 - A3.04)

## CEILING HEIGHTS

FLOOR TO CEILING HEIGHTS  
8'-0" BELOW GRADE GARAGE TO FIRST LEVEL  
10'-4" FIRST LEVEL TO SECOND LEVEL  
9'-4" SECOND LEVEL TO ROOF LEVEL

## NOTES

PORTIONS OF RESIDENCE OVER 17'-0" IN HEIGHT ARE COUNTED TWICE PER SECTION 17.80.020 PMC. SEE FLOOR AREA DIAGRAMS ON SHEET G0.06

## KEY

 NEIGHBORING PROPERTY  
— — — BUILDING HEIGHT PLANE

**T O**  
**L O**

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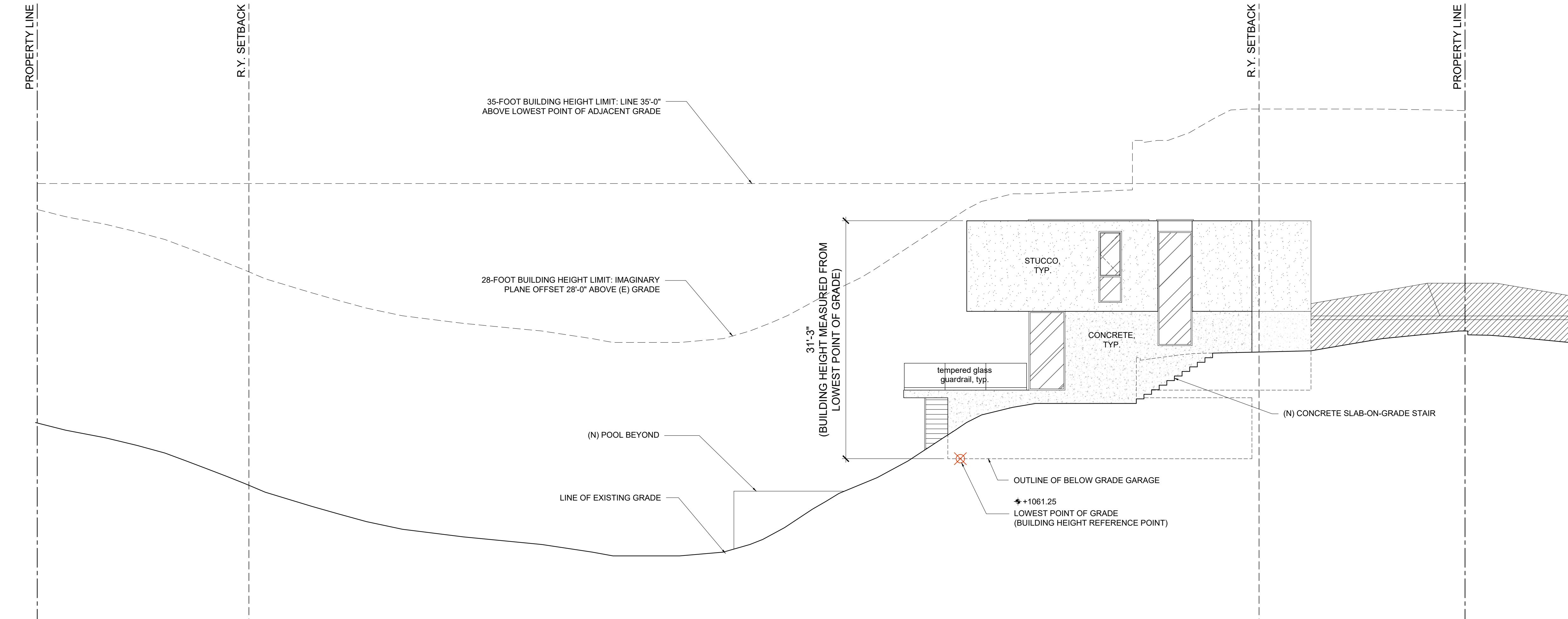
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**DRAWING NOTES/KEY PLAN**  
T.O. PARAPET +1092.46  
TOP PLATE @ ROOF +1091.09  
FIN. FLR. @ SECOND LEVEL +1081.75  
TOP PLATE @ SECOND LEVEL +1080.70  
FIN. FLR. @ FIRST LEVEL +1070.25  
FIN. FLR. @ BASEMENT GARAGE +1061.25  
FIN. FLR. @ POOL DECK +1057.00

**TITLE**  
**WEST ELEVATION**

SCALE  $\frac{1}{8}$ " = 1'-0"  
PROJECT NO. 2-2109-299  
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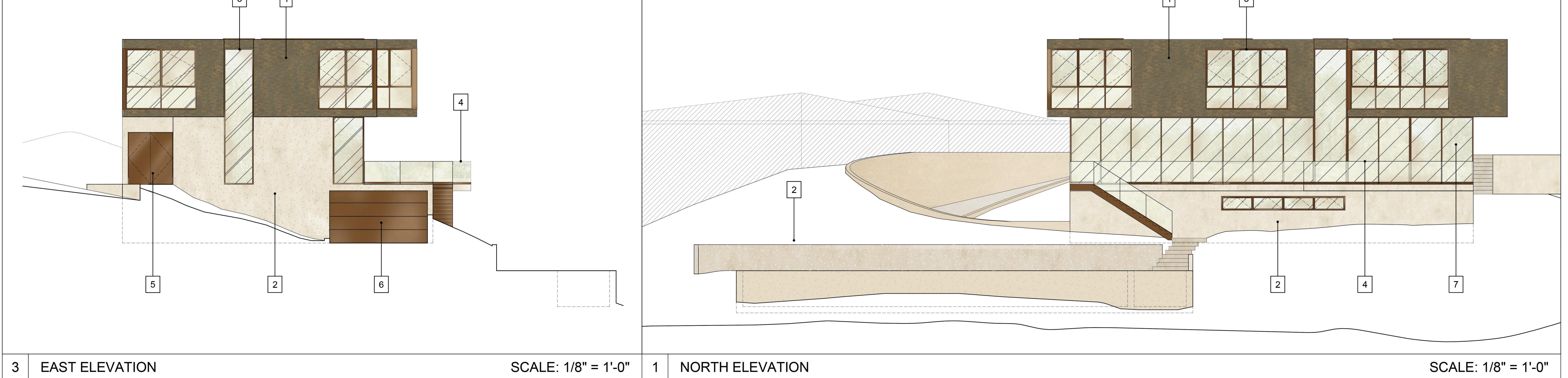
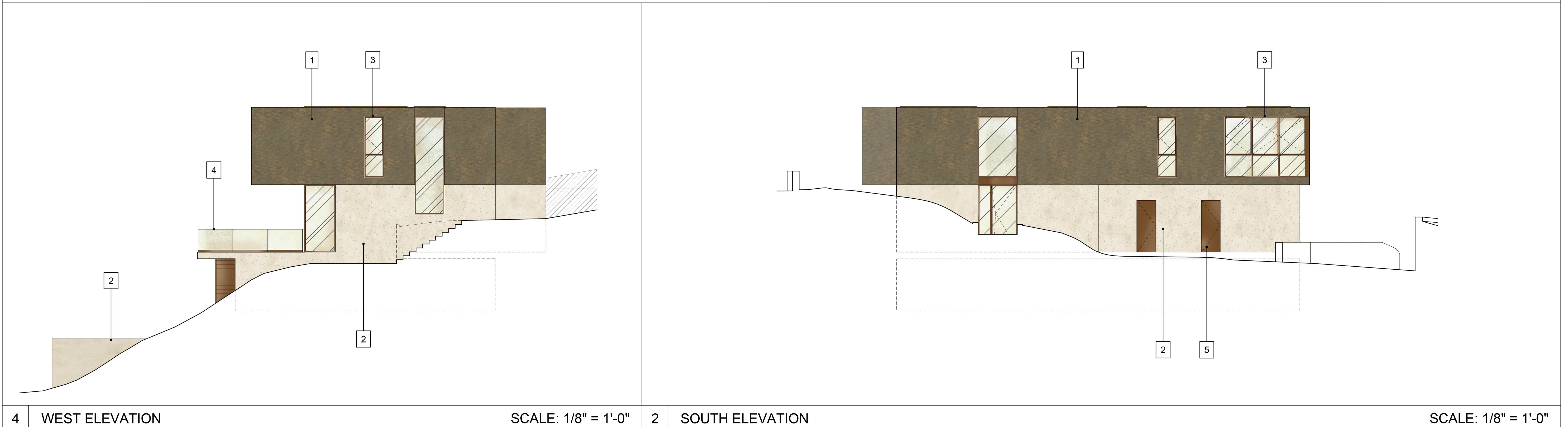
**DRAWING NOTES/KEY PLAN**

**TITLE**  
**COLOR & MATERIALS BOARD**

SCALE  $1/4" = 1'-0"$   
PROJECT NO. 2-2109-299  
ISSUE DATE 01.29.2025  
FILE NO.

**A3.05**

**PROPOSED COLOR & MATERIAL PALETTE LEGEND**



# ZONING REQUIREMENTS

MAXIMUM PERMITTED BUILDING HEIGHT: 35' - MEASURED FROM LOWEST POINT OF GRADE  
28' - IMAGINARY PLANE PARALLEL TO GRADE

PROPOSED BUILDING HEIGHT: ~30'-1"

BUILDING HEIGHT IS MEASURED FROM THE LOWEST POINT OF GRADE TO THE HIGHEST ROOF PLANE.

REQUIREMENT IS DEMONSTRATED ON ELEVATIONS (SEE A3.01 - A3.04)

## CEILING HEIGHTS

FLOOR TO CEILING HEIGHTS

8'-0"	BELOW GRADE GARAGE TO FIRST LEVEL
10'-4"	FIRST LEVEL TO SECOND LEVEL
9'-4"	SECOND LEVEL TO ROOF LEVEL

## NOTES

PORTIONS OF RESIDENCE OVER 17'-0" IN HEIGHT ARE COUNTED TWICE PER SECTION 17.80.020 PMC. SEE FLOOR AREA DIAGRAMS ON SHEET G0.06

KEY

NEIGHBORING PROPERTY

BUILDING HEIGHT PLANE

PROJECT

Ye/Chen Residence

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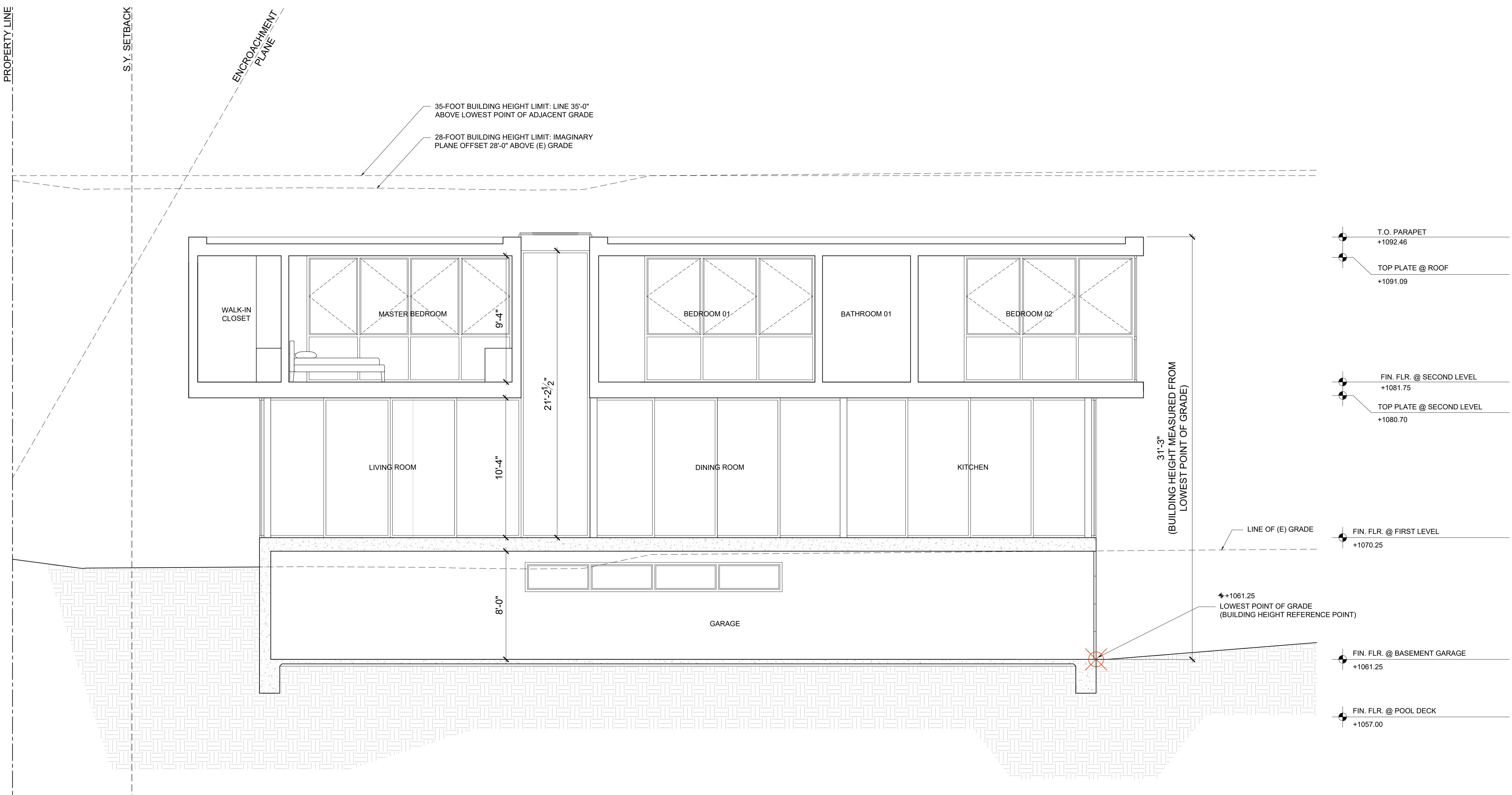
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## DRAWING NOTES/KEY PLAN

TITLE		
SECTION A		
	SCALE	$\frac{1}{4}$ " = 1'-0"
	PROJECT NO.	2-2109-299
	ISSUE DATE	01.29.2025
	FILE NO.	
A4.01		



# ZONING REQUIREMENTS

The diagram is titled 'KEY' in large, bold, black capital letters at the top. Below the title, there are two entries. The first entry consists of a rectangular box containing diagonal hatching lines, with the text 'NEIGHBORING PROPERTY' to its right. The second entry consists of three short horizontal line segments, with the text 'BUILDING HEIGHT PLANE' to its right.

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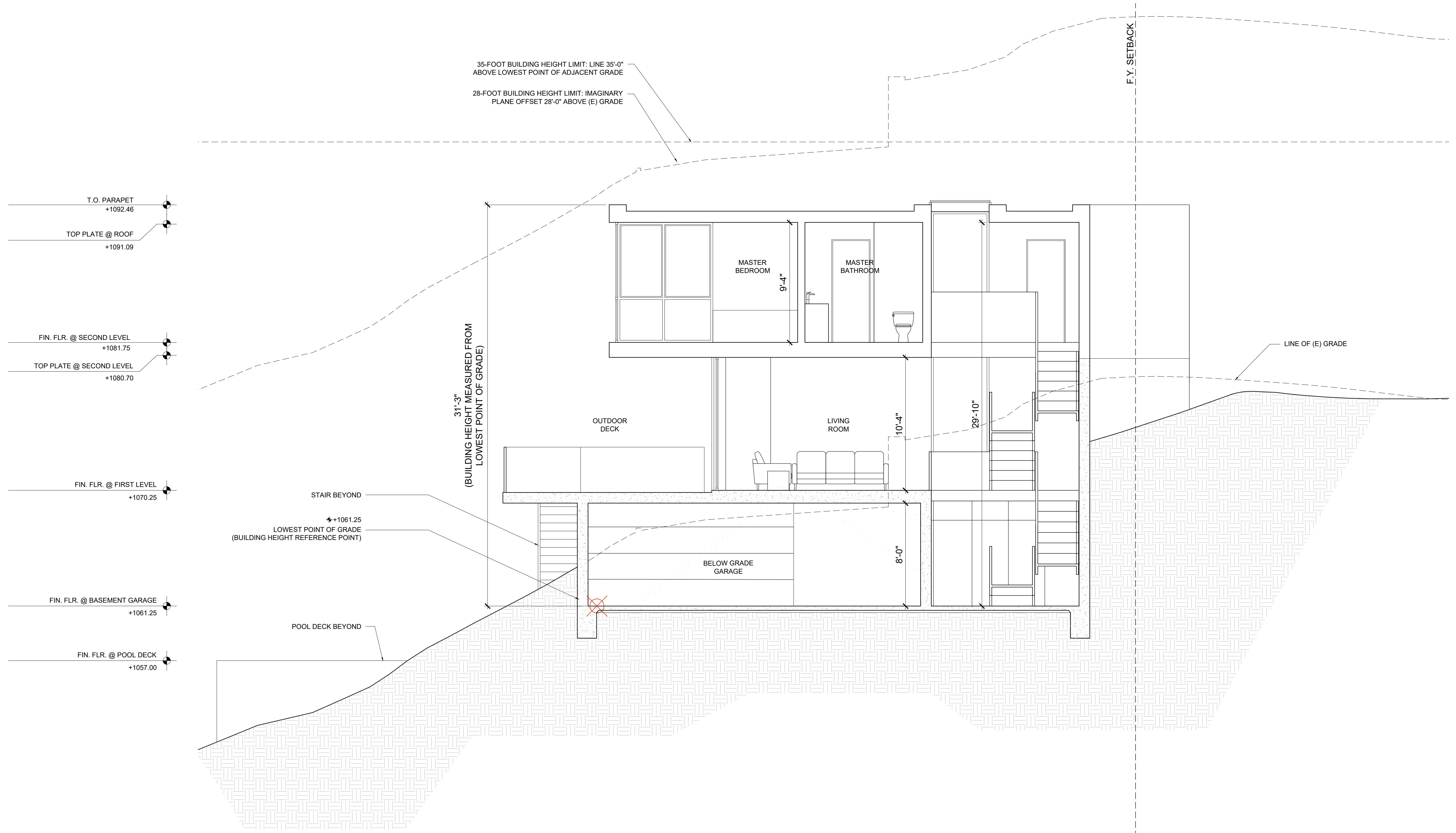
# CEILING HEIGHTS

FLOOR TO CEILING HEIGHTS  
8'-0" BELOW GRADE GARAGE TO FIRST LEVEL  
10'-4" FIRST LEVEL TO SECOND LEVEL  
9'-4" SECOND LEVEL TO ROOF LEVEL

## NOTES

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PORTIONS OF RESIDENCE OVER 17'-0" IN HEIGHT ARE COUNTED TWICE PER SECTION 17.80.020 PMC. SEE FLOOR AREA DIAGRAMS ON SHEET G0.06



**CONSULTANTS**

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HILLSIDE DEV. PERMIT PLANS	01.29.2025

## DRAWING NOTES/KEY PLAN

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TITLE	
SECTION B	
SCALE	$\frac{1}{4}$ " = 1'-0"
PROJECT NO.	2-2109-299
ISSUE DATE	01.29.2025
FILE NO.	
A4.02	

## ZONING REQUIREMENTS

MAXIMUM PERMITTED BUILDING HEIGHT: 35' - MEASURED FROM LOWEST POINT OF GRADE

28' - IMAGINARY PLANE PARALLEL TO GRADE

PROPOSED BUILDING HEIGHT: ~30'-1"

BUILDING HEIGHT IS MEASURED FROM THE LOWEST POINT OF GRADE TO THE HIGHEST ROOF PLANE.

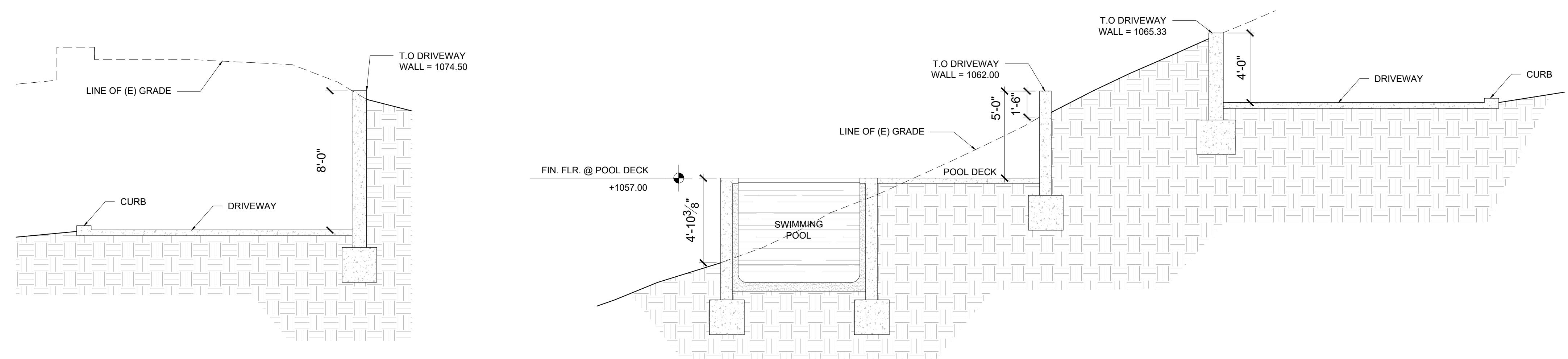
REQUIREMENT IS DEMONSTRATED ON ELEVATIONS (SEE A3.01 - A3.04)

## CEILING HEIGHTS

FLOOR TO CEILING HEIGHTS  
8'-0" BELOW GRADE GARAGE TO FIRST LEVEL  
10'-4" FIRST LEVEL TO SECOND LEVEL  
9'-4" SECOND LEVEL TO ROOF LEVEL

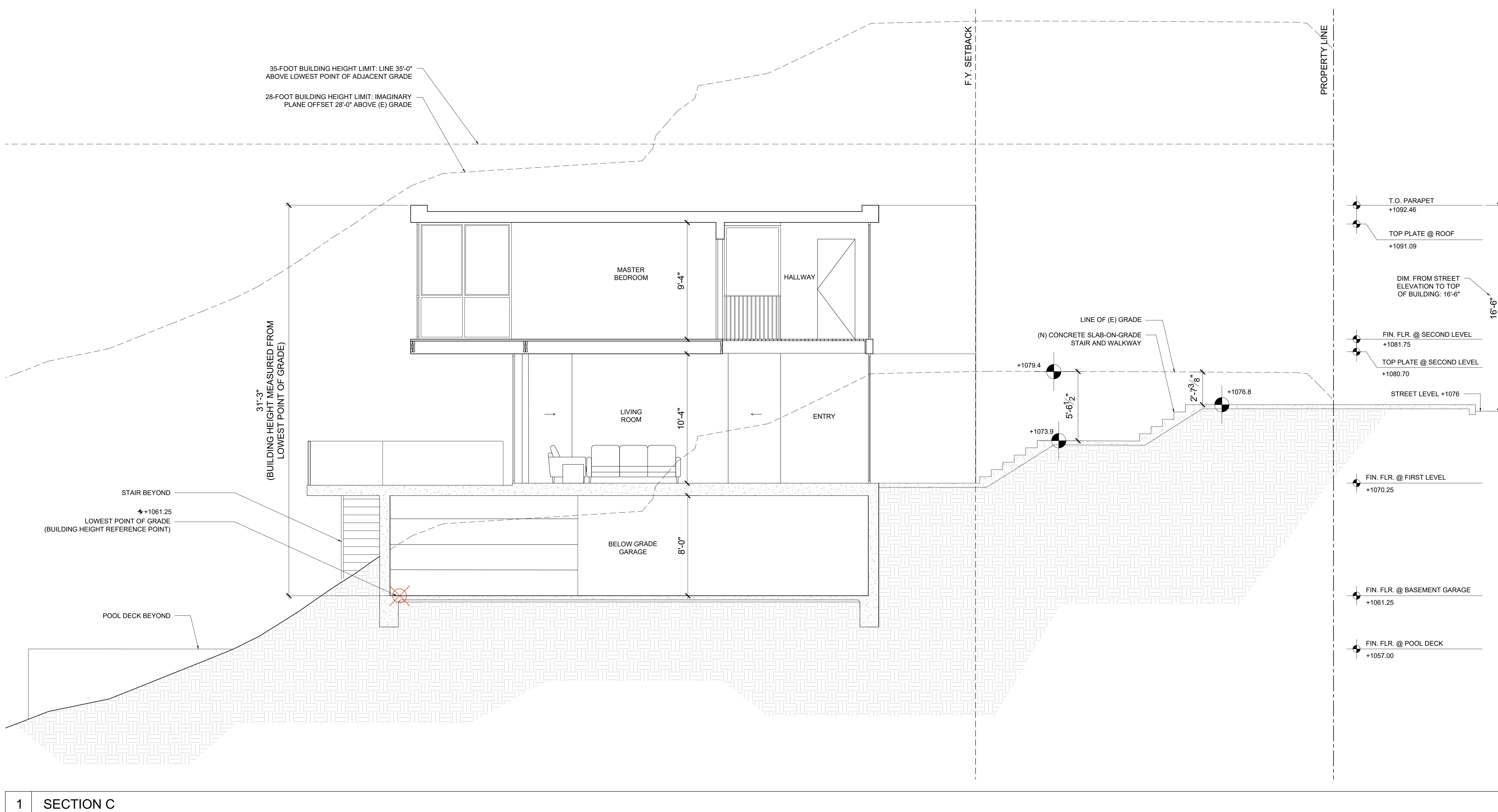
## NOTES

PORTIONS OF RESIDENCE OVER 17'-0" IN HEIGHT ARE COUNTED TWICE PER SECTION 17.80.020  
PMC. SEE FLOOR AREA DIAGRAMS ON SHEET G0.06



3 SECTION E

2 SECTION D



1 SECTION C

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RECORD	DATE
PRE PLAN REVIEW SUBMITTAL	02.03.2022
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HILLSIDE DEV. PERMIT RESUB.	01.12.2024
HILLSIDE DEV. PERMIT RESUB. #2	08.30.2024
HILLSIDE DEV. PERMIT RESUB. #3	10.24.2024

## DRAWING NOTES/KEY PLAN

## TITLE SECTIONS C, D & E

SCALE  $1/4" = 1'-0"$   
PROJECT NO. 2-2109-299  
ISSUE DATE 10.24.2024  
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1 RENDERED VIEW: SOUTH PERSPECTIVE (VIEW FROM SCENIC DRIVE)

A9.01

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HILLSIDE DEV. PERMIT PLANS	01.29.2025

## DRAWING NOTES/KEY PLAN

# TITLE

# RENDERED VIEW: SOUTH PERSPECTIVE

	SCALE	N.T.S.
	PROJECT NO.	2-2109-299
	ISSUE DATE	01.29.2025
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## 1 RENDERED VIEW: EAST PERSPECTIVE

# A9.02

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## DRAWING NOTES/KEY PLAN

# TITLE

# RENDERED VIEW: EAST PERSPECTIVE

SCALE	N.T.S.
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HILLSIDE DEV. PERMIT PLANS	01.29.2025

<b>DRAWING NOTES/KEY PLAN</b>

<b>TITLE</b>
RENDERED VIEW: NORTH PERSPECTIVE

<b>SCALE</b>	<b>N.T.S.</b>
PROJECT NO.	2-2109-299
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FILE NO.	

