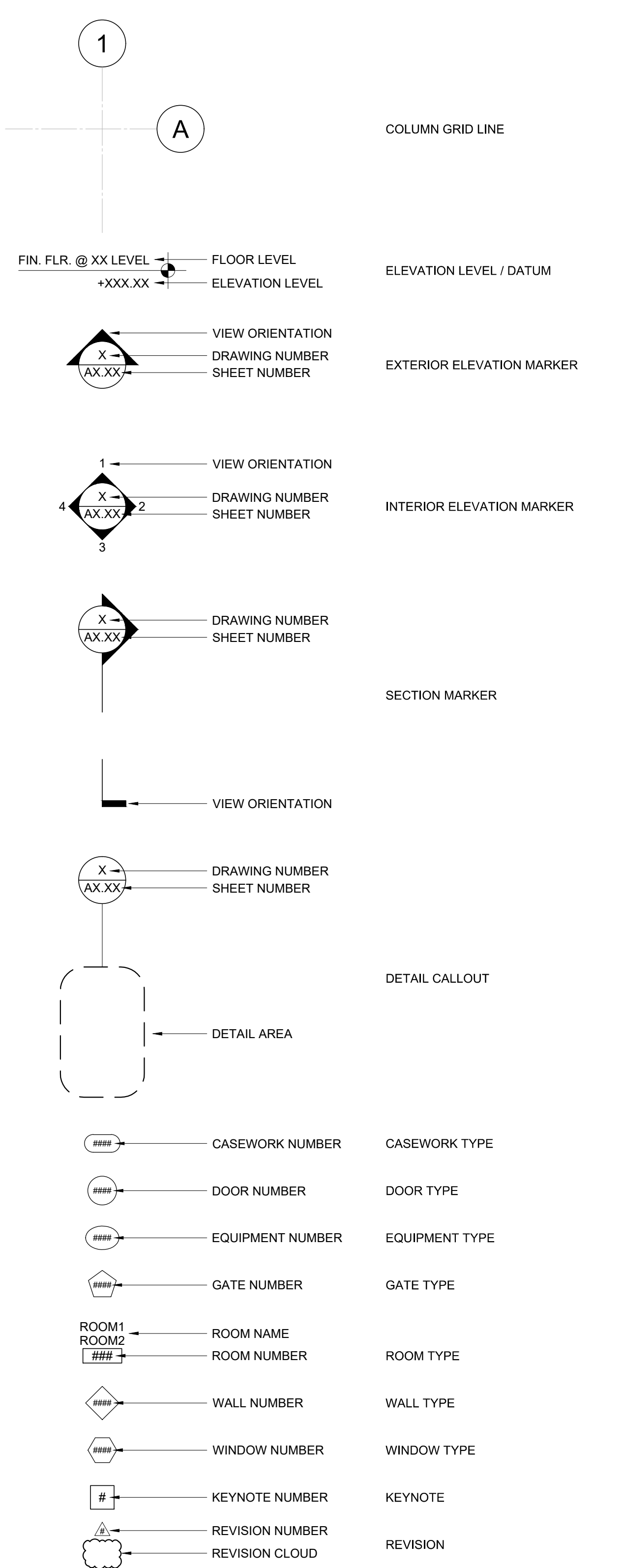


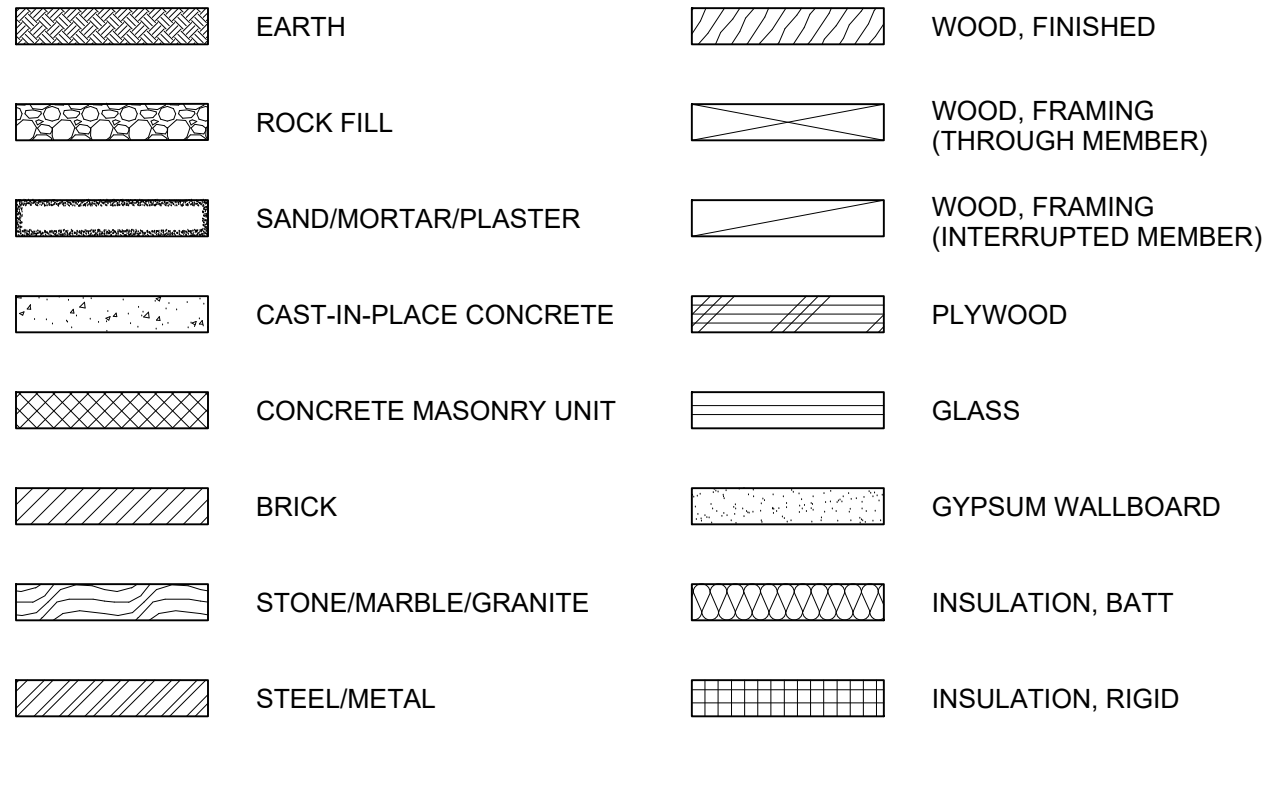
ABBREVIATIONS

∠	AND	INCAN.	INCANDESCENT	VAR.	VARIABLE
@	ANGLE	INCL.	INCLUDING	V.I.F.	VERIFY IN FIELD
⌒	AT	INFO.	INFORMATION	VIN.	VINYL
┌	CENTERLINE	INSUL.	INSULATION	VERT.	VERTICAL
⌒	CHANNEL	INTER.	INTERIOR	VEST.	VESTIBULE
⊙	DIAMETER OR ROUND	INTER.	INTERMEDIATE	V.C.T.	VINYL COMPOSITION
⊙	FOOT (FEET)				TILE
⊙	INCH (INCHES)	JAN.	JANITOR		
⊙	PERPENDICULAR	J.B.	JUNCTION BOX	W.	WEST
⊙	POUND OR NUMBER	J.T.	JUNCTION	W/	WITH
⊙	SQUARE FEET (FEET)			WC.	WALL COVERING
		LAM.	LAMINATE	W.C.	WATER CLOSET
A/C.	AIR CONDITIONING	LAV.	LAVATORY	WD.	WOOD
ACC.	ACCESS	L.H.	LEFT HANDED	WIN.	WINDOW
ACOUS.	ACOUSTICAL			W.O.	WHERE OCCURS
AC.T.	ACOUSTIC TILE	MAX.	MAXIMUM	WO	WITH OUT
A.D.	AREA DRAIN	M.D.F	MEDIUM DENSITY	WP	WATERPROOF
ADJ.	ADJUSTABLE		FIBER BOARD	WPT	WORK POINT
A.F.F.	ABOVE FINISHED FLOOR	MECH.	MECHANICAL	W.R.	WATER RESISTANT
AL.	ALUMINUM	MED.	MEDIUM	W.S.	WEATHER-STRIPPING
ALT.	ALTERNATE	MEMB.	MEMBRANE	WT.	WEIGHT
ANOD.	ANODIZED	MET.	METAL		
A.P.	ACCESS PANEL	MEZZ.	MEZZANINE		
APPROX.	APPROXIMATE	MFR.	MANUFACTURER		
APPRVD.	APPROVED	MIC.	MICROWAVE		
ARCH.	ARCHITECTURAL	MIN.	MINIMUM		
AUTO.	AUTOMATIC	MIR.	MIRROR		
AVG.	AVERAGE	MISC.	MISCELLANEOUS		
		MUL.	MULLION		
BD.	BOARD				
B.J.	BUTT JOINT	N.	NORTH		
BKG.	BACKING	(N)	NEW		
BLDG.	BUILDING	NAT.	NATURAL		
BLK	BLOCK	N.I.C.	NOT IN CONTRACT		
BLKG.	BLOCKING	NO.	NUMBER		
BM.	BEAM	NOM.	NOMINAL		
B.MK.	BENCH MARK	NRC.	NOISE REDUCTION		
BOT.	BOTTOM		COEFFICIENT		
BTWN.	BETWEEN	N.T.S.	NOT TO SCALE		
CAB.	CABINET	O.C.	ON CENTER		
CLG.	CEILING	O.D.	OUTSIDE DIAMETER		
CLKG.	CAULKING		(DIMENSION)		
CLO.	CLOSET	O.F.C.I.	OWNER FURNISHED /		
CLR.	CLEAR		CONTRACTOR INSTALLED		
COL.	COLUMN	O.H.	OPPOSITE HAND		
CONC.	CONCRETE	OPNG.	OPENING		
CONF.	CONFERENCE	ORIG.	ORIGINAL		
CONN.	CONNECTION	OVHD.	OVERHEAD		
CONSTR.	CONSTRUCTION				
CONT.	CONTINUOUS	P.	PAINT		
CORR.	CORRIDOR	PAR.	PARALLEL		
CPT.	CARPET	P. BD.	PARTICLE BOARD		
CSMT.	CASEMENT	P.C.	PERSONAL COMPUTER		
C.T.	CERAMIC TILE	PC.	PIECE		
CTR.	CENTER	PERC	PORTLAND CEMENT		
CWK.	CASEWORK	POCC	CONCRETE		
			PERPENDICULAR		
DBL.	DOUBLE	PL.	PLATE		
DEMO.	DEMOLISH	P.LAM.	PLASTIC LAMINATE		
	(DEMOLITION)	PLAS.	PLASTER		
DEPT.	DEPARTMENT	PLYWD.	PLYWOOD		
DET	DETAIL	PNL.	PANEL		
D.F.	DRINKING FOUNTAIN	POL.	POLISH(ED)		
DIA.	DIAMETER	PR.	PAIR		
DIM.	DIMENSION	P.T.	PRESSURE TREATED		
DISP.	DISPENSER	PTN.	PARTITION		
DIV.	DIVISION				
DN.	DOWN	QTY.	QUANTITY		
D.O.	DOOR OPENING	QUAL.	QUALITY		
DR.	DOOR				
DW.	DISHWASHER	R.	RISER		
DWG.	DRAWING	(R)	RELOCATED		
DWR.	DRAWER	R/A	RETURN AIR		
		RAD.	RADIUS		
		R.B.	RESILIENT BASE		
E.	EAST	REBAR.	REINFORCING BAR		
(E)	EXISTING	RECEP.	RECEPTACLE		
EA.	EACH	REF.	REFERENCE		
EL.	ELEVATION	REFL.	REFLECTED		
ELEC.	ELECTRICAL	REFR.	REFRIGERATOR		
ELEV.	ELEVATOR	REINF.	REINFORCED		
EMER.	EMERGENCY	REQ.	REQUIRED		
ENAM.	ENAMEL	RESIL.	RESILIENT		
ENCL.	ENCLOSURE	REV.	REVISION/REVISED		
ENG.	ENGINEER	R.H.	RIGHT HAND		
ENT.	ENTRANCE	RM.	ROOM		
EQ.	EQUAL	R.O.	ROUGH OPENING		
EQPT.	EQUIPMENT	R.T.	RESILIENT TILE		
E.W.C.	ELECTRIC WATER	RUB.	RUBBER		
	COOLER				
EXH.	EXHAUST				
EXP.	EXPANSION	S.	SOUTH		
EXPO.	EXPOSED	S/A	SUPPLY AIR		
EXT.	EXTERIOR	S.C.	SOLID CORE		
		SCHED.	SCHEDULE		
F.A.	FIRE ALARM	SDBL.	SCHDBLAST		
F.D.	FLOOR DRAIN	S.F.	SQUARE FOOT OR SQUARE FEET		
F.D.C.	FIRE DEPARTMENT	SHT.	SHEET		
F.D.M.	FOUNDATION	SIM.	SIMILAR		
FDN.	FOUNDATION	SK.	SINK		
F.E.	FIRE EXTINGUISHER	S.M.D.	SEE MECHANICAL		
F.E.C.	FIRE EXTINGUISHER		DRAWINGS		
	CABINET	S.N.D.	SANITARY NAPKIN		
F.F.	FINISH FACE		DISPENSER		
F.H.C.	FIRE HOSE CABINET	S.N.R.	SANITARY NAPKIN		
FIN.	FINISH		RECEPTACLE		
FIX.	FIXTURE	S.P.D.	SEE PLUMBING		
FLR.	FLOOR		DRAWINGS		
FLUOR.	FLUORESCENT	SPK.	SPECIFICATION(S)		
F.O.	FACE OF	SPECR.	SPEAKER		
FRPF.	FIREPROOF	SQ.	SQUARE		
F.R.	FIRE RESISTANT	S.S.D.	SEE STRUCTURAL		
FRMG.	FRAMING		DRAWINGS		
F.S.	FULL SIZE	STD.	STANDARD		
FT.	FOOT OR FEET	STL.	STEEL		
		STOR.	STORAGE		
G.B.	GRAB BAR	STRL.	STRUCTURAL		
GEN.	GENERAL	SUR.	SURFACE		
GL.	GLASS	SUSP.	SUSPENDED		
GND.	GROUND	SYMP.	SYMMETRICAL		
GYP.	GYPSUM	SYSP.	SYSTEM		
GWB	GYPSUM WALL				
	BOARD	T.	TREAD		
		TAN.	TANGENT		
HDOP.	HANDICAPPED	TEL.	TELEPHONE		
H.D.F.	HIGH DENSITY	TEMP.	TEMPERED		
	FIBERBOARD	THRES.	THRESHOLD		
HDWD.	HARDWOOD	THRU.	THROUGH		
HDWE.	HARDWARE	T.O.	TOP OF		
H.M.	HOLLOW METAL	T.P.D.	TOILET PAPER		
H.O.	HOLD OPEN		DISPENSER		
HOR.	HORIZONTAL	TV.	TELEVISION		
H.R.	HOUR	TYP.	TYPICAL		
H.R.	HAND RAIL				
HT.	HEIGHT	UNF.	UNFINISHED		
HVAC.	HEATING VENTING	U.O.N.	UNLESS OTHERWISE		
	AIR CONDITIONING		NOTED		
H.W.	HOT WATER	UR.	URINAL		
H.W.H.	HOT WATER	UTIL.	UTILITY		

GRAPHIC SYMBOLS



MATERIAL SYMBOLS



PROJECT INFORMATION

PROJECT	Ye/Chen Residence
SCOPE OF WORK	Construction of a 2 story single-family residence with 4 bedrooms, 4.5 bathrooms, and a below grade garage. Site improvements include the installation of an access driveway, a swimming pool/spa, and landscaping.
OWNERS	Zuming Chen & Yu Zhao 920 Granite Drive, #412 Pasadena, CA 91101
PROJECT ADDRESS	1530 Scenic Drive Pasadena, CA 91103
APN	5704-025-002
ZONING	RS-4 HD
TRACT	TR 9664
HILLSIDE AREA	Yes
GENERAL PLAN USE	Low Residential
LOT AREA	Total: 29,891 SF
MAXIMUM FLOOR AREA	For floor area calculation and diagrams see sheet G0.06

SETBACKS	SETBACK	MINIMUM	PROPOSED
	FRONT YARD	25'-0"	25'-11" (to house)
	SIDE YARD (EAST)	8'-9"	17'-7" (to house), 12'-3" (to pool)
	SIDE YARD (WEST)	8'-9"	11'-0" (to house)
	REAR YARD	25'-0"	104'-1" (to house), 102'-5" (to pool)
	*MIN. SIDE YARD: 10% OF LOT WIDTH (87'-43/4"), WITH A MINIMUM OF 5' AND A MAXIMUM REQUIREMENT OF 10'		

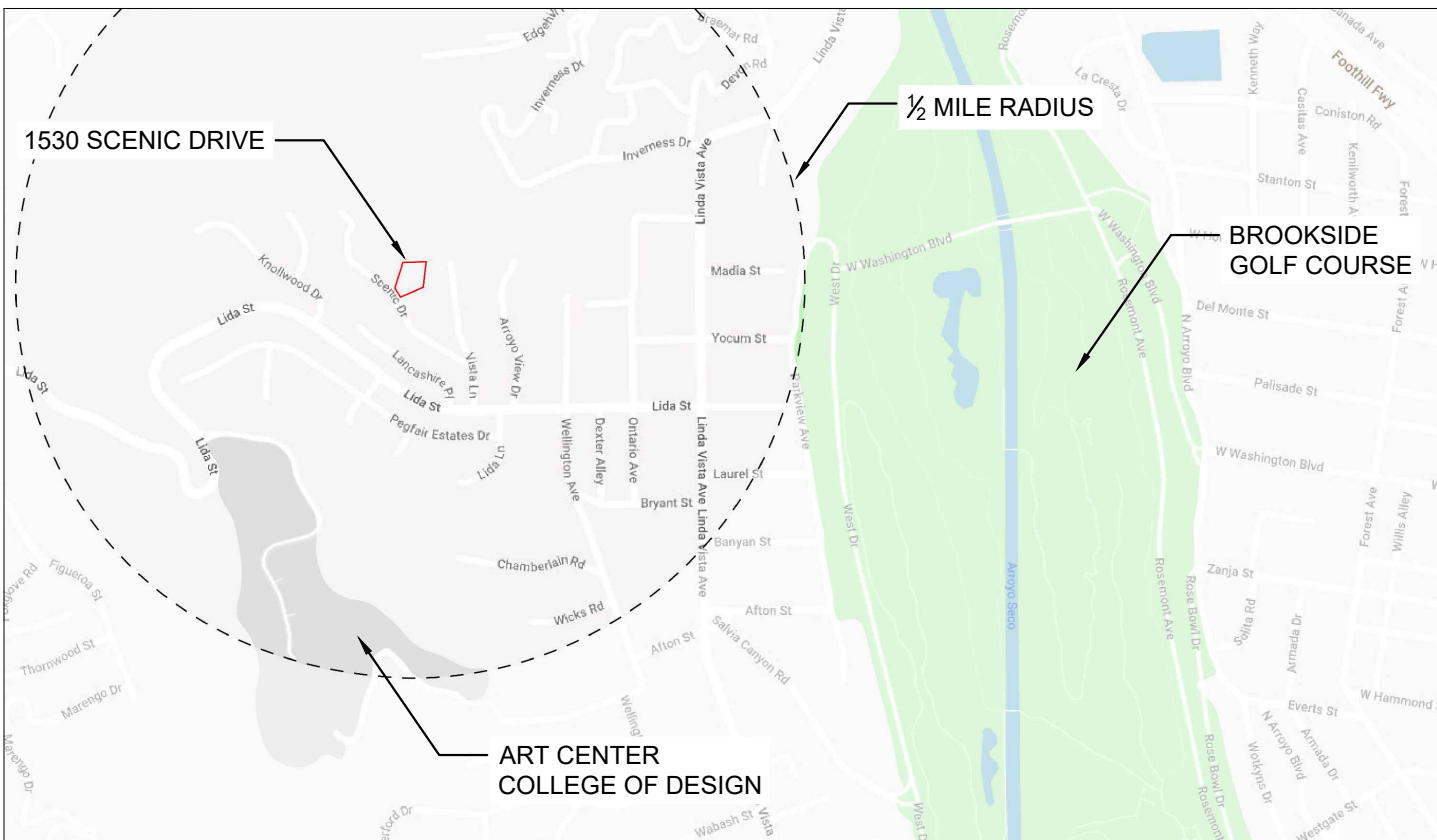
HEIGHT	Building Height Limit: 28' to imaginary plane parallel to grade 35' from lowest elevation point (17.29.060 B) Actual Building Height: 31'-3" from lowest elevation point
PARKING	Proposed: 6 Parking Spaces - Below Grade Garage
CONSTRUCTION TYPE	Type V
SPRINKLERS	Sprinklers Per NFPA 13D
BUILDING CODE	2022 California Building Code 2022 California Residential Code 2022 California Mechanical Code 2022 California Electrical Code 2022 California Plumbing Code 2022 California Energy Code 2022 Green Building Standards Code

LOT COVERAGE CALCULATION	BUILDING (ROOF AREA)	2,633 ft²
	REAR DECK	506 ft²
	POOL DECK (EXCLUDING POOL AND SPA)	864 ft²
	TOTAL LOT COVERAGE	4,003 ft²
	LOT AREA: 29,891 ft²	
	LOT COVERAGE: 4,003 ft² / 29,891 ft² =	13.4%

MAXIMUM ALLOWABLE GROSS FLOOR AREA CALCULATION	PER ALLOWABLE FAR:	PER SLOPE BAND ANALYSIS:
	Allowable Base FAR: (Developable Lot Area x 0.25) + 500 Developable Lot Area = 27,335 SF	Average slope: 0.25 per survey Base FAR reduction by slope (17.29.060): (B) x (1 - ((C - 0.15) / 2))
	(27,335 x 0.25) + 500 = 7,333 SF	(7,333) x (1 - ((0.25 - 0.15) / 2)) = 6,966 SF

PROPOSED FLOOR AREA TOTALS	BELOW GRADE (2,540 ft² + 79 ft² + 66 ft²)	2,685 ft²
	FIRST LEVEL (1,580 ft² + 194 ft² + 78 ft²)	1,852 ft²
	SECOND LEVEL (2,315 ft² + 113 ft²)	2,428 ft²
	TOTAL	6,965 ft²
	SEE SHEET G0.05 FOR FLOOR AREA DIAGRAM AND CALCULATIONS	

VICINITY MAP



SHEET INDEX

GENERAL	G0.01 INDEX, PROJECT INFORMATION, & VICINITY MAP
	G0.02 GENERAL NOTES
	G0.03 GENERAL NOTES (CONT.)
	G0.04 FIGURE GROUND PLAN
	G0.05 FLOOR AREA DIAGRAMS & NEIGHBORHOOD COMPATIBILITY DATA
	G0.06 NEIGHBORHOOD COMPATIBILITY PHOTO INDEX
	G0.07 NEIGHBORHOOD COMPATIBILITY PHOTO INDEX

SURVEY	ARCHITECTURAL SURVEY
	SLOPE ANALYSIS SURVEY

TREE LOCATION & PROTECTION PLANS	TR1.01 TREE LOCATION PLAN
	TR1.02 TREE IMPACT EXHIBIT & PROTECTION PLAN
	TR1.03 TREE IMPACT EXHIBIT & PROTECTION PLAN

LANDSCAPE	L1.01 PRELIMINARY CONSTRUCTION PLAN
	L1.01A LANDSCAPE SITE PLAN
	L3.00 PLANTING PLAN
	L3.10 PLANTING PLAN
	L3.01 TREE DISPOSITION PLAN
	L3.02 TREE DISPOSITION PLAN
	L3.03 TREE MITIGATION PLAN

CIVIL	C1 PRECISE GRADING PLAN
	C2 EARTHWORK EXHIBIT

ARCHITECTURAL	A1.00 SITE PLAN
	A1.00-A SITE PLAN (FIRST LEVEL FLOOR PLAN)
	A1.01 DEMOLITION PLAN
	A1.02 STORY POLE PLAN
	A2.00 BELOW GRADE LEVEL FLOOR PLAN
	A2.01 FIRST LEVEL FLOOR PLAN
	A2.02 SECOND LEVEL FLOOR PLAN
	A2.03 ROOF PLAN
	A3.01 NORTH ELEVATION
	A3.02 EAST ELEVATION
	A3.03 SOUTH ELEVATION
	A3.04 WEST ELEVATION
	A3.05 COLOR AND MATERIALS BOARD
	A4.01 SECTION A
	A4.02 SECTION B
	A4.03 SECTIONS C, D & E
	A9.01 RENDERED VIEW: SOUTH PERSPECTIVE
	A9.02 RENDERED VIEW: EAST VIEW PERSPECTIVE
	A9.03 RENDERED VIEW: REAR VIEW PERSPECTIVE

ATTACHMENT L

<div>T O  L O</div>	TOLO Architecture	
	1700 S. Santa Fe Avenue #240	
	Los Angeles CA 90021	
	TEL 213 278 0678	
	FAX 213 278 0678	
toloarchitecture.com		
PROJECT		
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1530 Scenic Drive		
Pasadena, CA 91103		
CLIENT		
Zuming Chen & Yu Zhao		
920 Granite Drive, #412		
Pasadena, CA 91101		
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ARBORIST		
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80 West Sierra Madre Boulevard, #241		
Sierra Madre, CA 91024		
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Email: fabio.zangoli@labibfunk.com		
SURVEYOR		
Hennon Surveying & Mapping, Inc.		
601 E Glenoaks Blvd., Suite 208		
Glendale, CA 91207		
Contact: Rob Hennon		
Email: info@hennon.com		
RECORD		DATE
PRE PLAN REVIEW SUBMITTAL		02.03.2022
HILLSIDE DEV. PERMIT SUBMITTAL		07.13.2023
HILLSIDE DEV. PERMIT RESUB.		01.12.2024
HILLSIDE DEV. PERMIT RESUB. #2		08.30.2024
HILLSIDE DEV. PERMIT RESUB. #3		12.02.2024
HILLSIDE DEV. PERMIT PLANS		01.29.2025
DRAWING NOTES/KEY PLAN		



# G0.02











APN	Address	Zone	Overlay	Lot Size	House Size	FAR	
5704-025-012	1475 VISTA LN	RS4	HD	5813	1218	0.209530363	
5704-027-014	1556 SCENIC DR	RS2	HD	20855	1245	0.059697914	
5704-024-024	1526 VISTA LN	RS4	HD	10599	1267	0.119539579	
5704-024-022	1519 ARROYO VIEW DR	RS4	HD	9216	1346	0.146050347	
5704-025-015	1484 SCENIC DR	RS4	HD	5527	1358	0.245702913	
5704-025-014	1485 VISTA LN	RS4	HD	6138	1380	0.224828935	
5704-029-014	1545 SCENIC DR	RS4	HD	8897	1425	0.160166348	
5704-025-005	1519 VISTA LN	RS4	HD	9961	1440	0.144563799	
5704-025-008	1507 VISTA LN	RS4	HD	8721	1443	0.165462676	
5704-024-025	1538 VISTA LN	RS4	HD	12955	1451	0.112003088	
5704-024-016	1480 VISTA LN	RS4	HD	7489	1468	0.196020831	
5704-029-019	1500 LANCASHIRE PL	RS4	HD	11990	1500	0.125104254	
5704-024-021	1510 VISTA LN	RS4	HD	8170	1544	0.188984088	
5704-025-011	1470 SCENIC DR	RS4	HD	7111	1550	0.217972156	
5704-025-007	1502 SCENIC DR	RS4	HD	9285	1558	0.167797523	
5704-024-020	1500 VISTA LN	RS4	HD	7945	1616	0.203398364	
5704-029-004	1457 SCENIC DR	RS4	HD	8739	1652	0.189037647	
5704-027-015	1554 SCENIC DR	RS2	HD	22837	1696	0.172465446	
5704-025-006	1508 SCENIC DR	RS4	HD	9661	1711	0.177103819	
5704-024-014	1483 ARROYO VIEW DR	RS4	HD	11061	1736	0.156947835	
5704-029-006	1475 SCENIC DR	RS4	HD	10047	1737	0.172887429	
5704-029-011	1521 SCENIC DR	RS4	HD	9844	1800	0.182852499	
5704-029-013	1535 SCENIC DR	RS4	HD	8936	1851	0.20713966	
5704-029-009	1501 SCENIC DR	RS4	HD	12654	1856	0.146672989	
5704-029-003	1449 SCENIC DR	RS4	HD	8816	1876	0.212794918	
5704-029-015	1551 SCENIC DR	RS4	HD	11447	1889	0.165021403	
5704-026-007	1555 VISTA LN	RS2	HD	85912	1908	0.022208772	
5704-029-007	1485 SCENIC DR	RS4	HD	15507	1911	0.123234668	
5704-028-019	1620 KNOLLWOOD DR	RS4	HD	10420	1931	0.185316699	
5704-027-010	1560 SCENIC DR	RS2	HD	27538	1940	0.070448108	
5704-024-023	1525 ARROYO VIEW DR	RS4	HD	11583	1946	0.168004835	
5704-027-002	1560 KNOLLWOOD TER	RS4	HD	11527	1956	0.169688557	
5704-024-015	1470 VISTA LN	RS4	HD	7894	2016	0.255383836	
5704-025-009	1495 VISTA LN	RS4	HD	8579	2042	0.23802308	
5704-029-020	1510 LANCASHIRE PL	RS4	HD	12692	2045	0.161125118	
5704-024-019	1507 ARROYO VIEW DR	RS4	HD	8888	2055	0.231210621	
5704-029-005	1465 SCENIC DR	RS4	HD	11312	2074	0.18334512	
5704-025-004	1529 VISTA LN	RS4	HD	12422	2132	0.171630977	
5704-029-012	1527 SCENIC DR	RS4	HD	9241	2152	0.23287523	
5704-025-013	1455 VISTA LN	RS4	HD	8920	2159	0.242040359	
5704-025-010	1494 SCENIC DR	RS4	HD	8379	2161	0.257906671	
5704-024-013	1471 ARROYO VIEW DR	RS4	HD	9859	2176	0.22071204	
5704-029-024	1545 LANCASHIRE PL	RS4	HD	16437	2195	0.133540184	
5704-029-023	1540 LANCASHIRE PL	RS4	HD	17194	2208	0.12841689	
5704-027-001	1550 KNOLLWOOD TER	RS4	HD	17924	2235	0.124693149	
5704-024-018	1495 ARROYO VIEW DR	RS4	HD	8878	2280	0.256814598	
5704-029-018	1490 LANCASHIRE PL	RS4	HD	11949	2298	0.192317349	
5704-029-022	1530 LANCASHIRE PL	RS4	HD	13809	2407	0.174306612	
5704-024-012	1450 VISTA LN	RS4	HD	7794	2492	0.319733128	
5705-020-025	1525 PEGFAIR ESTATES DR	RS4	HD	12373	2494	0.20156793	
5705-020-023	1545 PEGFAIR ESTATES DR	RS4	HD	12814	2504	0.195411269	
5704-029-026	1615 KNOLLWOOD DR	RS4	HD	25118	2547	0.101401385	
5704-026-009	1540 ARROYO VIEW DR	RS2	HD	61000	2597	0.04257377	
5704-024-017	1490 VISTA LN	RS4	HD	7802	2616	0.335298641	
5704-029-010	1509 SCENIC DR	RS4	HD	8403	2619	0.311674402	
5705-020-024	1535 PEGFAIR ESTATES DR	RS4	HD	12548	2706	0.215651897	
5704-029-008	1493 SCENIC DR	RS4	HD	6357	2782	0.437627812	
5704-024-001	1535 ARROYO VIEW DR	RS4	HD	15859	2796	0.176303676	
5704-025-003	1549 VISTA LN	RS4	HD	10900	2806	0.257431193	
5704-027-012	1555 SCENIC DR	RS2	HD	34456	2826	0.082017646	
5704-029-027	1625 KNOLLWOOD DR	RS4	HD	12432	2868	0.230694981	
5704-029-021	1520 LANCASHIRE PL	RS4	HD	12431	2914	0.234413965	
5704-029-025	1535 LANCASHIRE PL	RS4	HD	13752	3059	0.222440372	
5704-025-001	1550 SCENIC DR	RS4	HD	19856	3346	0.168513296	
5704-029-028	1635 KNOLLWOOD DR	RS4	HD	14254	3357	0.235512839	
5704-026-006	1613 VISTA LN	RS2	HD	395875	3943	0.009960215	
5704-027-017	1563 SCENIC DR	RS2	HD	19346	4134	0.213687584	
5704-027-016	1557 SCENIC DR	RS2	HD	28578	4549	0.159178389	
5704-027-018	1568 SCENIC DR	RS2	HD	19869	4619	0.232472696	
5704-025-002	1530 SCENIC DR	RS4	HD	29980		0	
5704-026-008	1320 INVERNESS DR	RS2	HD	140750		0	
5704-029-900	1601 KNOLLWOOD DR	RS4	HD	1573		0	
				Median	2045	Average FAR	0.184034
				Median +35%	2761		

PASADENA MUNICIPAL CODE  
TITLE 17 - ZONING CODE

SECTION 17.29.060.F

## NEIGHBORHOOD COMPATIBILITY

In addition to the floor area ratio requirements of Section 17.29.060.A, the allowable floor area of the house shall not be greater than 35 percent above the median floor area of the existing houses within the established radius (excluding garages and other accessory structures). Floor area shall be determined using primary residence data from the Los Angeles County Assessor.

Neighborhood Median SF:

All Properties	Median	2,045 SF
	Median + 35%	2,761 SF

For lots larger than 20,000 square feet in size, the review authority may approve additional floor area if it does not exceed the average FAR of the neighborhood after first making the findings in Section 17.29.080.G following a review of site conditions and compliance with the remainder of the Hillside District standards.

Max. Area for Approval per 17.29.060.F (Neighborhood Compatibility)

Lot Size	29,891 ft²
Average Neighborhood FAR	.184034
Max. Area for Approval (Lot Size x FAR)	5,501 ft²

PROPOSED PROJECT AREA (4,280 SF) IS BELOW MAX AREA FOR APPROVAL (5,501 SF)

Floor Area Calculation per 17.29.060.F (Neighborhood Compatibility)

**PROPOSED FLOOR AREA TOTALS**  
**(EXCLUDES GARAGES AND OTHER ACCESSORY STRUCTURES)**

FIRST LEVEL ( $1,580 \text{ ft}^2 + 194 \text{ ft}^2 + 78 \text{ ft}^2$ )	1,852 $\text{ft}^2$
SECOND LEVEL ( $2,315 \text{ ft}^2 + 113 \text{ ft}^2$ )	2,428 $\text{ft}^2$

TOTAL	4,280 ft <sup>2</sup>
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FAR (FLOOR AREA/LOT AREA) = 4,280 ft<sup>2</sup> / 29,891 ft<sup>2</sup> .143186

PROPOSED PROJECT FAR = 14.3%

PROPOSED PROJECT FAR (14.3%) IS BELOW AVERAGE NEIGHBORHOOD FAR (18%)

#### RELATIONS: NEIGHBORHOOD COMPATIBILITY

PASADENA MUNICIPAL CODE  
TITLE 17 - ZONING CODE

## SECTION 17.80.020 - DEFINITIONS

FLOOR AREA, GROSS.

1. FOR PROJECTS SUBJECT TO THE RS AND RM-12 DEVELOPMENT STANDARDS, "GROSS FLOOR AREA" MEANS THE FLOOR AREA BETWEEN THE FLOOR AND THE ROOF ABOVE IT, AS MEASURED FROM THE OUTSIDE EDGE OF THE EXTERIOR WALLS OF THE MAIN STRUCTURE AND ALL ACCESSORY STRUCTURES, INCLUDING REQUIRED PARKING (EITHER GARAGE OR CARPORT), ANY PORTION OF A STRUCTURE, INCLUDING STAIRWELLS, OVER 17 FEET IN INTERIOR HEIGHT, IS COUNTED TWICE FOR PURPOSES OF COMPUTING FLOOR AREA. FOR FLAG LOTS, SEE 17.40.050 D (DEVELOPMENT STANDARDS FOR FLAG LOTS).

### MAXIMUM ALLOWABLE GROSS FLOOR AREA

PER ALLOWABLE FAR:

PER SLOPE BAND ANALYSIS:

Allowable Base FAR:  
 $(\text{Developable Lot Area} \times 0.25) + 500$   
 Developable Lot Area = 27,335 SF

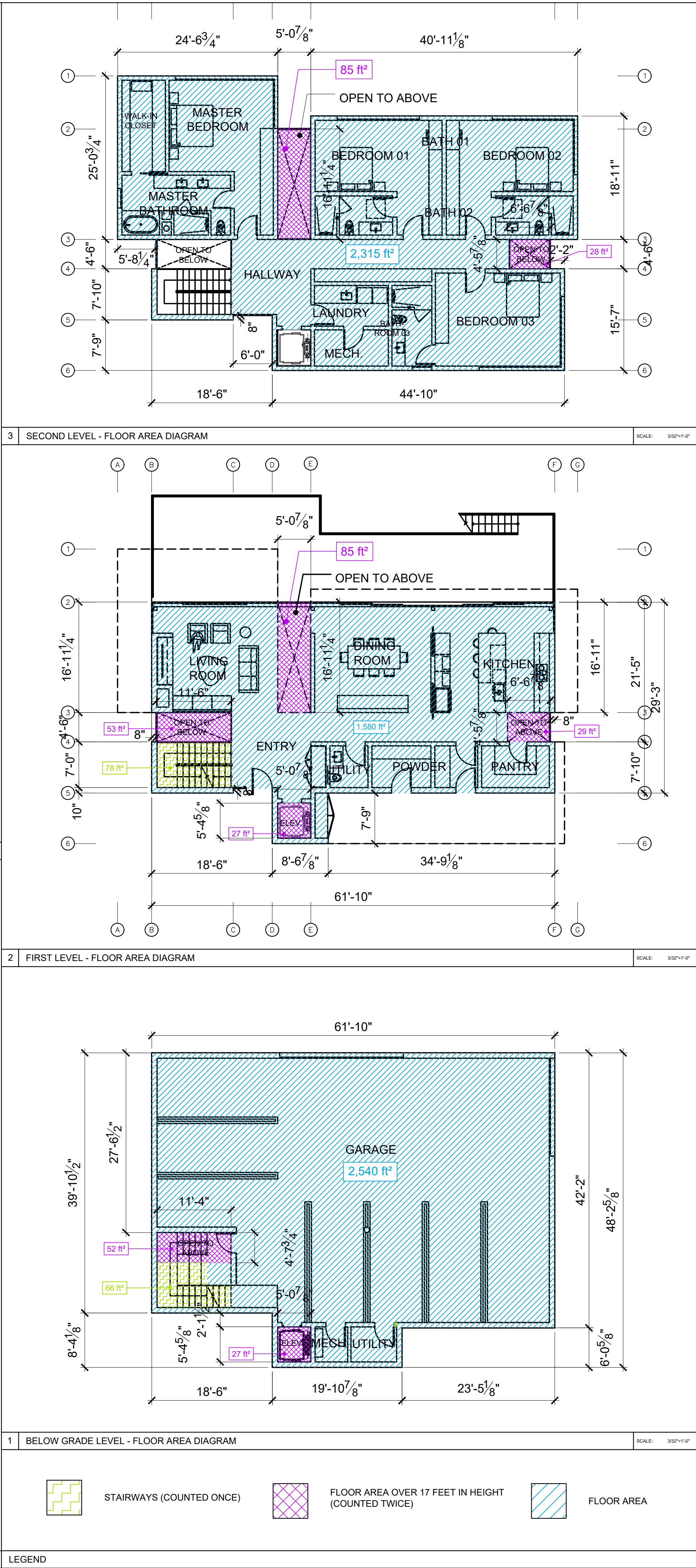
Average slope: 0.25 per survey  
Base FAR reduction by slope (17.29.060):  
(B) x (1 - ((C - 0.15) / 2))

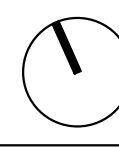
$$(27,335 \times 0.25) + 500 = 7,333 \text{ SF}$$
$$(7,333) \times (1 - ((0.25 - 0.15) / 2)) = \underline{6,966 \text{ SF}}$$

### PROPOSED FLOOR AREA TOTALS

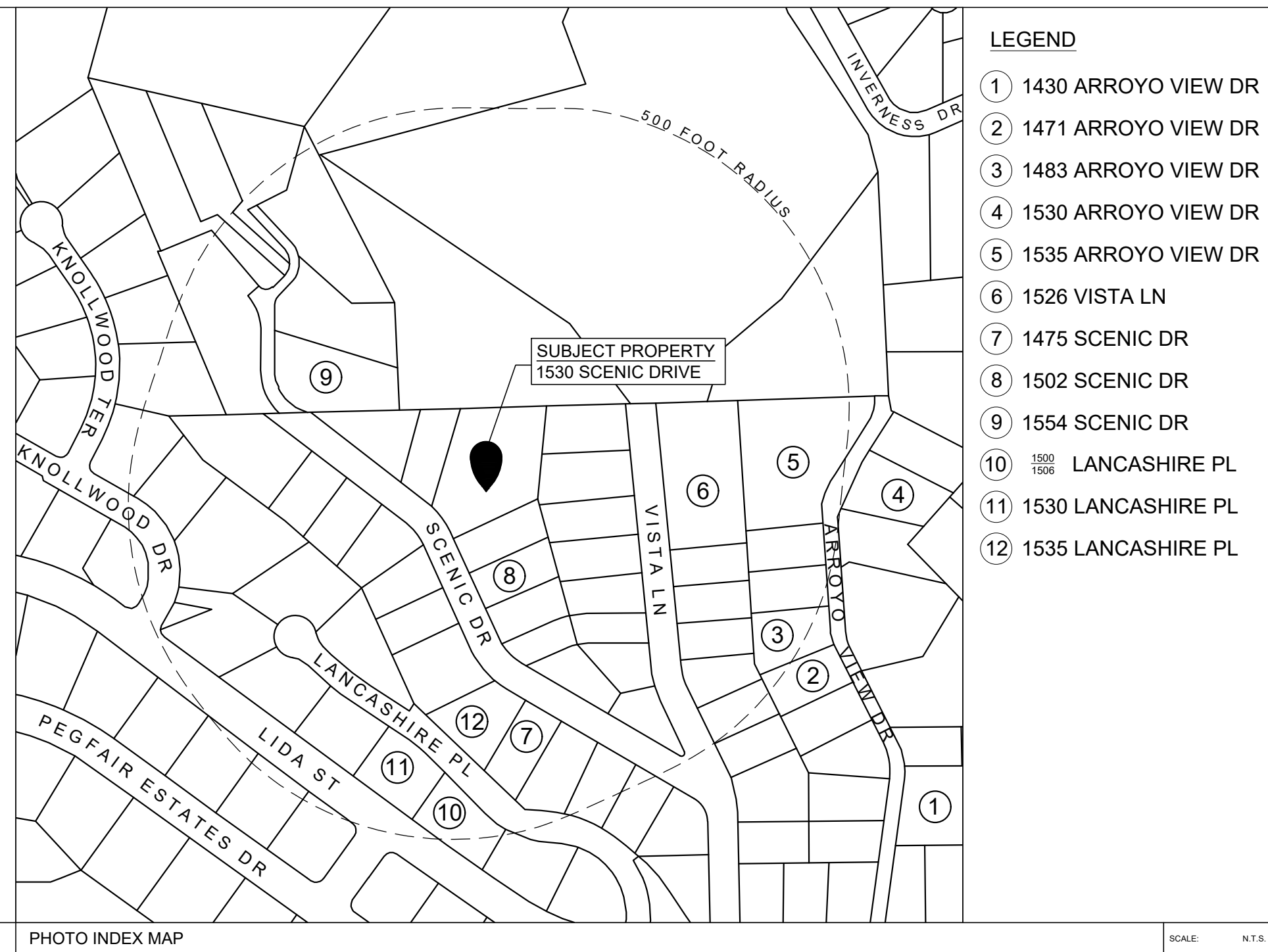
BELOW GRADE (2,540 ft <sup>2</sup> + 79 ft <sup>2</sup> + 66 ft <sup>2</sup> )	2,685 ft <sup>2</sup>
FIRST LEVEL (1,580 ft <sup>2</sup> + 194 ft <sup>2</sup> + 78 ft <sup>2</sup> )	1,852 ft <sup>2</sup>
SECOND LEVEL (2,315 ft <sup>2</sup> + 113 ft <sup>2</sup> )	2,428 ft <sup>2</sup>

TOTAL	6,965 ft <sup>2</sup>
-------	-----------------------



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RECORD	DATE
PRE PLAN REVIEW SUBMITTAL	02.03.2022
HILLSIDE DEV. PERMIT SUBMITTAL	07.13.2023
HILLSIDE DEV. PERMIT RESUB.	01.12.2024
HILLSIDE DEV. PERMIT RESUB. #2	08.30.2024
HILLSIDE DEV. PERMIT RESUB. #3	12.02.2024
HILLSIDE DEV. PERMIT PLANS	01.29.2025
DRAWING NOTES/KEY PLAN	
<div></div>	
TITLE	
FLOOR AREA DIAGRAMS & NEIGHBORHOOD COMPATIBILITY DATA	
	SCALE                  N.T.S.
	PROJECT NO.     2-2109-299
	ISSUE DATE      01.29.2025
	FILE NO.
	G0.05





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HILLSIDE DEV. PERMIT PLANS	01.29.2025

DRAWING NOTES/KEY PLAN

TITLE	
NEIGHBORHOOD COMPATIBILITY PHOTO INDEX	
	SCALE
	N.T.S.
	PROJECT NO. 2-2109-299
	ISSUE DATE 01.29.2025
	FILE NO.
G0.06	





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HILLSIDE DEV. PERMIT PLANS	01.29.2025

DRAWING NOTES/KEY PLAN

TITLE	
NEIGHBORHOOD COMPATIBILITY PHOTO INDEX	
	SCALE N.T.S.
	PROJECT NO. 2-2109-299
	ISSUE DATE 01.29.2025
	FILE NO.
	G0.06







Filepath: C:\DATA\HANNON\1104118-98A-CALCS-CTRS-UPDATE-PEP-COMMENT\MARCH-2024\VERIFIED-CONTOUR-CALCS-NOT-REVIEWED-OPLOTTED-STAMP\MARCH-2025\_uses joined on 2/25/2025

#### BASIS OF BEARINGS:

THE BEARING OF N52°58'14"W ALONG THE CENTERLINE OF SCENIC DRIVE AS SHOWN ON MAP OF TRACT NO. 9664, MB 145-73/74 AND IS THE BASIS OF BEARINGS FOR THIS SURVEY.

#### PROJECT BENCHMARK:

ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29) CITY OF PASADENA PER THE FOLLOWING CITY BENCHMARK:

CITY OF PASADENA BENCHMARK 560/31

FD SPIKE/LEAD IN SOUTH CURB 1 FT W/O CL LT PROD AT THE INTERSECTION OF VISTA LANE AND LIDA ST.

ANY USER OF ELEVATIONS AND/OR COORDINATES SHOWN HEREON FOR THE CONTROL OF CONSTRUCTION, SHALL VERIFY AT LEAST 3 POINTS SHOWN HEREON, FOR MATHEMATICAL CONSISTENCY PRIOR TO SUCH USE.

#### SURVEYOR'S NOTES:

- BOUNDARY LINES SHOWN HEREON WERE ESTABLISHED FROM PUBLIC AND/OR PRIVATE SURVEY MONUMENTS WHOSE CHARACTER AND SOURCE ARE SO NOTED HEREON. LOT LINES WERE ESTABLISHED PER CORNER RECORD SHOWN HEREON.
- LEGAL DESCRIPTION WAS SUPPLIED BY CLIENT.
- TITLE REPORT WAS SUPPLIED BY CLIENT. SEE 'TITLE REPORT MATTERS'.
- THE AREA OF THE SUBJECT PROPERTY IS AS FOLLOWS:  
AREA = 29,891 SQUARE FEET, 0.686 ACRES.  
(AREA IS BASED ON FIELD MEASUREMENTS)
- THE SUBJECT PROPERTY IS ZONED AS FOLLOWS: RS-4-HD

#### LEGAL DESCRIPTION:

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOT 18 OF TRACT NO. 9664, IN THE CITY OF PASADENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 145, PAGES 73 AND 74 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

ASSESSOR'S PARCEL NUMBER: 5704-025-002

#### FLOOD ZONE NOTE:

THE SUBJECT PROPERTY IS IN FEMA FLOOD ZONE 'X' (UNSHADED), WHICH IS OUTSIDE THE 0.2% (500 YEAR) ANNUAL CHANCE FLOOD, PER FEDERAL FLOOD INSURANCE RATE MAP (FIRM) 06037C1375F EFFECTIVE 09/26/2008.

#### ALTA TABLE A ITEMS 16, 17 & WETLANDS NOTE:

THERE IS NO VISIBLE EVIDENCE OF EARTH MOVING OR BUILDING CONSTRUCTION, PROPOSED CHANGES IN STREET RIGHT OF WAY LINES, SIDEWALK OR STREET CONSTRUCTION OR REPAIRS, USE OF SITE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL, NOR OF WETLANDS.

#### TITLE MATTERS:

PER PRELIMINARY TITLE REPORT ORDER NO. 119073758 DATED AS OF JULY 18, 2019 BY LAWYERS TITLE COMPANY, ONLY THE FOLLOWING MATTERS OF RECORD AFFECT THE HEREIN DESCRIBED SUBJECT PROPERTY.

ITEMS A & B - TAXES AND LIENS (NOT SURVEY RELATED MATTERS).

ITEM 1 - WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.

ITEM 2 - ANY EASEMENTS NOT DISCLOSED BY THOSE PUBLIC RECORDS WHICH IMPART CONSTRUCTIVE NOTICE AND WHICH ARE NOT VISIBLE AND APPARENT FROM AN INSPECTION OF THE SURFACE OF SAID LAND.

ITEM 3 - COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH IN THE DOCUMENT RECORDED NO: IN BOOK 15410, PAGE 320 OF OFFICIAL RECORDS, SAID COVENANTS, CONDITIONS AND RESTRICTIONS PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT THE LIEN OF ANY MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE. (CONTAINS CC&RS, SEE DOCUMENT FOR PARTICULARS)

ITEM 4 - COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH IN THE DOCUMENT RECORDED NO: IN BOOK 15410, PAGE 320 OF OFFICIAL RECORDS, SAID COVENANTS, CONDITIONS AND RESTRICTIONS PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT THE LIEN OF ANY MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE. (CONTAINS POTENTIAL DESIGN RESTRICTIONS, SEE DOCUMENT FOR PARTICULARS)

ITEM 5 - MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: TEMPORARY PROTECTIVE ORDER PURSUANT TO STIPULATION (CASE NO. GC 034336), DATED: JANUARY 21, 2005, EXECUTED BY: SUPERIOR COURT OF THE STATE OF CALIFORNIA, PASADENA COURTHOUSE, RECORDING DATE: JANUARY 24, 2005, RECORDING NO: 2005-171350 OF OFFICIAL RECORDS, REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS. (THIS ORDER MAY OR MAY NOT BE EXPIRED; SEE DOCUMENT FOR PARTICULARS)

ITEM 6 - A DEED OF TRUST (NOT A SURVEY RELATED MATTER).

ITEM 7 - TITLE COMPANY MATTERS (NOT SURVEY RELATED, SEE TITLE REPORT FOR PARTICULARS).

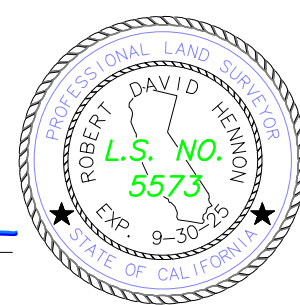
THERE ARE NO PLOTTABLE TITLE ITEMS.

#### SURVEYOR'S STATEMENT:

THIS MAP CORRECTLY REPRESENTS A FIELD SURVEY MADE BY ME OR UNDER MY DIRECTION DURING DECEMBER, 2021.

*Robert D. Hennon*

ROBERT DAVID HENNON, PLS 5573  
(LIC. EXPIRES 9-30-25)



## SLOPE ANALYSIS SURVEY OF: 1530 SCENIC DRIVE

CITY OF PASADENA,  
COUNTY OF LOS ANGELES,  
STATE OF CALIFORNIA

#### SURVEYOR'S STATEMENT:

THIS MAP REPRESENTING A SLOPE ANALYSIS FOR THE PROPERTY KNOWN AS 1530 SCENIC DRIVE, WAS PREPARED BY ME, ROBERT HENNON, PLS 5573, AND IS BASED ON FIELD TOPOGRAPHIC SURVEY OF SAID PROPERTY MADE ON THE GROUND BY ME. THE SLOPE ANALYSIS HAS BEEN ACCURATELY CALCULATED BY ME.

*Robert D. Hennon* March 14, 2024

ROBERT DAVID HENNON, PLS 5573  
(LIC. EXPIRES 9-30-25)



Slope Area Table				
Number	Minimum Slope	Maximum Slope	Area (S.F.)	Color
1	0.00%	15.00%	7,676	Red
2	15.01%	49.99%	19,659	Green
3	50.00%	99.99%	2,556	Purple
TOTAL PARCEL AREA = 29,891 S.F. = 0.686 Ac				
TOTAL DEVELOPABLE AREA = 27,335 S.F. = 0.628 Ac				

(AREA NOT INCLUDED IN CALCULATIONS)

#### LEGEND-ABBREVIATIONS:

A/C = ASPHALT  
BRK = BRICK WALL  
BRK = BRICK  
BW = BACK OF WALK  
BCK = BRICK  
CNC = CONCRETE  
CW = CONCRETE WALL  
ES = EDGE OF GUTTER  
EP = EDGE OF PAVEMENT  
FF = FINISHED FLOOR  
CE = CITY ENGINEER  
CL = CENTERLINE  
CWNH = CONCRETE WALL  
CMON = COUNTY SURVEYOR MONUMENT  
FB = FIELD BOOK  
FD = FOUND  
IP = IRON PIPE MONUMENT  
LA = LOS ANGELES  
LSPK = LEAD & SPIKE MONUMENT  
LTAG = LEAD & TAG MONUMENT  
NLAG = NAIL & TAG MONUMENT  
PK = PILLAR-SIZE PER MAP  
PL = PROPERTY LINE  
RW = RIGHT-OF-WAY LINE  
SET = SET MONUMENT  
SPK&T = SPIKE & TIN MONUMENT  
SW&W = SPIKE & WASHER MONUMENT  
SSM = STANDARD SURVEY MONUMENT  
FL = FLOWLINE  
FS = FINISHED SURFACE  
GR = GRASS  
GS = GROUND SHOT  
INV = INVERT ELEVATION  
NG = NATURAL GROUND  
O = OVERHEAD  
TC = TOP OF CURB  
TW = TOP OF WALL

#### LEGEND-SYMBOLS:

EM = ELECTRICAL METER  
LP = LIGHT POLE  
MB = MAILBOX  
PFR = PILLAR-SIZE PER MAP  
SMH = SANITARY SEWER MANHOLE  
WM = WATER METER

#### TREE TYPES

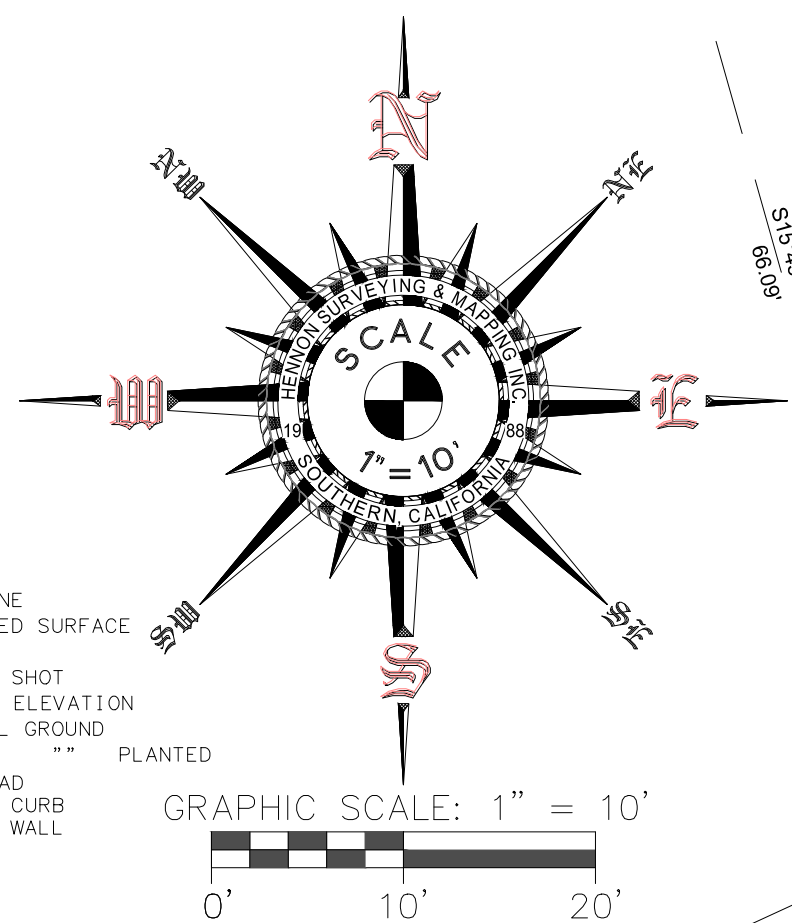
O = OAK  
P = PALM  
TR = TREE  
SP = STUMP

#### LEGEND-LINETYPES:

PROPERTY LINE  
EASEMENT  
CENTERLINE  
TIE LINE  
WALL (BRICK)  
WALL (OTHERS)  
CHAIN LINK FENCE  
WOOD RAIL  
WOOD FENCE  
WIRE FENCE  
WROUGHT IRON FENCE

#### STEP LEGEND

INDICATES STEP  
RISE DIRECTION



SLOPE ANALYSIS SURVEY OF:

# 1530 SCENIC DRIVE

CITY OF PASADENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA

DATE: DECEMBER 13, 2021

SCALE: 1" = 10'

CONTOUR INTERVAL: ONE FOOT

PROJECT NO: 4119

SHEET 1 OF ONE SHEET

601 E. GLENDALE BLVD., SUITE 208, GLENDALE, CALIFORNIA, 91207

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601 E. GLENDALE BLVD., SUITE 208, GLENDALE, CALIFORNIA, 91207

PROJECT NO: 4119

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601 E. GLENDALE BLVD., SUITE 208, GLENDALE, CALIFORNIA, 91207

PROJECT NO: 4119

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TREE INVENTORY TABLE												
Tree #	Common Name	Botanical Name	DBH (inches)	Converted Trunk Diameter to Single Trunk Diameter (inches)	City Protected, Native or ROW Tree	Height (feet)	Canopy N (feet)	Canopy E (feet)	Canopy S (feet)	Canopy W (feet)	Health	Structure
ST1	Siberian elm	Ulmus pumila	13.5		ROW	22	12	15	10	16	B	B-
ST2	sawtooth zellowva	Zelkova serrata	1.4		ROW	12	2	2	2	2	B	B-
3	jubjub	Ziziphus jujuba	6.2		No	18	12	5	10	12	B	B
4	lemon bottlebrush	Callistemon citrinus	3.7, 3.6, 2.8	6	No	12	8	4	2	8	B	B-
5	coast live oak	Quercus agrifolia	16.3		Protected	35	13	9	18	16	A	A
6	coast live oak	Quercus agrifolia	11.7		Protected	30	13	14	15	8	B-	B-
7	coast live oak	Quercus agrifolia	4.1		Native	18	5	8	8	4	B	B
8	coast live oak	Quercus agrifolia	11.5		Protected	25	10	21	18	20	B	B
9	coast live oak	Quercus agrifolia	4.4, 4.7	6.6	Native	25	6	10	8	7	B	B
10	coast live oak	Quercus agrifolia	9.4		Protected	30	5	10	12	12	B-	B-
11	coast live oak	Quercus agrifolia	9.2		Protected	30	6	7	15	18	C+	B
12	coast live oak	Quercus agrifolia	10.4		Protected	30	8	10	14	10	C+	B
13	lecebark	Brachychiton discolor	6.8, 8	10.4	No	18	5	8	10	7	A-	B
14	shamel ash	Fraxinus uhdei	5.8, 8.4, 13, 7.1	18	No	10	18	18	13	20	B-	B-
15	Mexican fan palm	Washingtonia robusta	81"-35"		No	40	6	6	6	6	A	A
16	coast live oak	Quercus agrifolia	12.7		Protected	35	24	12	7	20	C+	B-
17	olive	Olea europaea	4.7, 15, 10	18.7	Protected	22	8	17	28	22	B	B-
18	coast live oak	Quercus agrifolia	23		Protected	25	25	27	24	28	B-	B-
19	coast live oak	Quercus agrifolia	6.5		Native	18	4	24	3	0	C+	C+
20	silver dollar gum	Eucalyptus palustris	11.5		No	35	6	25	18	7	B	B-
21	coast live oak	Quercus agrifolia	24		Protected	30	25	27	20	32	B	B
22	coast live oak	Quercus agrifolia	21.2, 18.9	28.3	Protected	35	28	33	33	35	B+	B
23	coast live oak	Quercus agrifolia	14.1		Protected	35	10	8	20	15	A-	B
24	coast live oak	Quercus agrifolia	21.5		Protected	30	28	36	0	0	B	C
25	coast live oak	Quercus agrifolia	9.2		Protected	18	24	0	0	0	C-	C-

#

CITY OF PASADENA PROTECTED TREE

PROTECTED TREE CANOPY

ROOT PROTECTION ZONE

#

NON-PROTECTED TREE

NON-PROTECTED TREE CANOPY

NOTE: INVENTORIED TREES PLOTTED OUTSIDE PROPERTY LINE BOUNDARIES ARE DESIGNATED "ST" FOR CITY STREET TREE AND "OS" FOR TREE LOCATED OFF-SITE.

DATE PREPARED: 06/28/24

PREPARED BY: S. McALLASTER

ISA CERTIFIED ARBORIST

REVIEWED BY: CY CARLBERG, RCA #405

TREE INVENTORY TABLE												
Tree #	Common Name	Botanical Name	DBH (inches)	Converted Trunk Diameter to Single Trunk Diameter (inches)	City Protected, Native or ROW Tree	Height (feet)	Canopy N (feet)	Canopy E (feet)	Canopy S (feet)	Canopy W (feet)	Health	Structure
26	coast live oak	Quercus agrifolia	11.7		Protected	18	12	18	10	6	C-	C-
27	shamel ash	Fraxinus uhdei	5.4		No	30	10	5	6	6	B	B
28	fern pine	Alphacarpus gracilior	4.3		No	30	10	10	10	4	A	A-
29	Chinese elm	Ulmus parvifolia	4.3	5	No	15	17	20	6	8	B	B
30	Brisbane box	Lophostemon confertus	2.5, 8, 1.6, 1.1	6.4	No	25	15	15	12	14	B	B-
31	coast live oak	Quercus agrifolia	8.6		Protected	15	5	10	10	7	C	C-
32	scrub oak	Quercus berberidifolia	5.3, 4.9	7.3	Native	18	18	8	14	14	B	B
33	coast live oak	Quercus agrifolia	9.6		Protected	16	15	4	3	27	B	C+
34	coast live oak	Quercus agrifolia	18.2		Protected	25	32	0	0	30	B-	C+
35	coast live oak	Quercus agrifolia	14.3, 16.9	22.2	Protected	35	14	27	20	22	A	B
36	coast live oak	Quercus agrifolia	5		Native	20	0	14	13	0	A	A-
37	Japanese persimmon	Diospyros kaki	5.4, 6.7	8.6	No	22	15	17	17	12	B	B
38	coast live oak	Quercus agrifolia	14.2		Protected	35	22	22	14	13	C	B
39	Japanese persimmon	Diospyros kaki	6.9, 3.5, 5.5, 5.9, 6.1	8.7	No	15	13	14	8	10	B	B
40	olive	Olea europaea	4.5, 7.5, 1.1, 1.1, 1.1	9	No	30	18	15	15	13	A	B
41	scrub oak	Quercus berberidifolia	5.1, 5.9, 6.1	10	Protected	22	12	23	0	15	B	B
42	coast live oak	Quercus agrifolia	8.3		Protected	35	17	9	8	15	C	B
43	scrub oak	Quercus berberidifolia	5		Native	15	15	13	0	18	B-	B-
44	scrub oak	Quercus berberidifolia	4.5		Native	16	13	5	5	7	B	B-
45	coast live oak	Quercus agrifolia	9.5, 18.5, 13	19.3	Protected	40	21	30	15	18	B	B
46	coast live oak	Quercus agrifolia	4.5		Native	20	0	0	15	9	A-	A-
47	scrub oak	Quercus berberidifolia	4.5, 5.1, 4.2, 3.4, 4.3	9.8	Protected	18	0	5	15	20	B	B
48	coast live oak	Quercus agrifolia	8.6		Protected	18	0	0	23	0	B-	C+
49	coast live oak	Quercus agrifolia	2.7, 6.8	7.3	Native	15	0	0	21	0	B-	C+
50	coast live oak	Quercus agrifolia	15.9		Protected	25	0	0	28	24	B	B
51	coast live oak	Quercus agrifolia	10.6		Protected	30	0	0	18	0	B	B
52	coast live oak	Quercus agrifolia	13.2, 10.9	17.1	Protected	35	15	18	25	12	A-	B+
53	coast live oak	Quercus agrifolia	14.5		Protected	35	9	4	22	24	A	A-
54	coast live oak	Quercus agrifolia	11, 11.8	16.3	Protected	28	15	22	15	18	A	B+
OS55	sugar gum	Eucalyptus cladocalyx	36		Protected	55	18	20	35	25	A	B
56	scrub oak	Quercus berberidifolia	6.2		Native	15	10	18	4	0	B	B
57	scrub oak	Quercus berberidifolia	5.1, 5.7	7.7	Native	20	6	17	15	13	B	B
58	scrub oak	Quercus berberidifolia	6.1		Native	22	0	3	17	0	B	B
59	scrub oak	Quercus berberidifolia	4.2		Native	5	0	0	15	0	C-	C-
60	red river gum	Eucalyptus camaldulensis	24.8		No	60	20	18	22	22	A	A
61	scrub oak	Quercus berberidifolia	2.7, 4.4, 4.6, 5.1, 5.6, 6.9	12.1	Protected	18	13	18	20	8	B	B
62	coast live oak	Quercus agrifolia	7.8		Native	20	5	16	16	0	C+	C+
63	coast live oak	Quercus agrifolia	94.5	10.7	Protected	18	13	17	20	3	C+	C+
64	coast live oak	Quercus agrifolia	7.2		Native	20	6	9	10	8	C+	C+
65	Chinese elm	Ulmus parvifolia	7.7		No	20	0	6	25	8	B	C+
66	coast live oak	Quercus agrifolia	10.4		Protected	28	8	7	15	15	A	A
67	coast live oak	Quercus agrifolia	15		Protected	25	15	16	18	16	B	A-
68	coast live oak	Quercus agrifolia	6.5, 1.1, 1.1	6.7	Native	14	15	5	4	5	C-	C-

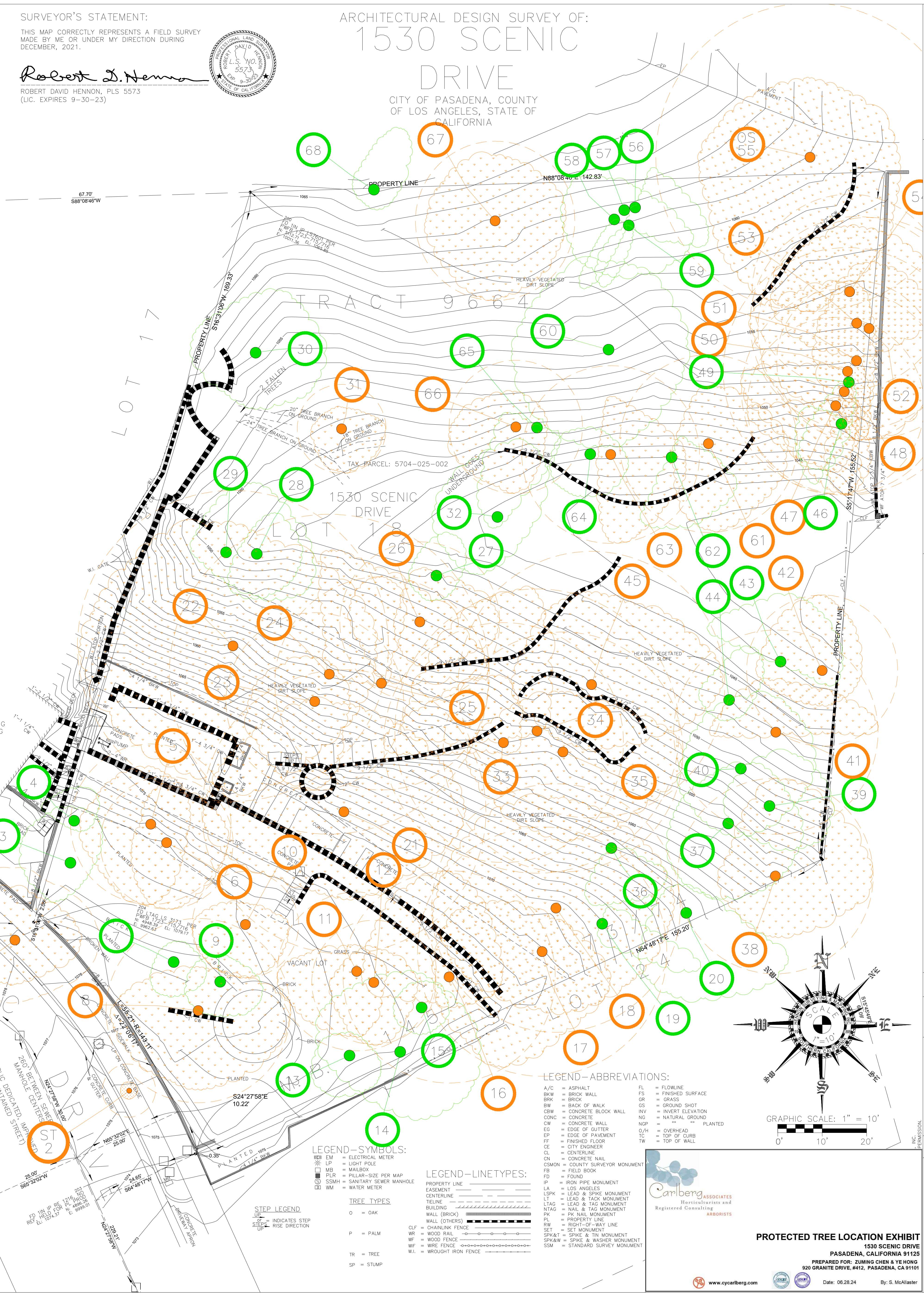
SURVEYOR'S STATEMENT:

THIS MAP CORRECTLY REPRESENTS A FIELD SURVEY MADE BY ME OR UNDER MY DIRECTION DURING DECEMBER, 2021.

Robert D. Hennon  
ROBERT DAVID HENNON, PLS 5573  
(LIC. EXPIRES 9-30-23)



ARCHITECTURAL DESIGN SURVEY OF:  
1530 SCENIC DRIVE  
CITY OF PASADENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA



BASIS OF BEARINGS:

THE BEARING OF N52°58'14"W ALONG THE CENTERLINE OF SCENIC DRIVE AS SHOWN ON MAP OF TRACT NO. 9664, MB 145-73/74 AND IS THE BASIS OF BEARINGS FOR THIS SURVEY.

PROJECT BENCHMARK:

ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29) CITY OF PASADENA PER THE FOLLOWING CITY BENCHMARK:

CITY OF PASADENA BENCHMARK 560/31

FD SPIKE/LEAD IN SOUTH CURB 1 FT W/O CL LT PROD AT THE INTERSECTION OF VISTA LANE AND LIDA ST.

ANY USER OF ELEVATIONS AND/OR COORDINATES SHOWN HEREON FOR THE CONTROL OF CONSTRUCTION, SHALL VERIFY AT LEAST 3 POINTS SHOWN HEREON, FOR MATHEMATICAL CONSISTENCY PRIOR TO SUCH USE.

SURVEYOR'S NOTES:

- BOUNDARY LINES SHOWN HEREON WERE ESTABLISHED FROM PUBLIC AND/OR PRIVATE SURVEY MONUMENTS WHOSE CHARACTER AND SOURCE ARE SO NOTED HEREON. LOT LINES WERE ESTABLISHED PER CORNER RECORD SHOWN HEREON.
- LEGAL DESCRIPTION WAS SUPPLIED BY CLIENT.
- TITLE REPORT WAS SUPPLIED BY CLIENT, SEE 'TITLE REPORT MATTERS'.
- THE AREA OF THE SUBJECT PROPERTY IS AS FOLLOWS:  
AREA = 29,891 SQUARE FEET, 0.686 ACRES.  
(AREA IS BASED ON FIELD MEASUREMENTS)
- THE SUBJECT PROPERTY IS ZONED AS FOLLOWS: RS-4-HD

LEGAL DESCRIPTION:

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOT 18 OF TRACT NO. 9664, IN THE CITY OF PASADENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 145, PAGES 73 AND 74 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

ASSESSOR'S PARCEL NUMBER: 5704-025-002

FLOOD ZONE NOTE:

THE SUBJECT PROPERTY IS IN FEMA FLOOD ZONE 'X' (UNSHADED), WHICH IS OUTSIDE THE 0.2% (500-YEAR) ANNUAL CHANCE FLOOD, PER FEDERAL FLOOD INSURANCE RATE MAP (FIRM) 06037C1375F EFFECTIVE 09/26/2008.

ALTA TABLE A ITEMS 16, 17 & WETLANDS NOTE:

THERE IS NO VISIBLE EVIDENCE OF EARTH MOVING OR BUILDING CONSTRUCTION, PROPOSED CHANGES IN STREET RIGHT OF WAY LINES, SIDEWALK OR STREET CONSTRUCTION OR REPAIRS, USE OF SITE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL, NOR OF WETLANDS.

TITLE MATTERS:

PER PRELIMINARY TITLE REPORT ORDER NO. 119073758 DATED AS OF JULY 18, 2019 BY LAWYERS TITLE COMPANY, ONLY THE FOLLOWING MATTERS OF RECORD AFFECT THE HEREIN DESCRIBED SUBJECT PROPERTY.

ITEMS A & B - TAXES AND LIENS (NOT SURVEY RELATED MATTERS).

ITEM 1 - WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.

ITEM 2 - ANY EASEMENTS NOT DISCLOSED BY THOSE PUBLIC RECORDS WHICH IMPART CONSTRUCTIVE NOTICE AND WHICH ARE NOT VISIBLE AND APPARENT FROM AN INSPECTION OF THE SURFACE OF SAID LAND.

ITEM 3 - COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH IN THE DOCUMENT RECORDING NO. IN BOOK 6127, PAGE 256 OF OFFICIAL RECORDS, SAID COVENANTS, CONDITIONS AND RESTRICTIONS PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT THE LIEN OF ANY MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE. (CONTAINS CC&RS, SEE DOCUMENT FOR PARTICULARS)

ITEM 4 - COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH IN THE DOCUMENT RECORDING NO. IN BOOK 15410, PAGE 320 OF OFFICIAL RECORDS, SAID COVENANTS, CONDITIONS AND RESTRICTIONS PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT THE LIEN OF ANY MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE. (CONTAINS POTENTIAL DESIGN RESTRICTIONS, SEE DOCUMENT FOR PARTICULARS)

ITEM 5 - MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: TEMPORARY PROTECTIVE ORDER PURSUANT TO STIPULATION (CASE NO. GC 034336), DATED: JANUARY 21, 2005, EXECUTED BY: SUPERIOR COURT OF THE STATE OF CALIFORNIA, PASADENA COURTHOUSE, RECORDING DATE: JANUARY 24, 2005, RECORDING NO: 2005-171350 OF OFFICIAL RECORDS, REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS. (THIS ORDER MAY OR MAY NOT BE EXPIRED; SEE DOCUMENT FOR PARTICULARS)

ITEM 6 - A DEED OF TRUST (NOT A SURVEY RELATED MATTER).

ITEM 7 - TITLE COMPANY MATTERS (NOT SURVEY RELATED, SEE TITLE REPORT FOR PARTICULARS).

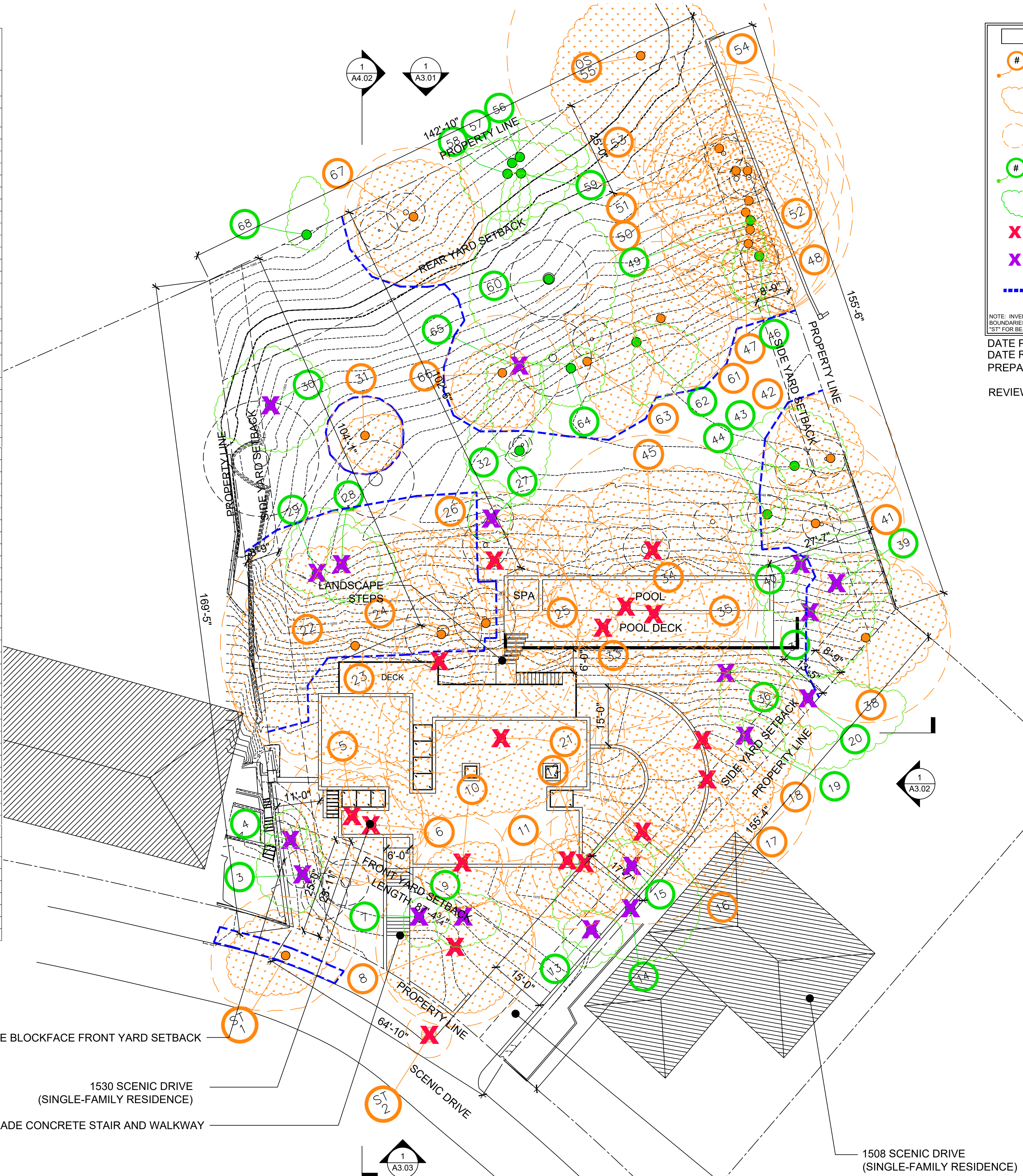
THERE ARE NO PLOTTABLE TITLE ITEMS.



TREE INVENTORY TABLE													
Tree #	Common Name	Botanical Name	DBH (inches)	Converted Trunk Diameter to Single Trunk Diameter (inches)	City Protected, Native or ROW Tree	Height (feet)	Canopy W (feet)	Canopy D (feet)	Canopy S (feet)	Canopy H (feet)	Health	Structure	Removal, Preserve, Encroach
571	Siberian elm	Ulmus pumila	13.5		ROW	22	12	15	10	16	B	B-	Encroach
572	sandwich willow	Zelkova sericea	1.4		ROW	12	2	2	2	2	B	B-	Remove
3	jubilee	Zigophis jubae	6.2		No	18	12	5	10	12	B	B	Remove
4	hennon battlebush	Callisander citrinus	3.7, 3.6, 2.8	6	No	12	8	4	2	8	B	B	Remove
5	coast live oak	Quercus agrifolia	16.3		Protected	35	13	9	18	16	A	A	Remove
6	coast live oak	Quercus agrifolia	11.7		Protected	30	13	14	15	8	B	B-	Remove
7	coast live oak	Quercus agrifolia	4.1		Native	18	5	8	8	4	B	B	Remove
8	coast live oak	Quercus agrifolia	11.5		Protected	25	10	21	18	20	B	B	Remove
9	coast live oak	Quercus agrifolia	4.4, 4.7	6.6	Native	25	6	10	8	7	B	B	Remove
10	coast live oak	Quercus agrifolia	9.6		Protected	30	5	10	12	12	B	B	Remove
11	coast live oak	Quercus agrifolia	9.2		Protected	30	6	7	15	18	C+	B	Remove
12	coast live oak	Quercus agrifolia	10.4		Protected	30	8	10	14	10	C+	B	Remove
13	hackberry	Fraxipachira discolor	6.8, 8.4, 10.4	10.4	No	18	5	8	10	7	A-	B	Remove
14	sharred ash	Fraxinus uhdei	5.8, 8.4, 10.2, 12.1	18	No	10	18	18	13	20	B	B	Remove
15	Mexican fan palm	Washingtonia robusta	87-95		No	40	6	6	6	6	A	A	Remove
16	coast live oak	Quercus agrifolia	12.7		Protected	35	24	12	7	20	C+	B	Remove
17	olive	Olea europaea	4.7, 15, 10	18.7	Protected	22	8	17	28	22	B	B	Remove
18	coast live oak	Quercus agrifolia	23		Protected	25	25	27	24	28	B	B	Remove
19	coast live oak	Quercus agrifolia	6.5		Native	18	4	24	3	0	C+	C+	Remove
20	silver dollar gum	Eucalyptus polystachya	11.5		No	35	6	25	18	7	B	B-	Remove
21	coast live oak	Quercus agrifolia	24		Protected	30	25	27	20	32	B	B	Remove
22	coast live oak	Quercus agrifolia	21.2, 18.9	28.3	Protected	35	28	33	33	35	B+	B	Encroach
23	coast live oak	Quercus agrifolia	14.1		Protected	35	10	8	20	15	A	B	Remove
24	coast live oak	Quercus agrifolia	21.5		Protected	30	28	36	0	0	B	C	Encroach
25	coast live oak	Quercus agrifolia	9.2		Protected	18	24	0	0	0	C	C	Encroach
26	coast live oak	Quercus agrifolia	12.7		Protected	18	12	18	10	6	C	C-	Remove
27	sharred ash	Fraxinus uhdei	5.4		No	30	10	5	6	6	B	B	Remove
28	hennon elm	Afroracua gracior	4.3		No	30	10	10	10	4	A-	A-	Remove
29	Chinese elm	Ulmus parvifolia	4.3	5	No	15	17	20	4	8	B	B	Remove
30	Bridalwreath	Leptosiphon confertifolia	2.5, 5.8, 1.6, 1.1	6.4	No	25	15	15	12	14	B	B	Remove
31	coast live oak	Quercus agrifolia	8.6		Protected	15	5	10	10	7	C	C	Preserve
32	scrub oak	Quercus berberidifolia	5.3, 4.9	7.5	Native	18	18	8	14	14	B	B	Preserve
33	coast live oak	Quercus agrifolia	9.6		Protected	16	15	4	3	27	B	C+	Remove
34	coast live oak	Quercus agrifolia	18.2		Protected	25	12	0	0	30	B	C	Remove
35	coast live oak	Quercus agrifolia	14.3, 16.9	22.2	Protected	35	14	27	20	22	A	B	Remove
36	coast live oak	Quercus agrifolia	5		Native	20	0	14	13	0	A	A	Remove
37	Japanese persimmon	Diospyros laevis	5.4, 6.7	8.6	No	22	15	17	17	12	B	B	Remove
38	coast live oak	Quercus agrifolia	14.2		Protected	35	22	22	14	13	C	B	Encroach
39	Japanese persimmon	Diospyros laevis	8.3, 9.5, 1.9	8.7	No	15	13	14	8	10	B	B	Remove
40	olive	Olea europaea	4.5, 7.5, 1.1, 1.5, 1.5	9	No	30	18	15	15	13	A	B	Remove
41	scrub oak	Quercus berberidifolia	5.1, 5.5, 5.3	10	Protected	22	12	23	0	15	B	B	Preserve
42	coast live oak	Quercus agrifolia	8.3		Protected	35	17	9	8	15	C	B	Preserve
43	scrub oak	Quercus berberidifolia	5		Native	15	15	13	0	18	B	B	Preserve
44	scrub oak	Quercus berberidifolia	4.5		Native	16	13	5	5	7	B-	B-	Preserve
45	coast live oak	Quercus agrifolia	9.5, 10.5, 13	19.3	Protected	40	31	30	15	18	B	B	Remove
46	coast live oak	Quercus agrifolia	4.5		Native	20	0	0	15	9	A	A	Preserve
47	scrub oak	Quercus berberidifolia	4.5, 5.1, 4.3, 3.4	9.8	Protected	18	0	5	15	20	B	B	Preserve
48	coast live oak	Quercus agrifolia	8.6		Protected	18	0	0	23	0	B	C+	Preserve
49	coast live oak	Quercus agrifolia	2.7, 6.8	7.3	Native	15	0	0	21	0	B	C+	Preserve
50	coast live oak	Quercus agrifolia	15.9		Protected	25	0	0	28	24	B	B	Preserve
51	coast live oak	Quercus agrifolia	10.6		Protected	30	0	0	18	0	B	B	Preserve
52	coast live oak	Quercus agrifolia	13.2, 10.9	17.1	Protected	35	15	18	25	12	A	B+	Preserve
53	coast live oak	Quercus agrifolia	14.5		Protected	35	9	4	22	24	A	A	Preserve
54	coast live oak	Quercus agrifolia	11, 11.8	16.1	Protected	28	15	23	15	18	A	B+	Preserve
0555	sugar gum	Eucalyptus cladocalyx	36		Protected	55	18	20	35	25	A	B	Preserve
56	scrub oak	Quercus berberidifolia	6.2		Native	15	10	18	4	0	B	B	Preserve
57	scrub oak	Quercus berberidifolia	5.1, 5.7	7.7	Native	20	4	17	15	13	B	B	Preserve
58	scrub oak	Quercus berberidifolia	6.1		Native	22	0	3	17	0	B	B	Preserve
59	scrub oak	Quercus berberidifolia	4.2		Native	5	0	0	15	0	C	C	Preserve
60	red river gum	Eucalyptus camaldulensis	24.8		No	60	20	18	22	22	A	A	Preserve
61	scrub oak	Quercus berberidifolia	2.7, 4.4, 4.4, 5.1, 5.6, 6.3	12.3	Protected	18	13	18	20	8	B	B	Preserve
62	coast live oak	Quercus agrifolia	7.8		Native	20	5	16	16	0	C+	C+	Preserve
63	coast live oak	Quercus agrifolia	9.4, 5	10.7	Protected	18	13	17	20	3	C+	C	Preserve
64	coast live oak	Quercus agrifolia	7.2		Native	20	6	9	10	8	C+	C+	Preserve
65	Chinese elm	Ulmus parvifolia	7.7		No	20	0	6	25	8	B	C+	Remove
66	coast live oak	Quercus agrifolia	10.4		Protected	28	8	7	15	15	A	A	Preserve
67	coast live oak	Quercus agrifolia	15		Protected	25	15	16	18	16	B	A	Preserve
68	coast live oak	Quercus agrifolia	8.5, 1.1, 1.1	6.7	Native	14	15	5	4	5	C	C-	Preserve

KEY

NEIGHBORING PROPERTY

PROPERTY LINE

TREE INVENTORY LEGEND

#

CITY OF PASADENA PROTECTED TREE

PROTECTED TREE CANOPY

ROOT PROTECTION ZONE

#

NON-PROTECTED TREE

NON-PROTECTED TREE CANOPY

X

PROTECTED TREE TO BE REMOVED

X

NON-PROTECTED TREE TO BE REMOVED

PRELIMINARY TREE PROTECTION FENCING (TPF)

NOTE: INVENTORIED TREES PLOTTED OUTSIDE PROPERTY LINE BOUNDARIES ARE DESIGNATED "OS" FOR BEING LOCATED OFF-SITE AND "ST" FOR BEING A STREET TREE.

DATE PREPARED: 12/27/23

DATE REVISED: 10/11/24

PREPARED BY: S. McALLASTER

ISA CERTIFIED ARBORIST

REVIEWED BY: CY CARLBERG, RCA #405

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PROJECT

Ye/Chen Residence

1530 Scenic Drive  
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CLIENT

Zuming Chen & Yu Zhao

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Pasadena, CA 91101

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RECORD	DATE
PRE PLAN REVIEW SUBMITTAL	02.03.2022
HILLSIDE DEV. PERMIT SUBMITTAL	07.13.2023
HILLSIDE DEV. PERMIT RESUBMITTAL	01.12.2024

DRAWING NOTES/KEY PLAN

Carlberg ASSOCIATES  
Horticulturists and  
Registered Consulting  
ARBORISTS

PROTECTED TREE IMPACT EXHIBIT  
& PROTECTION PLAN

1530 SCENIC DRIVE  
PASADENA, CALIFORNIA 91125

PREPARED FOR: ZUMING CHEN & YE HONG  
920 GRANITE DRIVE, #412, PASADENA, CA 91101

www.cycarlberg.com

DATE: 12.27.23  
REVISED: 10.11.24

By: S. McAllaster

TITLE

TREE IMPACT EXHIBIT AND PROTECTION PLAN

SCALE

1/8" = 1'-0"

PROJECT NO. 2-2109-299

ISSUE DATE 06.28.2024

FILE NO.

TR1.02



Tree Protection Notes:

## Root Protection Zone

The Root Protection Zone is defined as the area within a circle with a radius equal to the greatest distance from the trunk to any overhanging foliage in the canopy.

Tree roots are generally located the top 12 - 36 inches of soil and can extend to a distance exceeding the trees height and/or width. The larger, structural roots located 3-5 feet from the trunk are often relatively inactive, and if cut, can become infected with root disease that may cause a column of decay or sapwood death in the trunk and root collar. Dieback related to cambium death will reach the lateral branches and top of the tree with time. The smaller feeder/absorptive roots of the tree can sustain damage during construction from lack of water, soil compaction or physical damage resulting from cutting. The following guidelines are designed to minimize damage to the root system of trees to remain on construction sites.

1. Some encroachments may be unavoidable. The Project Arborist shall monitor all work that must be performed in the Root Protection Zone.
2. Protective chain-link fencing, at least five feet in height, with an access gate of minimal width should be installed at the Root Protection Zone of protected trees (or as drawn on the Tree Protection Plan) and approved in place by the Project Arborist and city staff prior to the commencement of any demolition, grubbing, grading or construction. This pertains to both public (parkway trees, etc.) and private trees.
3. When chain link fencing cannot be placed to the limits of the Root Protection Zone, the Project Arborist may require that orange snow fencing be placed at the limits of the Root Protection Zone as a temporary protection measure until the encroachment work will be performed. This will be determined at a pre-demo/pre-construction job site meeting with the contractor and/or applicant.
4. The Root Protection Zone should be irrigated sufficiently with clean potable water to keep the tree in good health and vigor before, during, and after construction. This may mean deeply soaking the ground periodically. Installation of layers of sand bags or other material to create a watering well, or berm, may be necessary. The Project Arborist will recommend this activity, if necessary.
5. No construction staging or disposal of construction materials or byproducts including but not limited to paint, plaster, or chemical solutions is allowed in the Root Protection Zone.
6. The Root Protection Zone should not be subjected to flooding incidental to the construction work.
7. All work conducted in the ground within the Root Protection Zone of any protected tree should be accomplished with hand tools, unless an air-spade is utilized, or as approved and monitored by the Project Arborist. Trenches in the Root Protection Zone should be tunneled, or completed with an air-spade to avoid damage to small feeder roots within the root protection zone. Information regarding air-spades is available from the project arborist.
8. Any required trenching should be routed in such a manner as to minimize root damage. Radial trenching (radial to the tree trunk) is preferred as it is less harmful than tangential trenching. Construction activity should be diverted from the Root Protection Zone. Cutting of roots should be avoided (i.e. place pipes and cables below uncut roots). Wherever possible and in accordance with applicable code requirements, the same trench should be used for multiple utilities.
9. Unless approved on the grading, civil, landscape, or other plans, "natural" or pre-construction grade should be maintained in the Root Protection Zone. At no time during or after construction should soil be in contact with the trunk of the tree above the basal flare.
10. In areas where the grade around the protected tree will be lowered, some root cutting may be unavoidable. Cuts should be clean and made at right angles to the roots. When practical, cut roots back to a branching lateral root. The Project Arborist shall monitor all root pruning.
11. When removing existing pavement in the Root Protection Zone, avoid the use of heavy equipment, which will compact and damage the root system. The Project Arborist shall monitor all demolition activities in the Root Protection Zones.
12. If the Project Arborist requires mulch in the Root Protection Zone, the mulch materials and location will be shown on the plan.
13. Root damage and soil compaction may be mitigated in some cases by using plywood, mulch, or mulch and plywood in the Root Protection Zone. The Project Arborist may require this action at any point during demolition and construction as the project progresses and will work with the contractor to implement the best management practices.
14. Weather proof, minimum 8 x 10 inches, signage shall be applied to the fencing on all sides that states:

## Pruning

1. Pruning shall be monitored by the Project Arborist at intervals and durations as they see fit to maintain tree integrity.
2. Pruning of all trees should be in accordance with industry standards ( International Society of Arboriculture or ANZI 133.1).
3. Pruning of oaks should be limited to the removal of dead wood and the correction of potentially hazardous conditions, as evaluated by the Project Arborist. Excessive pruning is harmful to oaks and many other trees. Removal or reduction of major structural limbs should be done only as required for actual building clearance or safety, and only at the recommendation of the Project Arborist. If limbs must be removed, cuts should be made perpendicular to the branch, to limit the size of the cut face. The branch bark collar should be preserved (i. e. no “flush cuts”), and cuts should be made in such a way as to prevent the tearing of bark from the tree.
4. Pruning of trees other than oaks should be limited to the removal or reduction of major structural limbs and should be done only as required for actual building clearance or safety, and only at the recommendation of the Project Arborist. If limbs must be removed, cuts should be made perpendicular to the branch, to limit the size of the cut face. The branch bark collar should be preserved (i.e. no “flush cuts”), and cuts should be made in such a way as to prevent the tearing of bark from the tree.
5. Landmark Trees must be pruned by or under the direction of a qualified arborist.

## Inspections

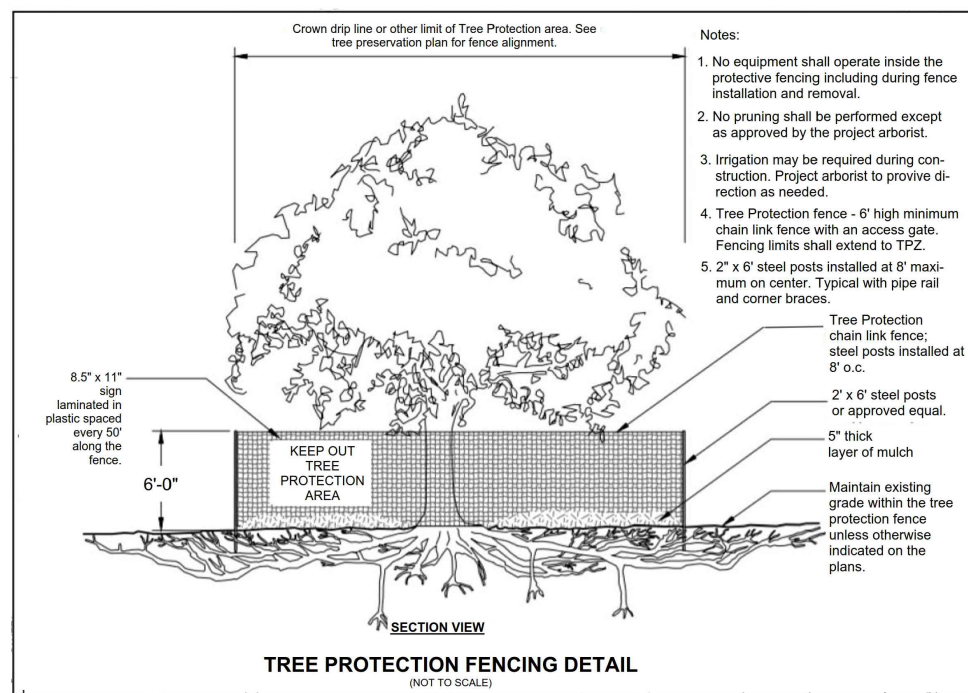
1. Inspection of Protective Fencing: The Project Arborist shall inspect the tree protection fencing prior to demolition, grubbing, grading, or construction. City staff may also inspect fencing to verify placement and approval of materials prior to the commencement of demolition, grading, or construction.
2. Pre-construction meeting. City staff may require an on-site pre-construction meeting with the contractor and or applicant to discuss tree protection with the site supervisor, grading equipment contractors, and demolition crew. The Project Arborist shall be present at that meeting.
3. Inspection of rough grading. City staff may require inspection to ensure protected trees will not be injured by compaction, cut or fill, drainage and trenching activities.
4. Special Activity in the Tree Protection Zone: The Project Arborist shall provide direct on-site supervision of work in the tree protection zone, as they deem appropriate.
5. Periodic Inspections: City staff may require inspections verifying adherence to tree protection measures during the on-going construction process. Allow a minimum of 48 hours for scheduling inspections.
6. The Project Arborist shall report discrepancies or deficiencies in Tree Protection to the site superintendent for corrective action. If corrective actions are not taken in a reasonable time frame, the Project Arborist may notify City staff for enforcement action.

## Definitions

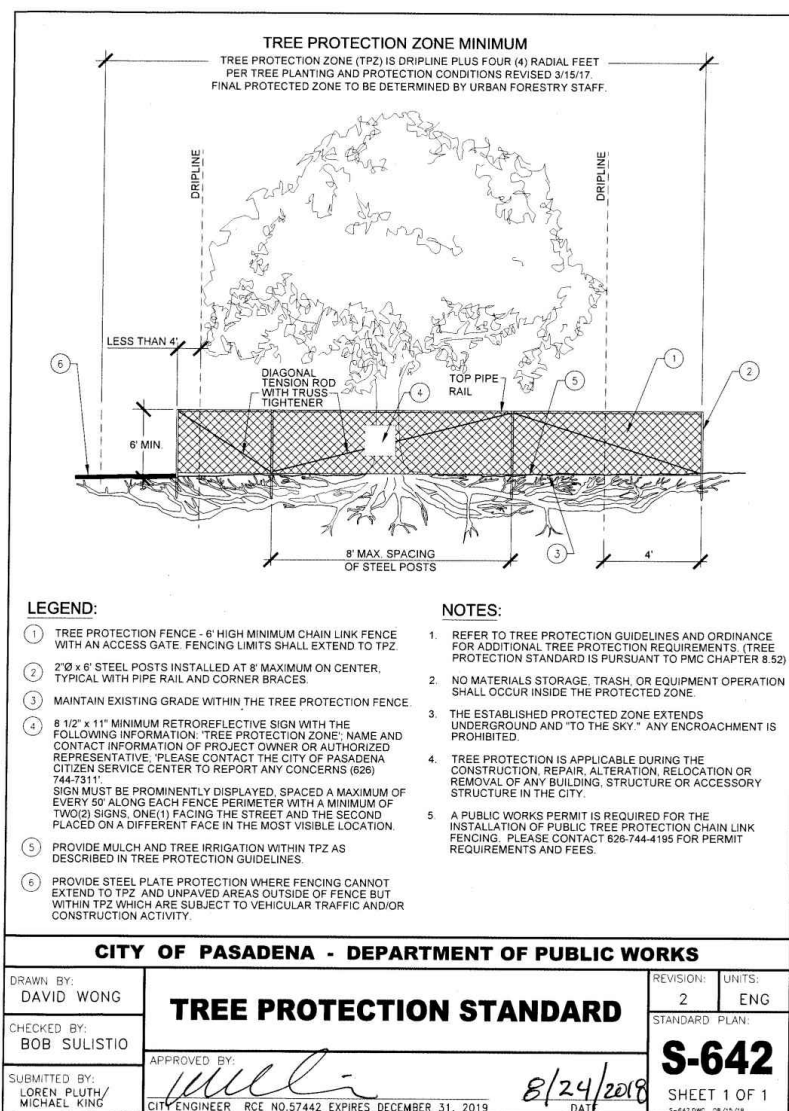
1. Basal flare or root crown means the tree trunk where it emerges from the root system and flares out to create the base of the tree.
2. Canopy means the area of a tree that consists primarily of branches and leaves.
3. Dripline means the outermost area of the tree canopy (leafy area of tree).
4. Certified Arborist means an individual who has demonstrated knowledge and competency through obtainment of the current International Society of Arboriculture arborist certification.
5. Root Protection Zone means the area within a circle with a radius equal to the greatest distance from the trunk to any overhanging foliage in the tree canopy.
6. Tree Protection Zone (TPZ) for Right-of-Way trees is dripline plus four radial feet per tree planting and protection conditions revised 03/15/17. Final Protected Zone to be determined by Urban Forestry Staff.

### Public Trees-Maintained by the City of Pasadena

Trees that are located in the parkway between the curb face and the property line, and therefore are public trees. To have any work done on these trees, including installation of Tree Protection Fencing, contact Forestry Operations at 626-744-4321. A permit is required for fencing parkway trees.



Note: This fencing detail is standard for Private Property Protected Trees. Non-protected trees may be fenced with orange snow fencing as described in the standard notes on this sheet. This detail is for general reference when there are no Protected Trees in a project area.



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DRAWING NOTES/KEY PLAN	

TITLE	
TREE IMPACT EXHIBIT AND PROTECTION PLAN	
	SCALE $\frac{1}{8}" = 1'-0"$
	PROJECT NO. 2-2109-299
	ISSUE DATE 06.28.2024
	FILE NO.
TR1.02	

  
**Cycarberg** ASSOCIATES  
Horticulturists and  
Registered Consulting  
ARBORISTS

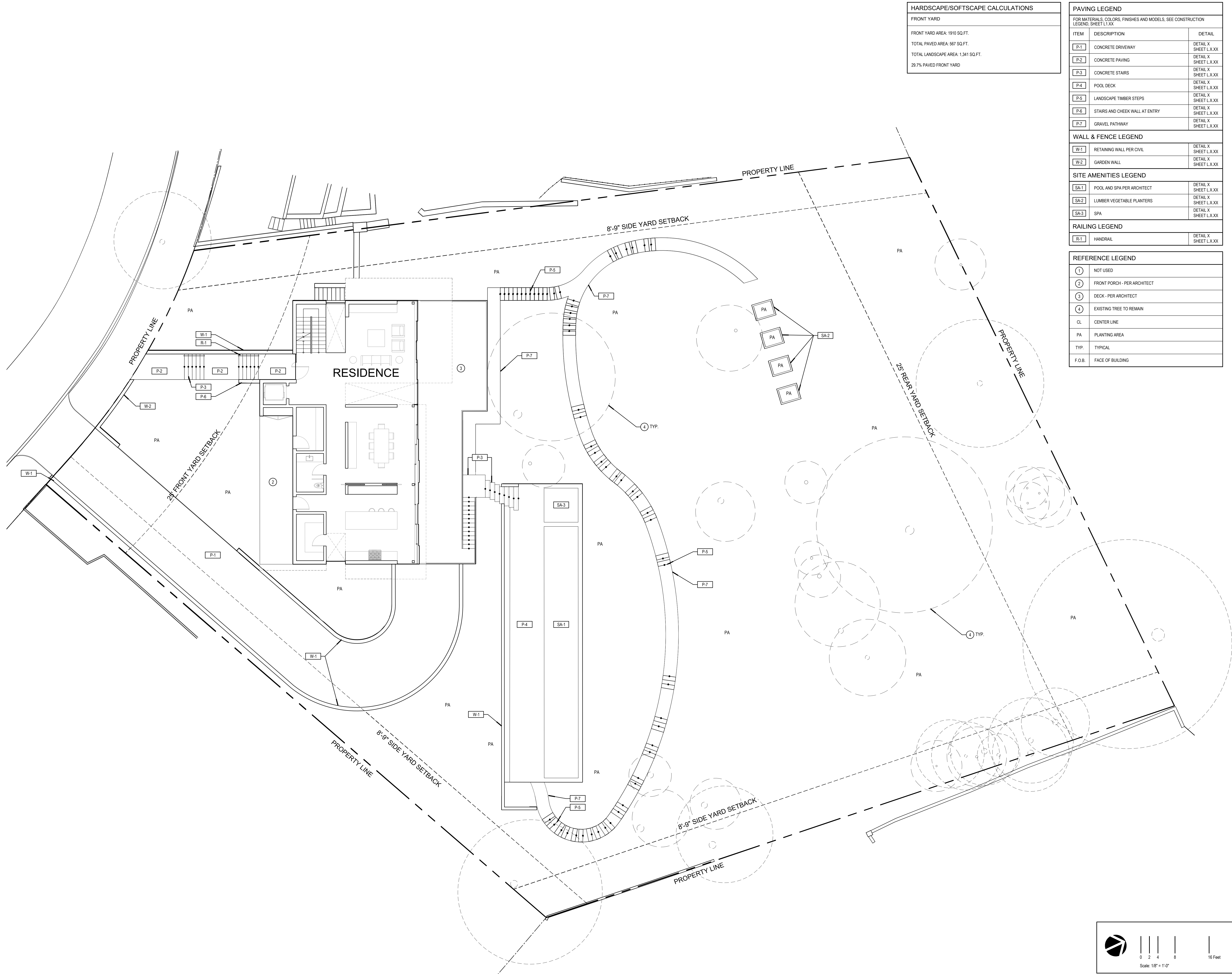
**PROTECTED TREE IMPACT EXHIBIT  
& PROTECTION PLAN**  
1530 SCENIC DRIVE  
PASADENA, CALIFORNIA 91125  
PREPARED FOR: ZUMING CHEN & YE HONG  
920 GRANITE DRIVE, #412, PASADENA, CA 91101

 [www.cycarberg.com](http://www.cycarberg.com)  

Date: 12.27.23  
Revised: 10.11.24

By: S. McAllister





HARDSCAPE/SOFTSCAPE CALCULATIONS	
FRONT YARD	
FRONT YARD AREA: 1910 SQ.FT.	
TOTAL PAVED AREA: 567 SQ.FT.	
TOTAL LANDSCAPE AREA: 1,341 SQ.FT.	
29.7% PAVED FRONT YARD	

PAVING LEGEND		
FOR MATERIALS, COLORS, FINISHES AND MODELS, SEE CONSTRUCTION LEGEND, SHEET L1.XX		
ITEM	DESCRIPTION	DETAIL
P-1	CONCRETE DRIVEWAY	DETAIL X SHEET L.X.XX
P-2	CONCRETE PAVING	DETAIL X SHEET L.X.XX
P-3	CONCRETE STAIRS	DETAIL X SHEET L.X.XX
P-4	POOL DECK	DETAIL X SHEET L.X.XX
P-5	LANDSCAPE TIMBER STEPS	DETAIL X SHEET L.X.XX
P-6	STAIRS AND CHEEK WALL AT ENTRY	DETAIL X SHEET L.X.XX
P-7	GRAVEL PATHWAY	DETAIL X SHEET L.X.XX

WALL & FENCE LEGEND	
W-1	RETAINING WALL PER CIVIL
W-2	GARDEN WALL

SITE AMENITIES LEGEND	
SA-1	POOL AND SPA PER ARCHITECT
SA-2	LUMBER VEGETABLE PLANTERS
SA-3	SPA

RAILING LEGEND	
R-1	HANDRAIL

REFERENCE LEGEND	
1	NOT USED
2	FRONT PORCH - PER ARCHITECT
3	DECK - PER ARCHITECT
4	EXISTING TREE TO REMAIN
CL	CENTER LINE
PA	PLANTING AREA
TYP.	TYPICAL
F.O.B.	FACE OF BUILDING

Scenic Drive

1530 Scenic Drive  
Pasadena, California 91103  
Tract: TR 9664  
Site Area: .685 ACRES

Park Design Case Number: 00000000 - PPD  
Approved Park Plan Number: 000000 - PPP  
Playground Plan Number: 0000000 - PPA

Client  
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Revisions	By	Date
HDP	RW	06/27/2023
HDP REV 1	RW	09/19/2023
HDP REV 2	RW	11/01/2023
HDP REV 3	RW	01/10/2024
HDP REV 4	RW	07/24/2024
HDP REV 5	RW	08/28/2024
HDP REV 6	RW	10/18/2024
HDP REV 7	RW	01/29/2025

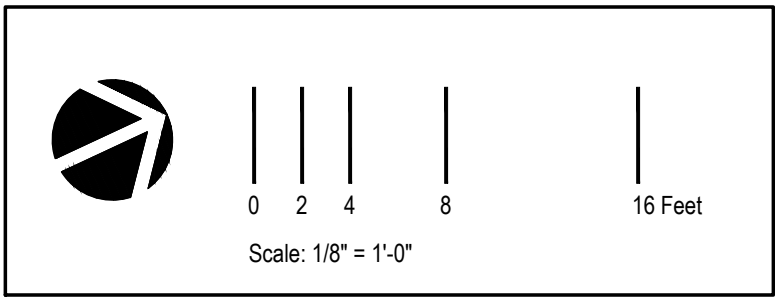
Job Number: E22-047  
Design Staff: JC  
Project Manager: RW  
Principal: NE

Preliminary  
Construction Plan

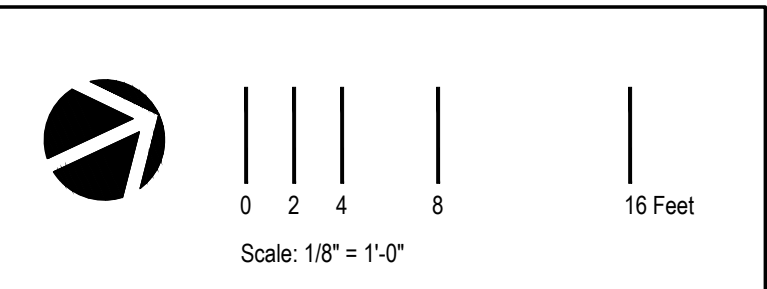
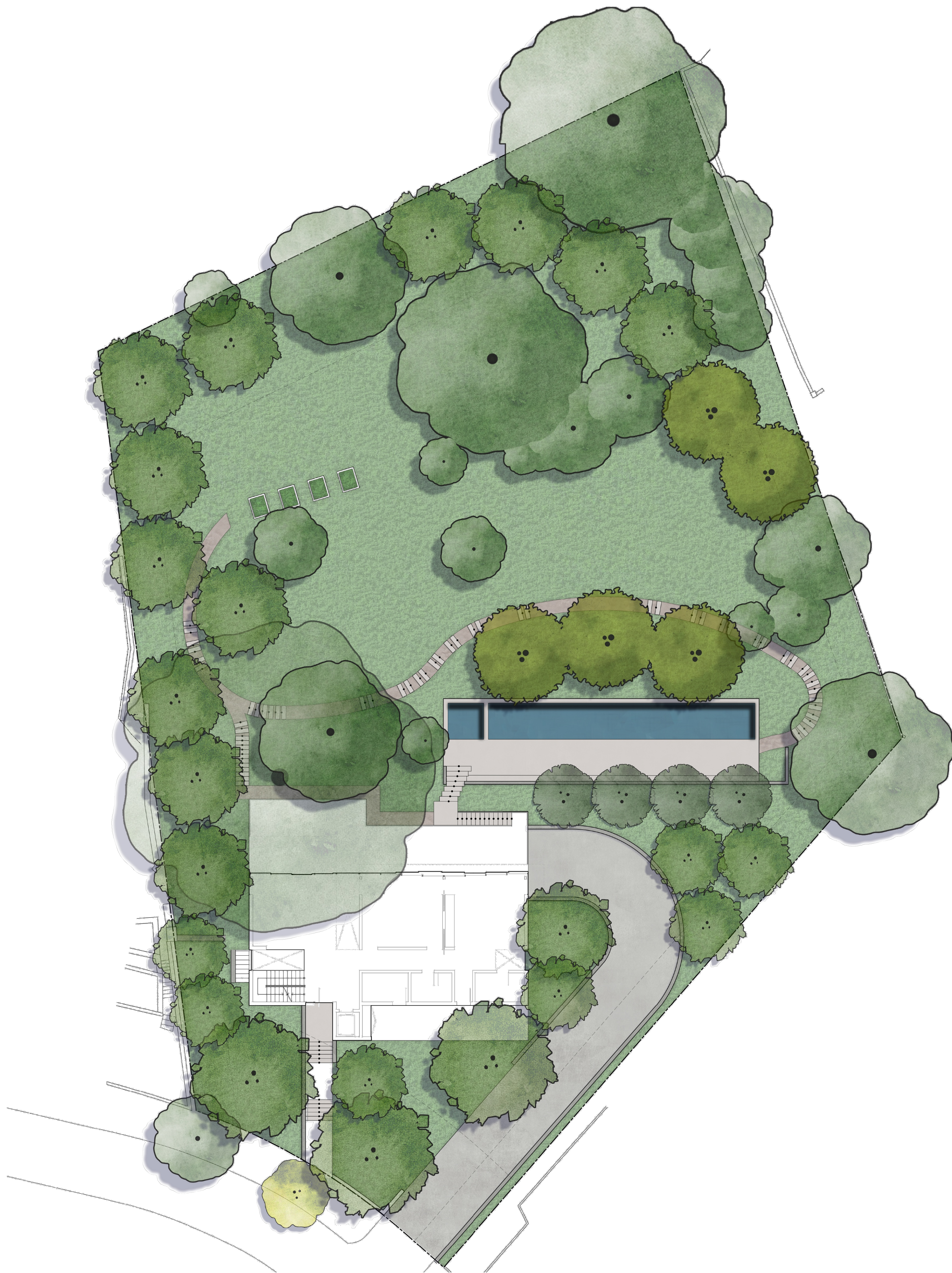
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Plan Control: XX  
1st City Sub: XX Month 2023







Scenic Drive

1530 Scenic Drive  
Pasadena, California 91103  
Tract: TR 9664  
Site Area: .685 ACRES

Park Design Case Number: 00000000 - PPD  
Approved Park Plan Number: 000000 - PPR  
Playground Plan Number: 00000000 - PPA

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HDP REV 6	RW	10/16/2024
HDP REV 7	RW	01/29/2025

Job Number: E22-047  
Design Staff: JC  
Project Manager: RW  
Principal: NE

Landscape  
Site Plan

L1.01A

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TREE CALCULATIONS: REQUIRED, PROPOSED, AND OFFSITE TREES		
CATEGORY	QTY	NOTES
TOTAL REQUIRED MITIGATION TREES	26	
TOTAL PROPOSED TREES	33	
TREES PROVIDED OFF SITE	0	

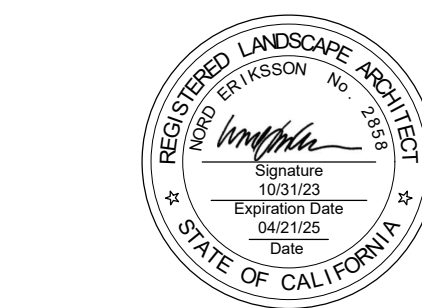
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Pasadena, California 91103  
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Park Design Case Number: 00000000 - PPD  
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Job Number: E22-047  
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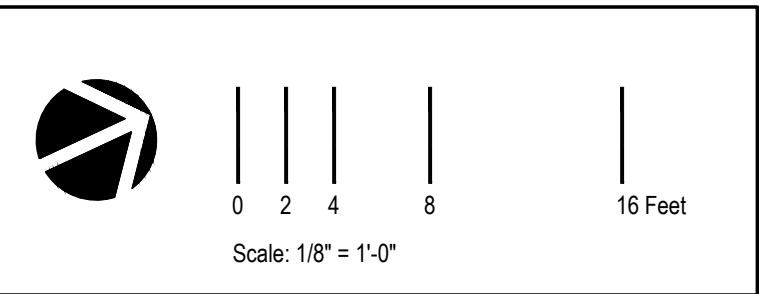
Planting Plan

L3.00

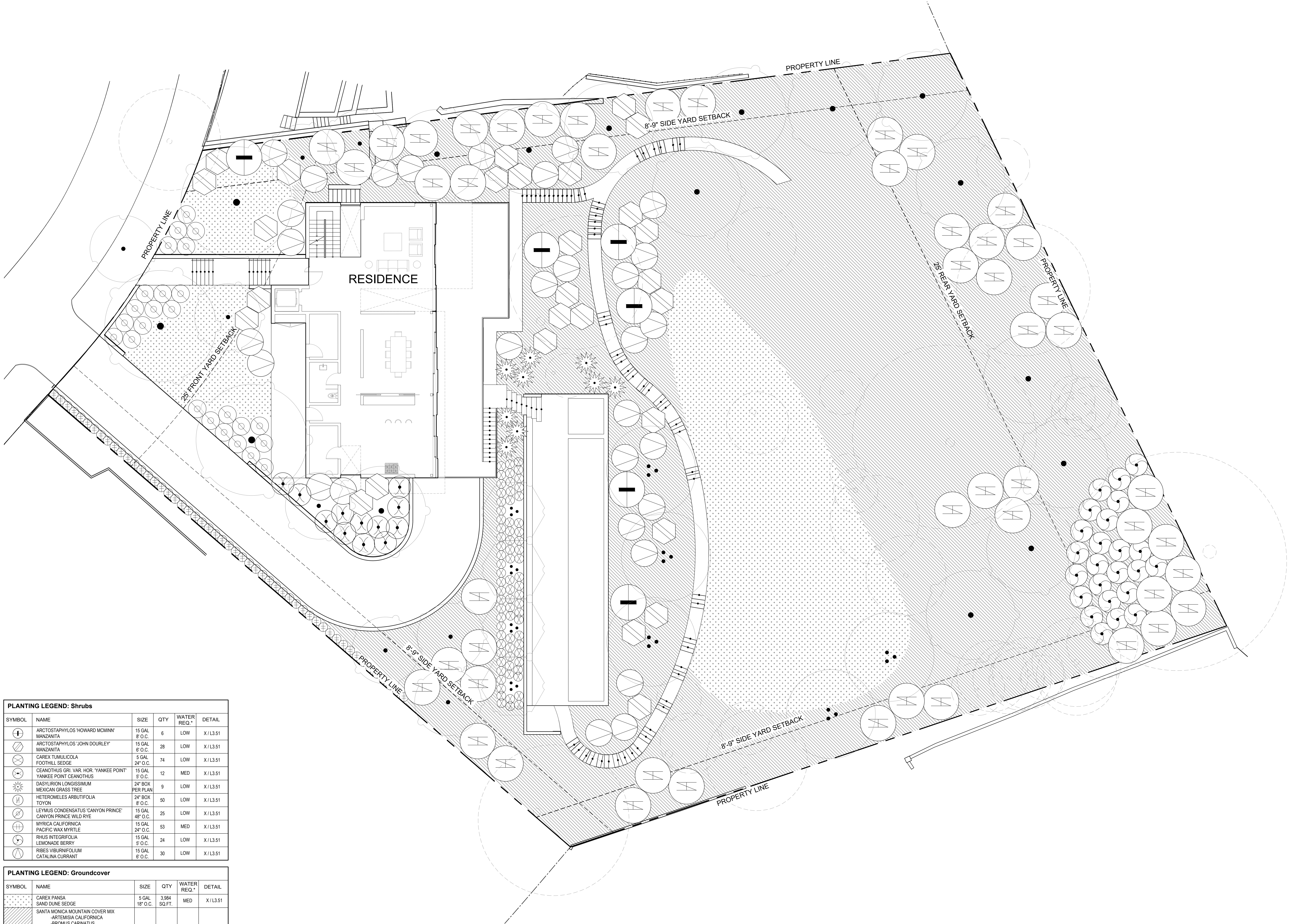
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PLANTING LEGEND: Trees and Boxed Material						
SYMBOL	NAME	SIZE	MITIGATION QTY. REQUIRED	QTY. PROPOSED	WATER REQ.*	DETAIL
	QUERCUS AGRIFOLIA SOUTHERN LIVE OAK	72" BOX	-	3	LOW	E & H /L3.51
		48" BOX	-	13		
		36" BOX	-	7		
		24" BOX	17	-		
		15 GAL	4	-		
	PLATANUS RACEMOSA CALIFORNIA SYCAMORE	36" BOX	-	5	MED	E & H /L3.51
	OLEA EUROPAEA OLIVE	36" BOX	4	4	LOW	E & H /L3.51
	ZELKOVA SERRATA OR ULMUS PUMILA	36" BOX	1	1	MED	E & H /L3.51
	EXISTING TREE TO REMAIN	-	-	-	-	-







PLANTING LEGEND: Shrubs					
SYMBOL	NAME	SIZE	QTY	WATER REQ.*	DETAIL
	ARCTOSTAPHYLOS 'HOWARD MCMINNY'	15 GAL 8" O.C.	6	LOW	X / L3.51
	ARCTOSTAPHYLOS 'JOHN DOURLEY'	15 GAL 8" O.C.	28	LOW	X / L3.51
	CAREX TUMULICOLA	5 GAL 24" O.C.	74	LOW	X / L3.51
	CEANOTHUS GR. VAR. 'YANKEE POINT'	15 GAL 8" O.C.	12	MED	X / L3.51
	DASYURIUM LONGISSIMUM	24" BOX PER PLAN	9	LOW	X / L3.51
	HETEROMELES ARBUTIFOLIA	24" BOX 8" O.C.	50	LOW	X / L3.51
	LETYMUS CONDENSATUS 'CANYON PRINCE'	15 GAL 48" O.C.	25	LOW	X / L3.51
	MYRICA CALIFORNICA	15 GAL 24" O.C.	53	MED	X / L3.51
	RHUS INTEGRIFOLIA	15 GAL 8" O.C.	24	LOW	X / L3.51
	RISES VIBURNIFOLIUM	15 GAL 8" O.C.	30	LOW	X / L3.51

PLANTING LEGEND: Groundcover					
SYMBOL	NAME	SIZE	QTY	WATER REQ.*	DETAIL
	CAREX PANSA	5 GAL 18" O.C.	3,984 SQ.FT.	MED	X / L3.51
	SANTA MONICA MOUNTAIN COVER MIX -ARTEMISIA CALIFORNICA -BROMUS CARINATUS -BROMUS CARINATUS 'CUCAMONGA' -CAMISSONOPSIS CHERANTHIFOLIA -CLARKIA PURPUREA -ENCELIA CALIFORNICA -ERIOGONUM CINERUM -ERIOGONUM FASCICULATUM -ERIOGYLLUM CONFERTIFLORUM -ESCHSCHOLZIA CALIFORNICA -LUPINUS SUCCULENTUS -MELICA IMPERFECTA -MIMULUS AURANTICUS LONGIFLORUS -PENSTEMON SPECTABILIS -STIPA LEPTA -STIPA PULCHRA -VERBENA LASIOSTACHYS		16,6125 SQ.FT.	LOW	X / L3.51

\*WATER REQUIREMENT PLANT FACTOR IS BASED ON WUCOLS DATABASE AND CAN BE FOUND ONLINE AT:  
<http://ucanr.edu/edu/sites/WUCOLS/>

Scenic Drive

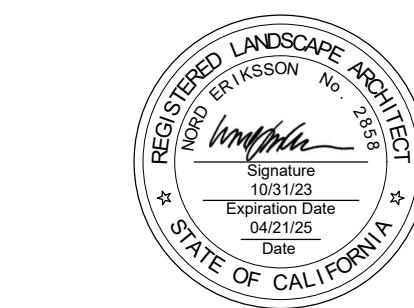
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Tract: TR 9664  
Site Area: .685 ACRES

Park Design Case Number: 00000000 - PPD  
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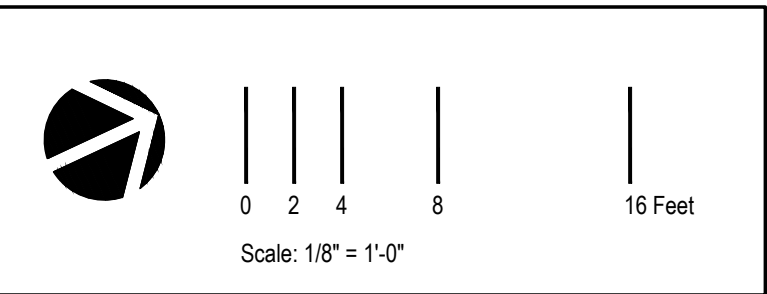
Job Number E22-047  
Design Staff JC  
Project Manager RW  
Principal NE

Planting Plan -  
Shrubs and  
Groundcovers

L3.10

Plan Check Number: 00000000-PARK  
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Plan Control: XX  
1st City Sub: XX Month 2023









## **City Trees # 1 thru # 8**

No fencing has been requested for these trees because they are away from the scope of work and separated by fencing, however no vehicles shall drive or park anywhere near them and their drip. There shall be no storing of trash, materials, or washing of chemicals and cement anywhere near them or their drip line.

### **All Oak Trees**

- 1) Any approved trimming of Oak trees shall be done before the beginning of October or with the approval of the project arborist.

### **All Protected Trees**

- 1) No broadcast trenching shall be done within six times the diameter of any protected tree.
- 2) Sprinklers shall be adjusted so they don't wet the tree trunks of any Oak trees
- 3) Plantings within six times the diameter of any protected tree shall be relocated if a root larger than 2 inches is encountered and must be severed.
- 4) Any existing debris within the protection fencing areas shall be removed and loaded manually away from the trees and not with heavy equipment.

- 1) Any approved trimming of Oak trees shall be done before the beginning of October or with the approval of the project arborist.

- 1) No broadcast trenching shall be done within six times the diameter of any protected tree.
- 2) Sprinklers shall be adjusted so they don't wet the tree trunks of any Oak trees
- 3) Plantings within six times the diameter of any protected tree shall be relocated if a root larger than 2 inches is encountered and must be severed.
- 4) Any existing debris within the protection fencing areas shall be removed and loaded manually away from the trees and not with heavy equipment.

## General Tree Protection Plan

- 1) Avoid damaging the roots, stem, and branches with mechanical and manual equipment.
- 2) Avoid soil compaction by prohibiting the use of heavy equipment such as backhoes and bobcats under the tree drip line.
- 3) Do not store or park tools, equipment, vehicles, or chemicals under the tree drip line.
- 4) Avoid washing of equipment and tools such as wheel barrels, shovels, and mechanical motors under the tree drip line.
- 5) Prevent flooding and pooling of service water under the drip line.
- 6) Avoid cutting tree roots wherever possible. This can sometimes be accomplished by bridging roots, tunneling, or radial trenching. If roots must be cut use a sharp tool that will make a clean flush cut and not tear the roots. If possible all digging under the tree drip line should be done manually to avoid tearing out of roots.
- 7) Place a protective barrier or temporary fencing around as much of the drip line of the tree trunk as possible while allowing for the proposed work to be done. Protection fencing shall be 4 to 6 ft. high chain link freestanding panels or secured to posts driven into the ground. There shall be no entry gates into the protected zones. The protection fencing shall be in place before demolition begins and shall only be removed when all heavy equipment such as back-hoes, bobcats, and loaders will not be required. Fencing can be adjusted or sections reduced or removed as the project advances into the landscaping phases of the project. The consulting arborist shall be contacted if there are doubts about the placement or removal of fencing.
- 8) Construction personnel should be briefed on the importance of the guidelines before construction begins and reminded of it during targate meetings and as necessary. A printed copy should be posted where employees can be reminded of it.

- 1) Avoid damaging the roots, stem, and branches with mechanical and manual equipment.
- 2) Avoid soil compaction by prohibiting the use of heavy equipment such as backhoes and bobcats under the tree drip line.
- 3) Do not store or park tools, equipment, vehicles, or chemicals under the tree drip line.
- 4) Avoid cutting of equipment and tools such as wheel barrels, shovels, and mechanical motors under the tree drip line.
- 5) Prevent flooding and pooling of service water under the drip line.
- 6) Avoid cutting tree roots whenever possible. This can sometimes be accomplished by bridging roots, tunneling, or radial trenching. If roots must be cut use a sharp tool that will make a clean flush cut and not tear the roots. If possible all digging under the tree drip line should be done manually to avoid tearing out of roots.
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- 8) Construction personnel should be briefed on the importance of the guidelines before construction begins and reminded of it during tailgate meetings and as necessary. A printed copy should be posted where employees can be reminded of it.

## TREE PROTECTION NOTES

- Trimming and pruning shall be performed only under the supervision of the Owner or Arborist of Record.
- Chain link fencing, five (5) feet in height, will be secured to two-inch diameter galvanized round posts spaced no more than ten feet apart as delineated on the Tree Protection Plan. A two (2) foot wide access gate is permitted. Installation of protection fencing is the responsibility of the Contractor. Parking or storing of vehicles, trailers, equipment, materials or construction materials will not be permitted within areas delineated by protective fences, nor will dumping of oils or chemicals.
- Fences are critical to (1) prevent direct contact and damage to the canopy, branches, and trunk, (2) preserve roots and soil in an intact and non-compacted state, and (3) identify the tree protection zone. The tree protection fence shall be continuously maintained and replaced as necessary throughout the construction period and remain in place until final landscape work commences.
- During the course of construction, relocation of the fence may be required to accommodate construction. The Contractor may do so with the approval of the Owner or Arborist of Record at no additional expense.
- During the course of construction the Contractor shall take all necessary precautions to protect the existing trees from the trees, trunks, foliage and all existing trees shall be protected. The Contractor shall keep the site area around all existing trees free from debris at all times.
- Trees subject to the provisions of these requirements that have been injured for any reason shall be repaired immediately by the Contractor or Arborist or authorized representative. Repair shall include removal of rough bark edges and severely injured branches as directed by the Arborist of Record or authorized representative.
  - Approval by the Owner for work within the fenced area shall not release the Contractor from any requirement to protect existing trees to be protected.
  - During the course of construction within the fenced area, no roots larger than two (2) inches in diameter shall be cut without prior approval from the Arborist of Record or authorized representative.
- During construction, the existing drainage patterns shall not be altered within the area of the drip-line.
  - The following is not permitted within the drip-line of any existing tree to be preserved:
    - Storage or parking of automobiles or other vehicles.
    - Stockpiling of building materials or refuse of excavated materials.
    - Skidding or bruising of bark.
    - Use of trees as support posts, power poles, or signposts; anchorage for ropes, guy wires, power lines, or other similar functions.
    - Disposal of poisonous materials or on or around trees or roots. Such material includes but is not limited to paint, petroleum products, contaminated water, or other deleterious materials.
  - Cutting of tree roots to utility trenching, foundation digging, placement of curbs and trenches, and other construction work without prior approval of the Arborist of Record or authorized representative.
  - Damage to trunk, limbs, or foliage caused by maneuvering vehicles.
  - Compaction of the root zone under the equipment by the movement of trucks or grading machines; storage of equipment, gravel, earth, fill, or other materials.
- Excessive wetting or heat from equipment, utility line construction, or burning of trash under or near shrubs or trees.
- Damage to root system from flooding, erosion, and excessive wetting and drying resulting from deslating and other operations.

### Excavation Around Trees

- Excavation within drip-line shall be done only when absolutely necessary.
- When trenching for utilities is required within drip-line, tunneling under and around roots or bridging over them is preferred over root severance. Main buttress, or supportive roots, shall not be cut. Smaller roots that interfere with installation of new work may be cut with prior approval of the Arborist of Record or authorized representative.
- When trenching for new construction is required within drip-line of trees, hand excavation shall be employed to minimize damage to root systems. If large, main lateral roots are encountered, they shall be exposed beyond the excavation limits as required to bend and relocate them without breaking. Any roots 2-inches or larger which might be damaged shall be clearly cut and ends to be enhanced the efficient natural "compartmentalization" of the damage by the tree. There is no need to apply any type of "pruning seal" compound when roots are clearly cut, since the root will form its own internal barriers to decay.
- Exposed roots shall not be allowed to dry out before permanent backfill is placed. Temporary earth cover shall be provided, or roots shall be packed with wet peat moss or four layers of wet, untreated burlap, and temporarily supported and protected from damage until permanently covered with backfill. The cover over the roots shall be wetted to the point of runoff daily.

### Trimming of Trees (when indicated as work included in contract, or when pruning is required as an approval has been given by the Owner to accommodate construction)

- Branches shall be trimmed in accordance with the American National Standards Institute Standard Practices for Pruning (ANSI Z300)
- The Arborist of Record or authorized representative shall be engaged to oversee removal of branches from trees and large shrubs that are to be retained.
- In the case of root cuts, employ wet burlap or other protection to prevent drying out, and maintain in a moist condition until permanent backfill is in place.

### Soil Compaction Mitigation:

The Contractor will be responsible for installing any root buffer material such as mulch, gravel, or plywood. The Contractor is responsible for its maintenance to assure effectiveness against soil compaction.

### Repair Compensation:

- Damage to existing curbs or roots over two (2) inches in diameter shall be immediately reported to the Owner, in writing, and repaired immediately at the Contractor's expense by the Arborist of Record or authorized representative.
- The Arborist of Record or authorized representative shall direct the repair of trees damaged by construction operations. Repairs shall be made promptly after damage occurs to prevent progressive deterioration of damaged trees.
- Any to remain which is damaged or destroyed owing to the Contractor's failure to provide adequate protection shall be compensated for in accordance with the guidelines set forth in the Guide for Plant Appraisal, 9th Edition, using the Trunk Formula Method.

### For trees and shrubs with diameters up to and including 6 inches, compensation shall be the actual cost of replacement with items similar in species, size, and shape, including, but not limited to:

- Actual cost of replacement tree.
- Transportation or delivery of boxed tree to site.
- Planting and staking (or guying).
- Establishment (period maintenance) for at least 90 days, including watering, pruning, pest control, or other care to bring replacement to the same general condition of the original tree.

- Damage to trees limbs or trees which have died as a result of injury during construction shall be removed or be removed by the Contractor as directed by the Owner or Arborist of Record.

Park Design Case Number: 00000000 - PPD  
Approved Park Plan Number: 0000000 - PPP  
Flavourgroup Plan Number: 00000000 - PPA

Park Design Case Number: 00000000 - PPD  
Approved Park Plan Number: 0000000 - PPP  
Playground Plan Number: 00000000 - PPA

## Zuming Chen &amp; Ye Hong

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Revisions	By	Date
HDP	RW	06/27/2023
HDP REV 1	RW	09/19/2023
HDP REV 2	RW	11/01/2023
HDP REV 3	RW	01/10/2024
HDP REV 4	RW	07/24/2024
HDP REV 5	RW	08/28/2024
HDP REV 6	RW	10/16/2024
HDP REV 7	RW	01/29/2025

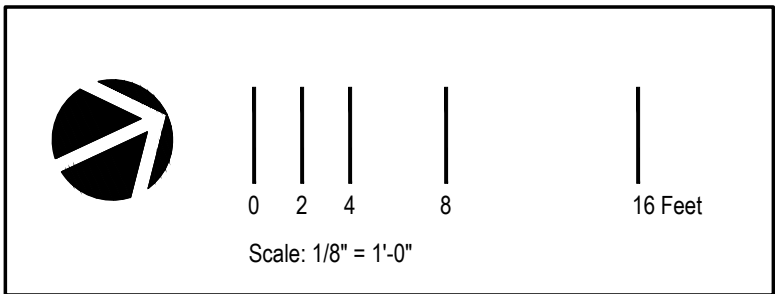
Job Number	E22-047
Design Staff	JC
Project Manager	RW
Principal	NE

# L3.02

Plan Check Number: 00000000-PARK

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Plan Control: XX  
1st City Sub. XX Month 2023





Tree #	Common Name	Botanical Name	DBH (inches)	Converted Trunk Diameter to Single Trunk (inches)	City Protected Tree	Height (feet)	Photo #	Required Removal	Required Mitigation	Number of Mitigation Trees	Proposed Replacement	Mitigation Trees (per planting plan)
ST1	Siberian elm	Ulmus pumila	13.5		ROW	22	779-794	No	Yes	1x24"	1x48" QA	
ST2	sawtooth yellow	Zelkova serrata	1.4		ROW	12	785	Yes	Yes	1x80"	1x80" QA	ST-2.1
3	Jubilee	Zelkova serrata	6.2		No	18	786-793	Yes	No	1x80"	1x80" Zelkova serrata	
4	lemon butterflybush	Callitriche ciliolata	3.7, 5.6, 5.8	6	No	12	794	Yes	No			
5	coast live oak	Quercus agrifolia	16.3		No	35	795L	Yes	Yes	1x24"	1x48" QA	5.1
6	coast live oak	Quercus agrifolia	11.7		No	30	795H	Yes	Yes	1x24"	1x50" QA	6.1
7	coast live oak	Quercus agrifolia	4.1		No	18	796H	Yes	Yes	1x15gal QA	1x80" QA	7.1
8	coast live oak	Quercus agrifolia	11.5		Yes	25	797	Yes	Yes	1x24"	1x72" QA	8.1, 8.2, and 8.3
9	coast live oak	Quercus agrifolia	4.4, 4.7	6.6	No	25	798	Yes	Yes	1x15gal QA	1x48" QA	9.1
10	coast live oak	Quercus agrifolia	9.4		No	30	799	Yes	Yes	1x24"	1x38" QA	10.1
11	coast live oak	Quercus agrifolia	9.2		No	30	800L	Yes	Yes	1x24"	1x38" QA	11.1
12	coast live oak	Quercus agrifolia	10.4		No	30	800H	Yes	Yes	1x24"	1x38" QA	12.1
13	leucobark	Brexylyptis discolor	6.8, 8	10.4	No	18	801	Yes	No			
14	shamel ash	Fraxinus uhdei	5.8, 8.4, 13.7, 1	18	No	10	802	Yes	No			
15	Mexican fan palm	Washingtonia robusta	10.50		No	40	803	Yes	No			
16	coast live oak	Quercus agrifolia	12.7		No	35	804	Yes	Yes	1x24"	1x48" QA	16.1
17	olive	Olea europaea	4.7, 15, 10	18.7	Yes	22	805	Yes	Yes	4x36"	4x36" OE	17.1, 17.2, 17.3 and 17.4
18	coast live oak	Quercus agrifolia	23		No	25	806	Yes	Yes	1x24"	1x48" QA	18.1
19	coast live oak	Quercus agrifolia	6.5		No	18	807	Yes	Yes	1x15gal QA	1x48" QA	19.1
20	silver dollar gum	Eucalyptus polydon	11.5		No	35	808	Yes	No			

21	coast live oak	Quercus agrifolia	24		No	30	809, 810	Yes	Yes	1x24"	1x48" QA	21.1
22	coast live oak	Quercus agrifolia	21.2, 18.9	26.3	No	35	811	No	No			
23	coast live oak	Quercus agrifolia	14.1		No	35	812	Yes	Yes	1x24"	1x48" QA	23.1
24	coast live oak	Quercus agrifolia	21.5		No	30	813L	No	No			
25	coast live oak	Quercus agrifolia	9.2		No	18	813H	No	No			
26	coast live oak	Quercus agrifolia	11.7		No	18	814L	Yes	Yes	1x24"	1x48" QA	26.1
27	shamel ash	Fraxinus uhdei	5.4		No	30	814H	Yes	No			
28	fern pine	Araucaria arborescens	4.3		No	30	815	Yes	No			
29	Chinese elm	Ulmus parvifolia	4.3	5	No	15	816	Yes	No			
30	Madroño tree	Laphroglossum confertum	2.5, 5.8, 1.6, 1.1	6.4	No	35	817	Yes	No			
31	coast live oak	Quercus agrifolia	8.6		No	15	818	No	No			
32	scrub oak	Quercus berberidifolia	5.3, 4.9	7.3	No	18	819	No	No			
33	coast live oak	Quercus agrifolia	9.6		No	18	820H	Yes	Yes	1x24"	1x48" QA	33.1
34	coast live oak	Quercus agrifolia	18.2		No	25	821L	Yes	Yes	1x24"	1x48" QA	34.1
35	coast live oak	Quercus agrifolia	14.3, 14.3, 15.9	22.2	No	35	822C	Yes	Yes	1x24"	1x48" QA	35.1
36	coast live oak	Quercus agrifolia	5		No	20	823	No	No	1x15gal QA	1x48" QA	36.1
37	Japanese persimmon	Diospyros kaki	3.4, 6.7	8.6	No	22	823B3	Yes	No			
38	coast live oak	Quercus agrifolia	14.2		Yes	35	824	No	No			
39	Japanese persimmon	Diospyros kaki	6.5, 5.5, 4.5, 3.5, 1.1, 1.1, 1.1, 1.1	8.7	No	15	825	Yes	No			
40	olive	Olea europaea	1.5, 1.5, 1.5, 1.5	9	No	30	826	Yes	No			
41	scrub oak	Quercus berberidifolia	6.3	10	No	21	827	No	No			
42	coast live oak	Quercus agrifolia	8.9		Yes	35	828H	No	No			
43	scrub oak	Quercus berberidifolia	5		No	15	829L	No	No			

44	scrub oak	Quercus berberidifolia	4.5		No	16	830	No	No			
45	coast live oak	Quercus agrifolia	9.5, 10.5, 13	19.3	No	40	840	Yes	Yes	1x24"	1x48" QA	45.1
46	coast live oak	Quercus agrifolia	4.5		No	20	841	No	No			
47	scrub oak	Quercus berberidifolia	4.5, 5.1, 4.2, 3.4, 4.2	9.8	Yes	18	841	No	No			
48	coast live oak	Quercus agrifolia	8.6		Yes	18	841	No	No			
49	coast live oak	Quercus agrifolia	2.7, 6.8	7.3	No	15	841L	No	No			
50	coast live oak	Quercus agrifolia	15.9		Yes	25	841L	No	No			
51	coast live oak	Quercus agrifolia	10.6		Yes	30	841, 842L	No	No			
52	coast live oak	Quercus agrifolia	13.2, 10.9	17.1	Yes	25	842H	No	No			
53	coast live oak	Quercus agrifolia	14.5		Yes	35	842C	No	No			
54	coast live oak	Quercus agrifolia	11, 11.8	16.1	Yes	28	843L	No	No			
55	sugar gum	Eucalyptus cladocalyx	36		Yes	55	844	No	No			
56	scrub oak	Quercus berberidifolia	6.2		No	15	845H	No	No			
57	scrub oak	Quercus berberidifolia	5.1, 5.7	7.7	No	20	845C	No	No			
58	scrub oak	Quercus berberidifolia	6.1		No	22	845L	No	No			
59	scrub oak	Quercus berberidifolia	6.2		No	5	845L2	No	No			
60	red river gum	Eucalyptus camaldulensis	24.8		No	60	846-854	No	No			

61	scrub oak	Quercus berberidifolia	2.5, 4.4, 4.6, 5.1, 5.6, 6.3	12.1	Yes	18	855	No	No			
62	coast live oak	Quercus agrifolia	7.8		No	20	856	No	No			
63	coast live oak	Quercus agrifolia	6.4, 5	10.7	No	18	857L	No	No			
64	coast live oak	Quercus agrifolia	7.2		No	20	857L	No	No			
65	Chinese elm	Ulmus parvifolia	7.7		No	20	858	Yes	No			
66	coast live oak	Quercus agrifolia	10.4		No	28	859	No	No			
67	coast live oak	Quercus agrifolia	15		Yes	25	860	No	No			
68	coast live oak	Quercus agrifolia	6.5, 1.1, 1.1	6.7	No	14	861	No	No			

Note:  
Replacement Matrix per City Tree and Tree Protection Ordinance requirement #6:  
City Tree and Tree Protection Ordinance requirements #6 the project, as defined in Section 17.12.020, includes a landscape design plan that emphasizes a tree canopy that is sustainable over the long term by adhering to the replacement matrix prepared by the city manager and included in the associated administrative guidelines.



## Scenic Drive

1530 Scenic Drive  
Pasadena, California 91103

Tract: TR 9664  
Site Area: .685 ACRES

Park Design Case Number: 00000000 - PPD  
Approved Park Plan Number: 000000 - PPD  
Playground Plan Number: 00000000 - PPA

Client

Zuming Chen & Ye Hong

C920 Granite Dr. #412  
Pasadena, CA 91101  
T: 213-705-1983

## EPTDESIGN

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Revisions	By	Date
HDP	RW	06/27/2023
HDP REV 1	RW	09/19/2023
HDP REV 2	RW	11/01/2023
HDP REV 3	RW	01/10/2024
HDP REV 4	RW	07/24/2024
HDP REV 5	RW	08/28/2024
HDP REV 6	RW	10/18/2024
HDP REV 7	RW	01/29/2025

Job Number E22-047  
Design Staff JC  
Project Manager RW  
Principal NE

## Tree Mitigation Plan

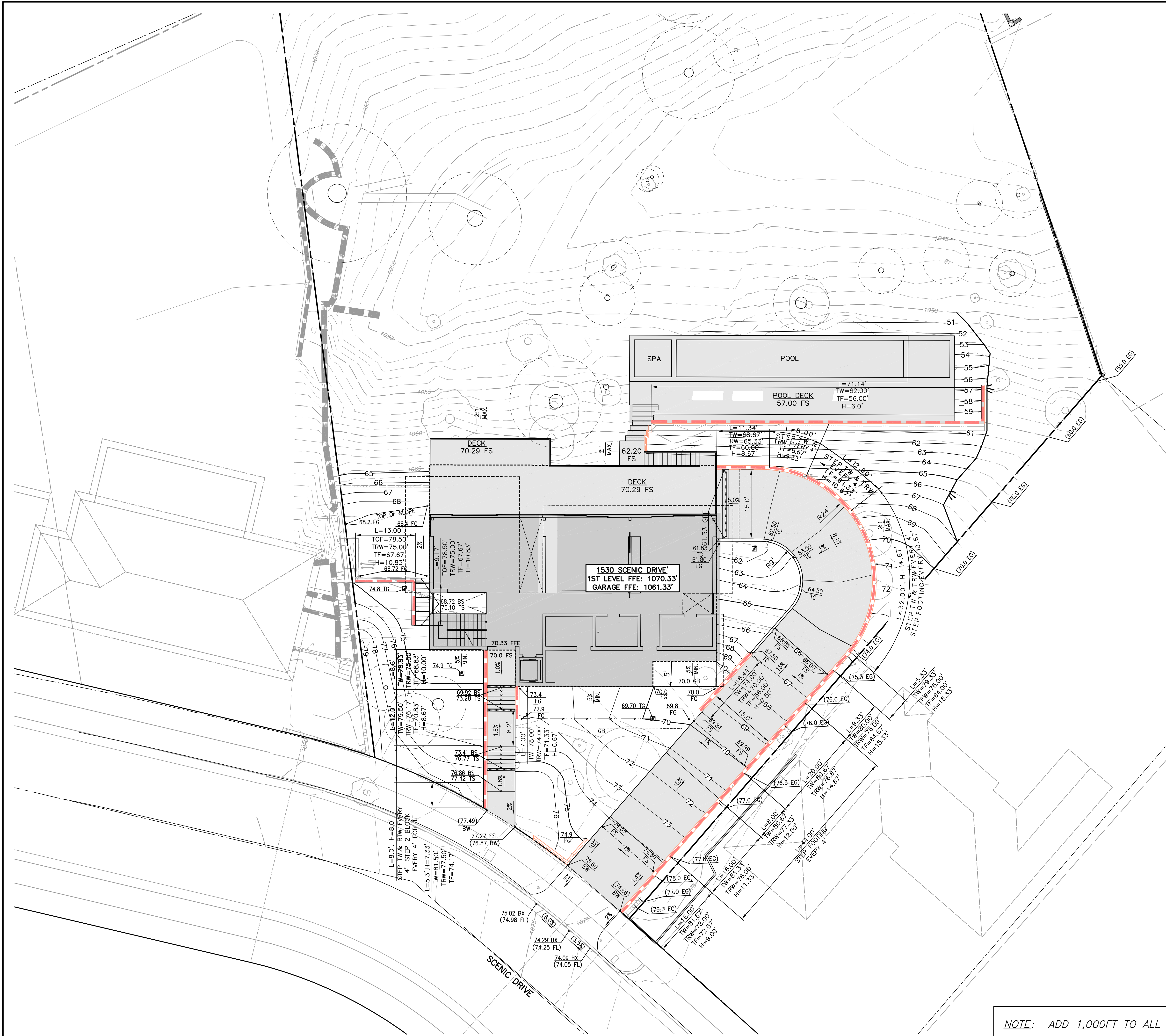
## L3.03

Plan Check Number: 00000000-PARK

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Plan Control: XX  
1st City Sub: XX Month: 2023



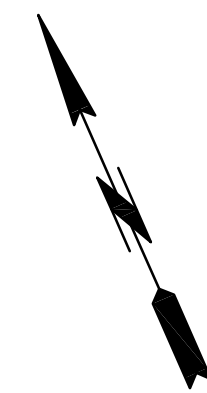
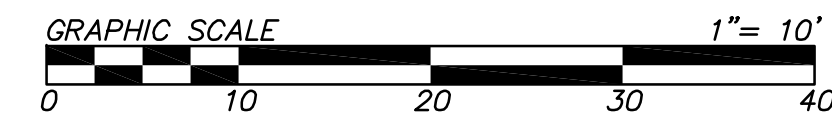


CONSTRUCTION NOTES

1. CONSTRUCT AREA DRAIN BY NDS, PER DETAIL "B" ON SHEET C3.1. 4" ATRIUM GRATE PART #75 (6" ATRIUM GRATE PART #80) AS REPRESENTED IN DETAIL "B", OR 4" ROUND GRATE PART #13. (OR EQUAL)
2. CONSTRUCT PVC DRAIN PIPE (SIZE PER PLAN), SCH. 40 OR EQUAL, 1% MINIMUM SLOPE. CLEANOUTS AS REQUIRED BY CODE.
3. CONSTRUCT DESILTING BASIN PER DETAIL "D" ON SHEET C3.1.
4. CONSTRUCT 9" X 9" TRAFFIC RATED CATCH BASIN BY NDS, OR EQUAL WITH NDS 9"X9" SQ. GRATE.
5. CONSTRUCT WALKWAY/DECORATIVE WALL PER LANDSCAPE PLAN
6. CONSTRUCT NEW MOTOR COURT W/CONCRETE FINISH PER ARCHITECTURAL PLAN.
7. CONSTRUCT TRENCH DRAIN; SIZE PER PLAN. INSTALL "NO DUMPING" STENCIL PER DETAIL "C" OF SHEET C3.1.
8. CONNECT DOWN SPOUTS TO SITE DRAINAGE PIPE PER DETAIL "A" ON C3.1 AND OUTLET TO DESILTING BASIN PER DETAIL "D" ON SHEET C3.1.
9. CONNECT CANTILEVERED WALKWAY AREA DRAIN TO SITE DRAINAGE PIPE AND OUTLET TO DESILTING BASIN PER DETAIL "D" ON SHEET C3.1. TOP OF GRATE & INVERT PER PLUMBING/MECHANICAL PLAN.
10. CONNECT ROOF DRAIN TO SITE DRAINAGE PIPE AND OUTLET TO DESILTING BASIN PER DETAIL "D" ON SHEET 3.1. INVERT PER PLUMBING/MECHANICAL PLAN.
11. CONSTRUCT 42" GUARD RAIL PER ARCHITECTURAL PLAN.
12. CONSTRUCT RETAINING WALL BY OTHERS.
13. (UNUSED)
14. CONSTRUCT UNDERGROUND CISTERN BY CONTECH (OR AN APPROVED EQUAL) PER DETAIL ON C3.2. SIZE PER PLAN.
15. CONSTRUCT RIP-RAP PAD PER DETAIL ON C1.1 HEREON.
16. CONSTRUCT BACKWATER VALVE FOR VECTOR CONTROL.

LEGEND:

- PROPERTY LINE
- SURFACE DRAINAGE
- DRAINAGE SWALE
- NETWORK 1 - PVC DRAIN PIPE. (SDR35 OR EQUAL) 1% MIN. SLOPE UNLESS NOTED OTHERWISE.
- PROPOSED CONTOURS
- EXISTING CONTOURS
- CONCRETE HARDSCAPE (PER LANDSCAPE PLAN)
- 2:1 MAX GRADED SLOPE
- LIMITS OF OVEREXCAVATION
- PROPOSED RET. WALL BY OTHERS
- PROPOSED SLOUGH WALL
- PROPOSED SLOUGH WALL
- REMAIN AS EXISTING GRADE
- PROPOSED BASEMENT OUTLINE
- PROPOSED ROOF OUTLINE
- PROPOSED DAYLIGHT



NOTE: ADD 1,000FT TO ALL ELEVATIONS SHOWN

#	DESCRIPTION	DATE

PRECISE GRADING PLAN  
1530 SCENIC DRIVE  
PASADENA, CA 91103

DATE  
7/01/2024  
JOB NUMBER  
22212

C1

PREPARED BY:

FORMA ENGINEERING INC.  
400 SAN FERNANDO MISSION BLVD., STE 200  
SAN FERNANDO, CA 91340  
Phone: 818-832-1710 • 818-832-1740

OWNER:

YE HONG & ZUMING CHEN  
920 GRANITE DRIVE, #412  
PASADENA, CA 91101

SOILS ENGINEER:

CONTACT  
ADDRESS  
LOCATION  
(XX)-XXX-XXXX

ARCHITECT:

CONTACT: PETER TOLKEN  
TOLO ARCHITECTURE  
1024 WILDE ST  
LOS ANGELES, CA 90021







EARTHWORK QUANTITY TABLE		CUT (CY)	FILL (CY)
ROUGH GRADE*		2,213	45
OVEREX & RECOMPACT (ASSUMED 24" UNDER ALL PAVEMENT)		200	200
SUBTOTAL:		2,413	245
SHRINKAGE (10% OF R&R ASSUMED)		0	25
TOTAL:		2,413	270
ESTIMATED EXPORT AMOUNT:		2,143 CY	

\*APPROXIMATE VALUES FOR BUILDING SUBSURFACE. ROUGH GRADE LEFT 8" LOW FOR FOOTING AND OTHER SPOILS. VOLUME GENERATED USING AUTODESK, AUTOCAD CIVIL 3D SOFTWARE. CUT/FILL DEPTHS AS SHOWN IN PLAN. COMPARISON BETWEEN EXISTING GRADE AND HOUSE ROUGH SURFACE.

EARTHWORK LEGEND

- ⊕ xx.x FILL DEPTH
- ⊕ -xx.x CUT DEPTH
- [Shaded Box] FILL AREA
- [Cross-hatched Box] CUT AREA

NOTE: ADD 1,000FT TO ALL ELEVATIONS SHOWN

#	DESCRIPTION	DATE

EARTHWORK  
1530 SCENIC DRIVE  
PASADENA, CA 91103

DATE  
8/26/2024  
JOB NUMBER  
22212

C2

PREPARED BY:

FORMA ENGINEERING INC.

400 SAN FERNANDO MISSION BLVD., STE 200  
SAN FERNANDO, CA 91340  
Phone: 818-832-1710 • 818-832-1740



OWNER:

YE HONG & ZUMING CHEN  
920 GRANITE DRIVE, #412  
PASADENA, CA 91101

SOILS ENGINEER:

CONTACT  
ADDRESS  
LOCATION  
(XX)-XXX-XXXX

ARCHITECT:

CONTACT: PETER TOLKEN  
TOLO ARCHITECTURE  
1024 WILDE ST  
LOS ANGELES, CA 90021



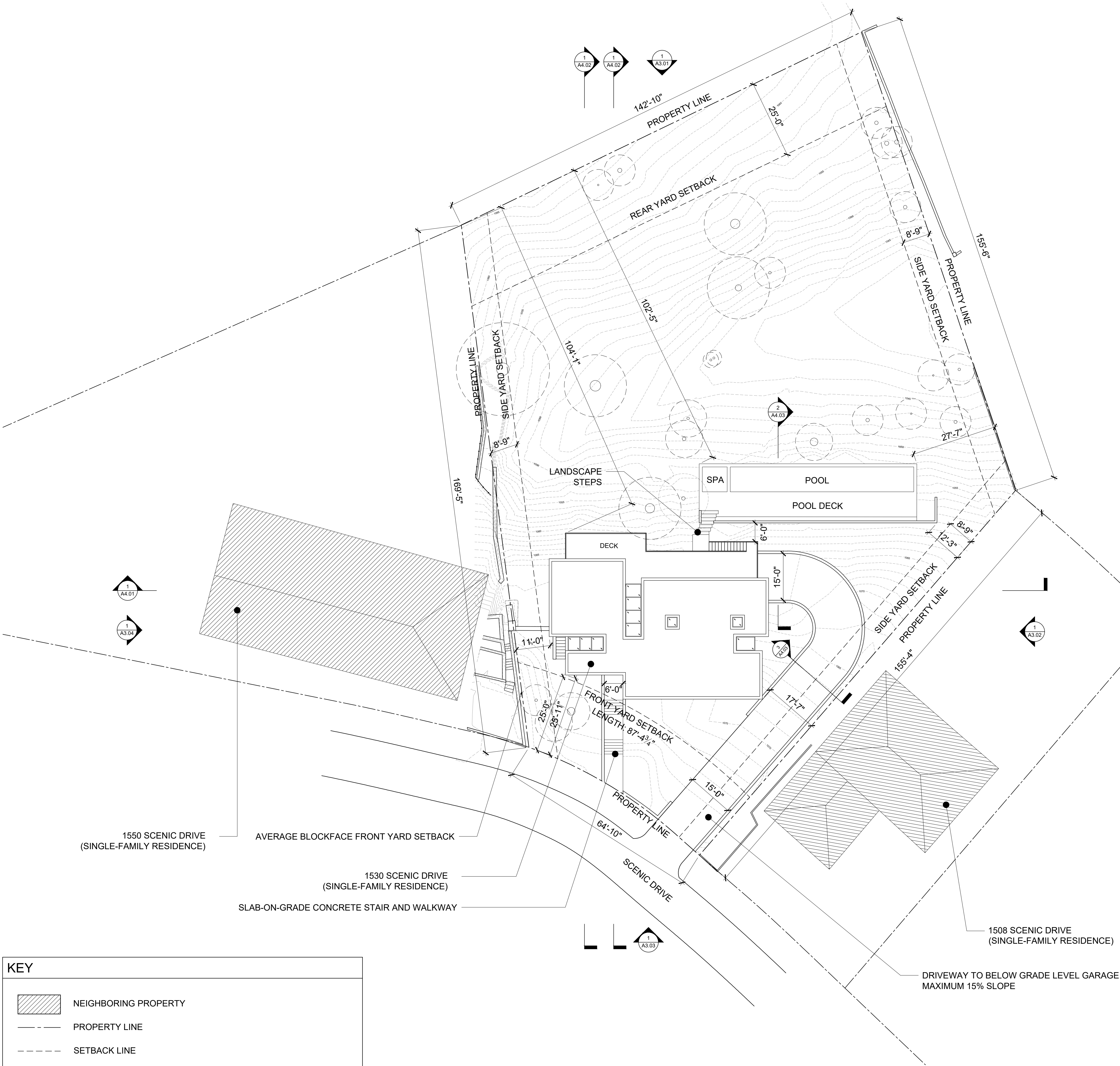


EXHIBIT #1

FRONT YARD PAVING CALCULATION

171 SQ. FT.

865 SQ. FT.

**17.40.160.F.3 Front and corner side setback paving in residential zones.**

Within a residential zoning district, no portion of any front or corner side setback area between the street property line and the building line shall be paved unless paving has been approved by the Zoning Administrator and the paving and site comply with the following requirements:

a. Not more than 30 percent of the front or corner side setback area shall be paved.

LEGEND

FRONT YARD PAVING = 171 SQ. FT. + 865 SQ. FT. = 1,036 SQ. FT.

TOTAL FRONT YARD = 2,759 SQ. FT.  
30% FRONT YARD = 2,759 x 0.30 = 827 SQ. FT. MAX PAVING

FRONT YARD PAVING CALCULATION

1,036 SQ. FT. / 2,759 SQ. FT. = 37.5%

TOLO

TOLO Architecture  
1700 S. Santa Fe Avenue #240  
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TEL 213 278 0678  
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toloarchitecture.com

PROJECT

Ye/Chen Residence

1530 Scenic Drive  
Pasadena, CA 91103

CLIENT

Zuming Chen & Yu Zhao

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**SURVEYOR**  
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PRE PLAN REVIEW SUBMITTAL	02.03.2022
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HILLSIDE DEV. PERMIT RESUB. #2	08.30.2024
HILLSIDE DEV. PERMIT RESUB. #3	12.02.2024
HILLSIDE DEV. PERMIT PLANS	01.29.2025

DRAWING NOTES/KEY PLAN

TITLE

SITE PLAN

SCALE 1/16" = 1'-0"

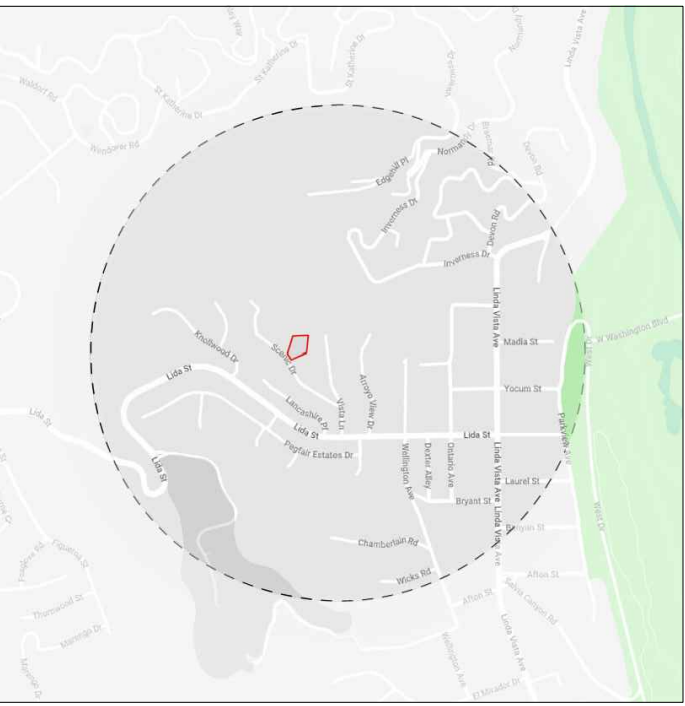
PROJECT NO. 2-2109-299

ISSUE DATE 01.29.2025

FILE NO.

A1.00











NOTES

1. STORY POLES SHALL CONSIST OF WOOD POSTS OR OTHER RIGID MATERIALS AT ALL CORNERS OF THE STRUCTURE AND AT EITHER END OF THE PROPOSED RIDGELINES, WITH A MINIMUM OF TWO FEET OF ORANGE SAFETY FENCING CONNECTING THE TOP OF THE POLES.
2. CONNECTED WITH A TAUT ROPE WITH TRIANGULAR FLAGGING, THE STORY POLES SHALL DEPICT THE FULL EXTENT OF THE VOLUME OF THE PROJECT.
3. THE TOP ONE FOOT OF THE POSTS SHALL BE PAINTED RED OR ORANGE TO DEMARCAT E THE HEIGHT OF THE PROPOSED STRUCTURE.
4. THE TEMPORARY SILHOUETTE SHALL BE CONSTRUCTED AT LEAST 14 DAYS PRIOR TO THE PUBLIC HEARING AND REMAIN IN PLACE THROUGHOUT THE REQUIRED NOTICING PERIOD AND THE APPEAL PERIOD. THE ZONING ADMINISTRATOR OR THE DIRECTOR MAY REQUIRE THE SILHOUETTE TO BE CONSTRUCTED MORE THAN 14 DAYS BEFORE THE HEARING. THE APPLICANT SHALL NOT CONSTRUCT THE TEMPORARY SILHOUETTE UNTIL INSTRUCTED TO DO SO.
5. THE ZONING ADMINISTRATOR OR THE DIRECTOR MAY MODIFY THESE STANDARDS AS NEEDED.
6. STORY POLES REPRESENTING THE REAR DECK (STORY POLES #13, #14, #15, #16, #17, #18) TO BE CONNECTED WITH STORY POLE STRING

KEY

DECK AREA

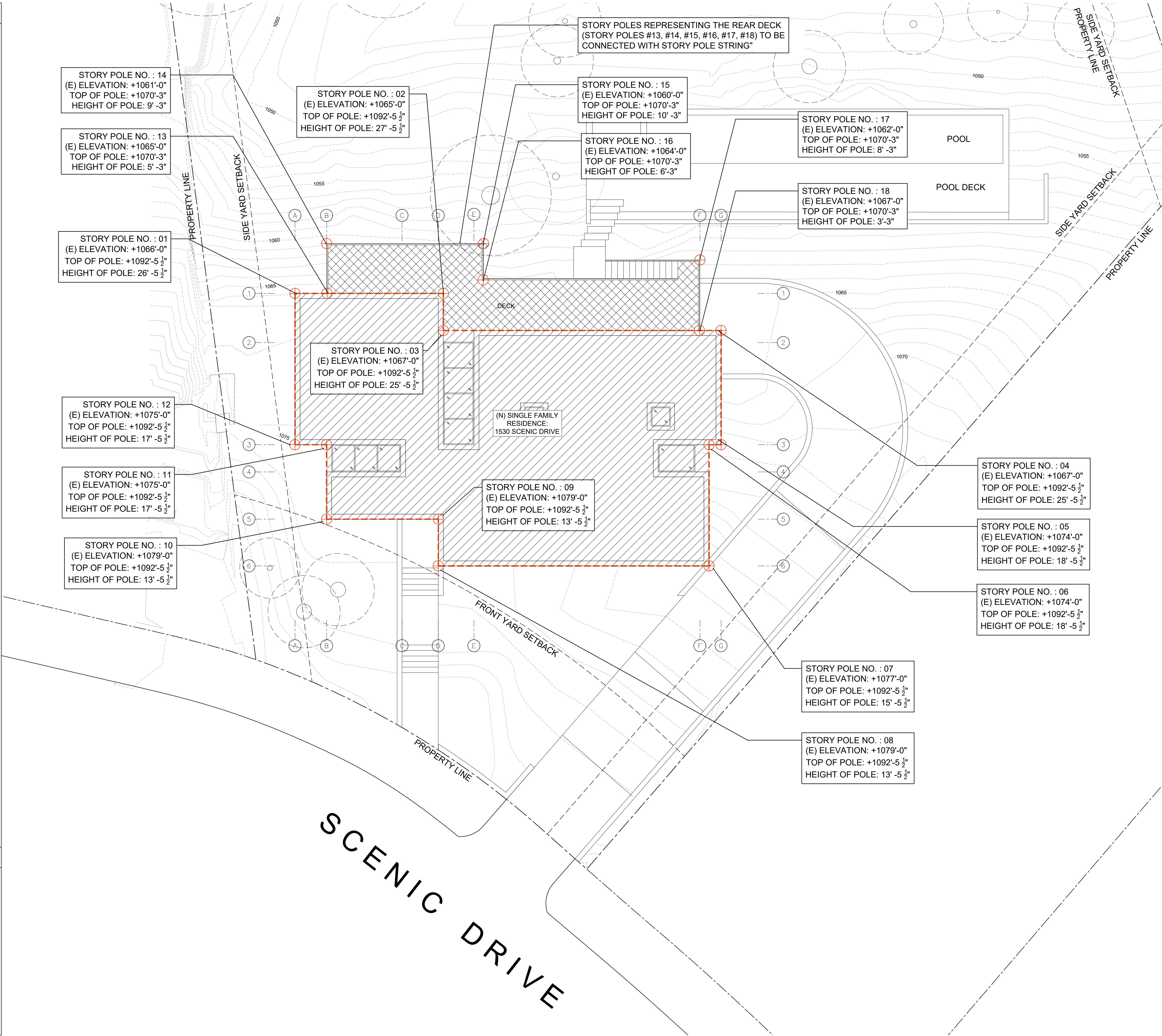
STORY POLE

STORY POLE STRING

ROOF AREA

PROPERTY LINE

SETBACK LINE



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DRAWING NOTES/KEY PLAN

TITLE

STORY POLE PLAN

SCALE

$\frac{1}{16}'' = 1'-0''$

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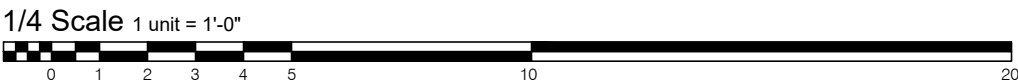
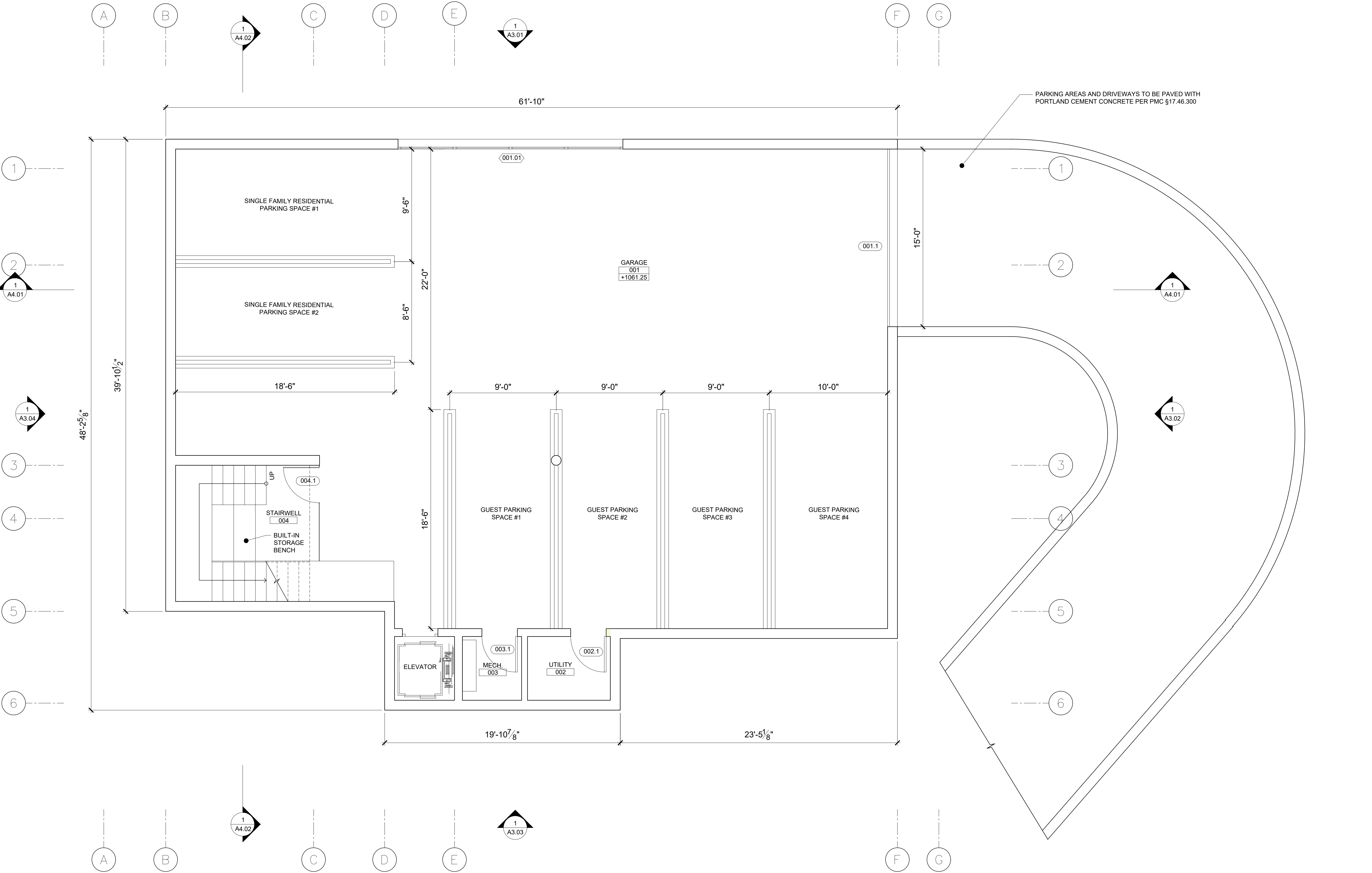
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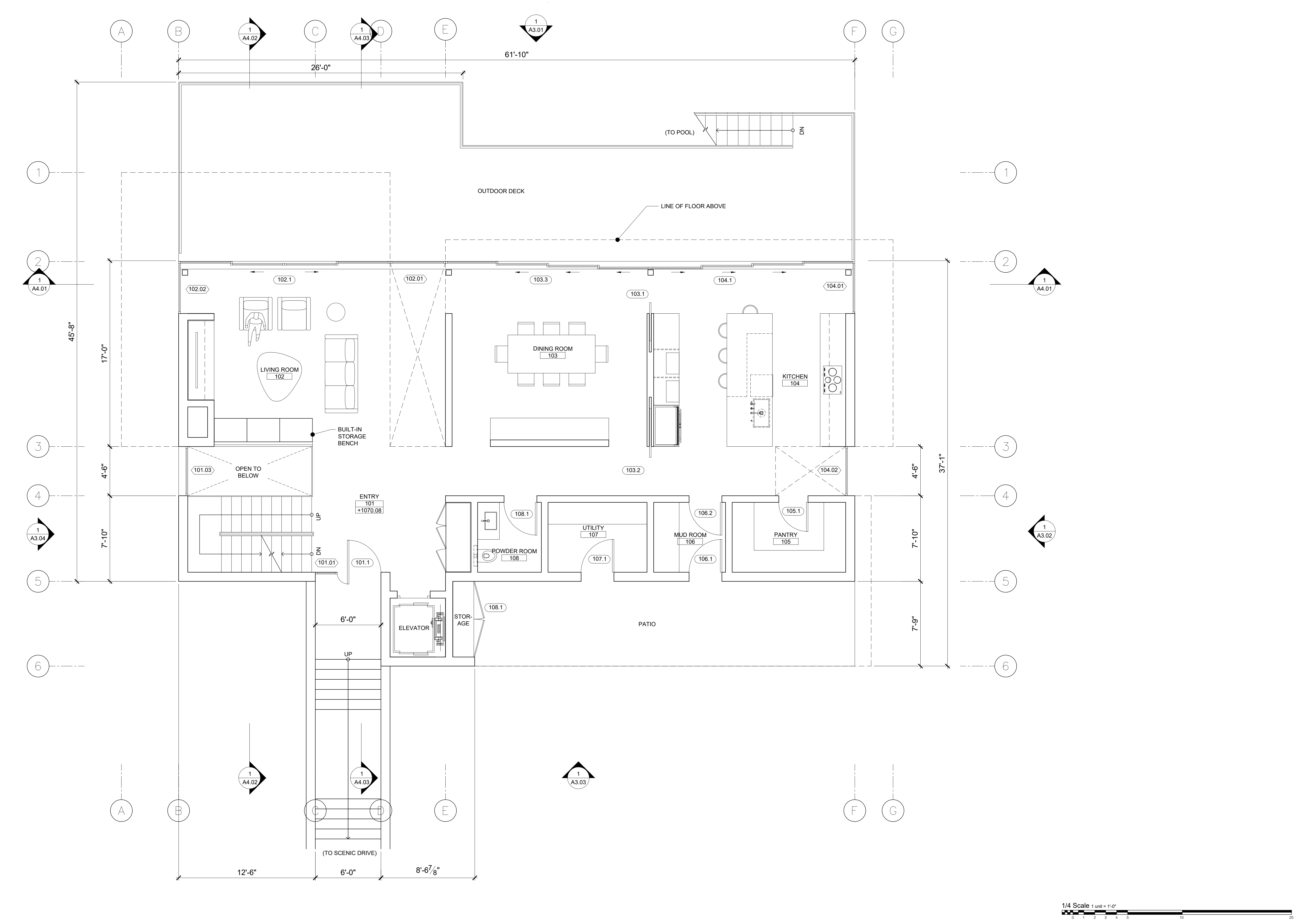
DRAWING NOTES/KEY PLAN

TITLE	
BELOW GRADE LEVEL FLOOR PLAN	
SCALE	1/4" = 1'-0"
PROJECT NO.	2-2109-299
ISSUE DATE	01.29.2025
FILE NO.	

A2.00







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DRAWING NOTES/KEY PLAN

TITLE

FIRST LEVEL FLOOR PLAN

SCALE

1/4" = 1'-0"

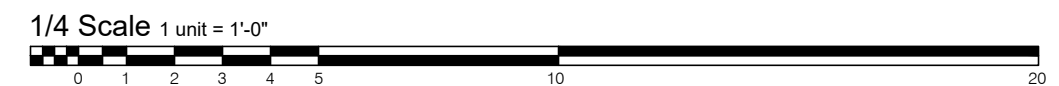
PROJECT NO. 2-2109-299

ISSUE DATE 01.29.2025

FILE NO.

A2.01









## A2.03



## ZONING REQUIREMENTS

MAXIMUM PERMITTED BUILDING HEIGHT: 35' - MEASURED FROM LOWEST POINT OF GRADE  
28' - IMAGINARY PLANE PARALLEL TO GRADE

PROPOSED BUILDING HEIGHT: ~30'-1"

BUILDING HEIGHT IS MEASURED FROM THE LOWEST POINT OF GRADE TO THE HIGHEST ROOF PLANE.

REQUIREMENT IS DEMONSTRATED ON ELEVATIONS (SEE A3.01 - A3.04)

## CEILING HEIGHTS

FLOOR TO CEILING HEIGHTS

8'-0"	BELOW GRADE GARAGE TO FIRST LEVEL
10'-4"	FIRST LEVEL TO SECOND LEVEL
9'-4"	SECOND LEVEL TO ROOF LEVEL

## NOTES

PORTIONS OF RESIDENCE OVER 17'-0" IN HEIGHT ARE COUNTED TWICE PER SECTION 17.80.020 PMC. SEE FLOOR AREA DIAGRAMS ON SHEET G0.06

<div> <div>T</div> <div>O</div> <div>L</div> <div>O</div> </div>	TOLO Architecture
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	<a href="http://toloarchitecture.com">toloarchitecture.com</a>

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CLIENT
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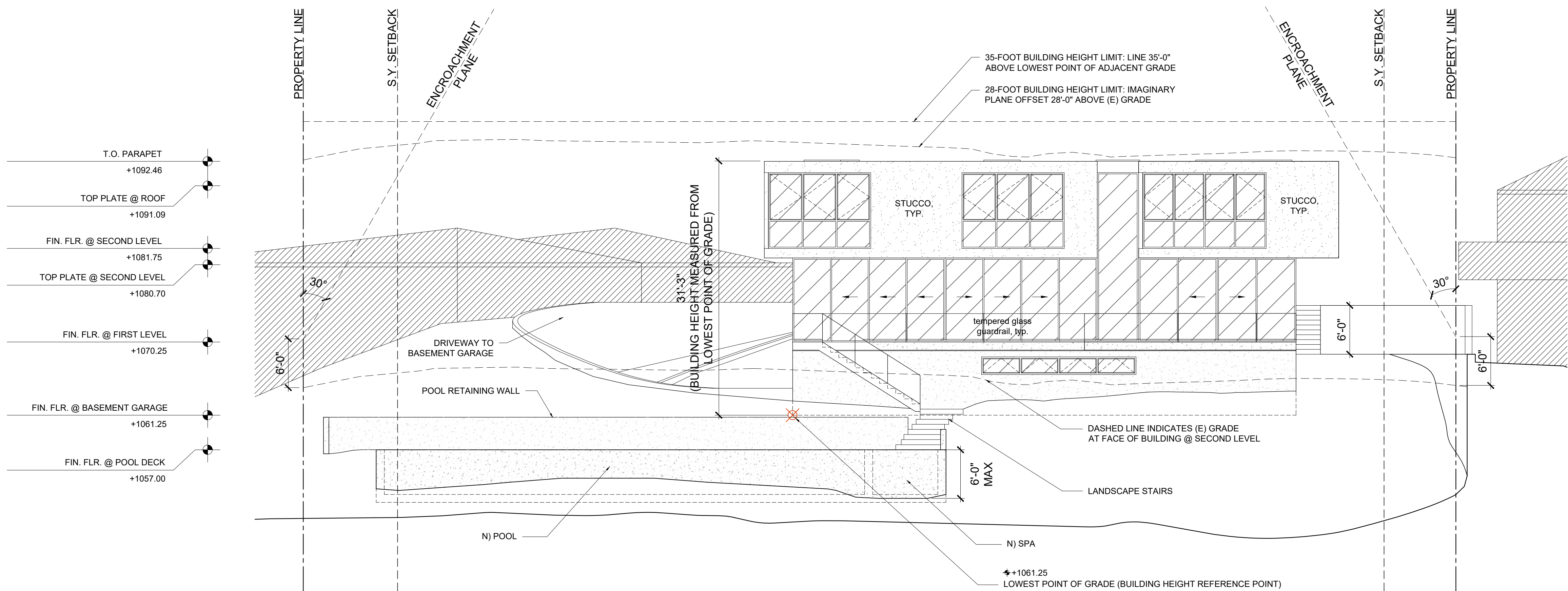
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DRAWING NOTES/KEY PLAN	

TITLE	
NORTH ELEVATION	
	SCALE $\frac{1}{8}" = 1'-0"$
	PROJECT NO. 2-2109-299
	ISSUE DATE 01.29.2025
	FILE NO.
A3.01	





ZONING REQUIREMENTS

MAXIMUM PERMITTED BUILDING HEIGHT: 35' - MEASURED FROM LOWEST POINT OF GRADE  
28' - IMAGINARY PLANE PARALLEL TO GRADE

PROPOSED BUILDING HEIGHT: ~30'-1"  
BUILDING HEIGHT IS MEASURED FROM THE LOWEST POINT OF GRADE TO THE HIGHEST ROOF PLANE.

REQUIREMENT IS DEMONSTRATED ON ELEVATIONS (SEE A3.01 - A3.04)

CEILING HEIGHTS

FLOOR TO CEILING HEIGHTS  
8'-0" BELOW GRADE GARAGE TO FIRST LEVEL  
10'-4" FIRST LEVEL TO SECOND LEVEL  
9'-4" SECOND LEVEL TO ROOF LEVEL

NOTES

PORTIONS OF RESIDENCE OVER 17'-0" IN HEIGHT ARE COUNTED TWICE PER SECTION 17.80.020 PMC. SEE FLOOR AREA DIAGRAMS ON SHEET G0.06

KEY

NEIGHBORING PROPERTY

BUILDING HEIGHT PLANE

T  
O  
L  
O

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DRAWING NOTES/KEY PLAN

TITLE

EAST ELEVATION

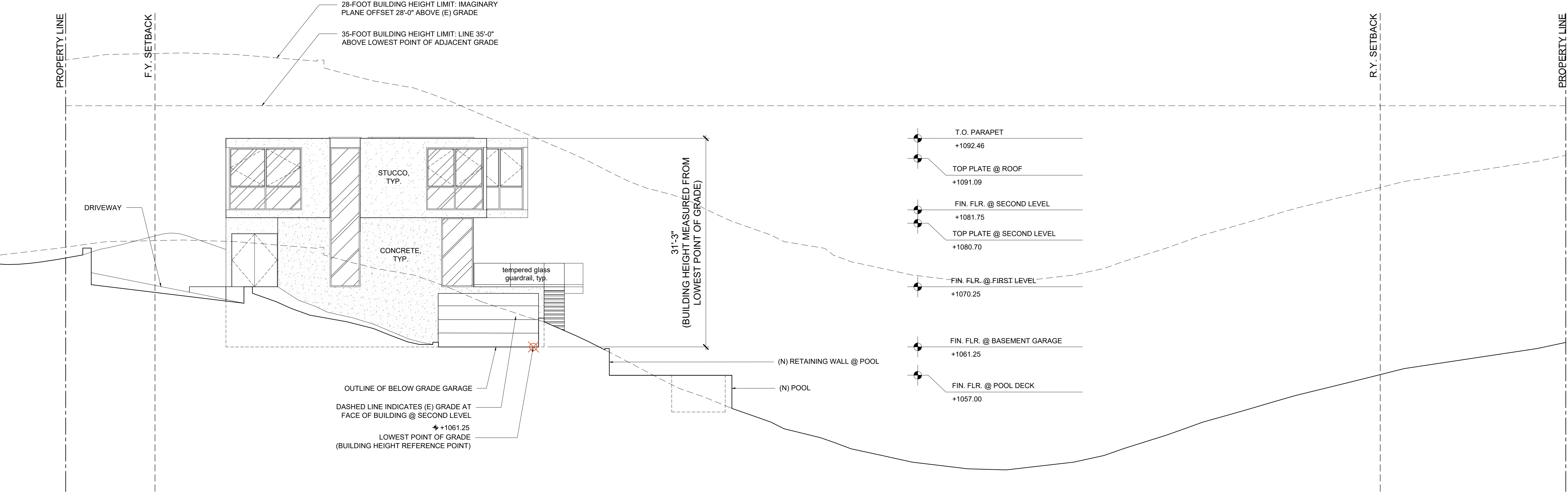
SCALE 1/8" = 1'-0"

PROJECT NO. 2-2109-299

ISSUE DATE 01.29.2025

FILE NO.

A3.02





ZONING REQUIREMENTS

MAXIMUM PERMITTED BUILDING HEIGHT: 35' - MEASURED FROM LOWEST POINT OF GRADE  
28' - IMAGINARY PLANE PARALLEL TO GRADE

PROPOSED BUILDING HEIGHT: ~30'-1"  
BUILDING HEIGHT IS MEASURED FROM THE LOWEST POINT OF GRADE TO THE HIGHEST ROOF PLANE.

REQUIREMENT IS DEMONSTRATED ON ELEVATIONS (SEE A3.01 - A3.04)

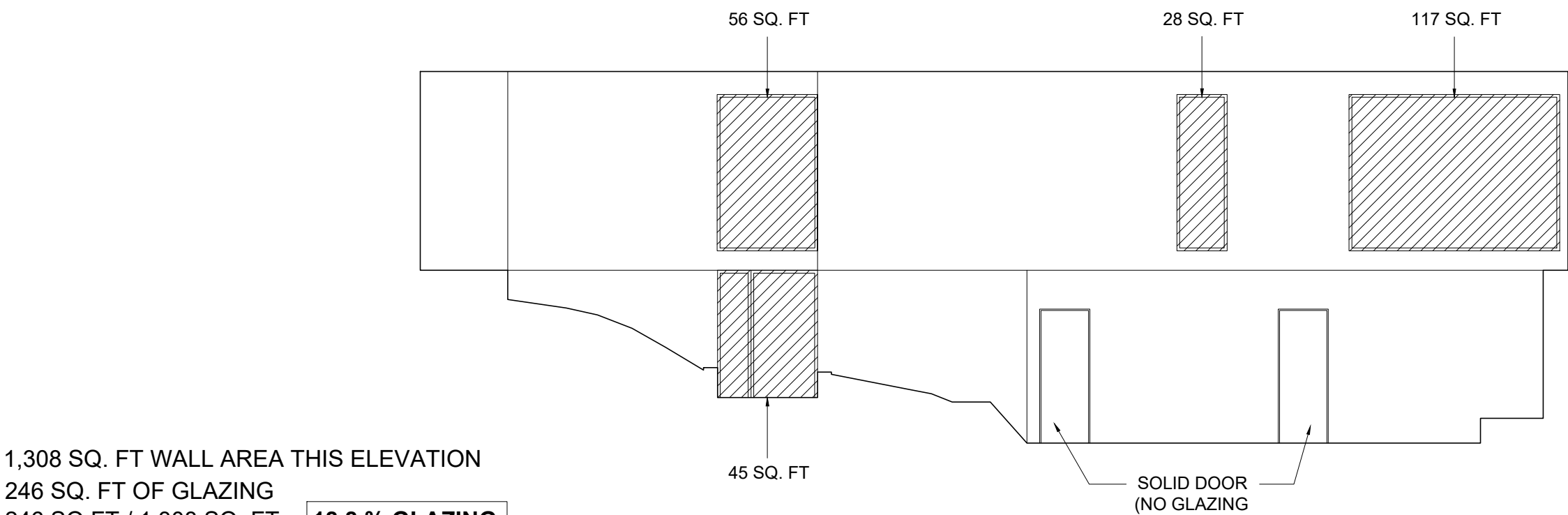
CEILING HEIGHTS

FLOOR TO CEILING HEIGHTS  
8'-0" BELOW GRADE GARAGE TO FIRST LEVEL  
10'-4" FIRST LEVEL TO SECOND LEVEL  
9'-4" SECOND LEVEL TO ROOF LEVEL

NOTES

PORTIONS OF RESIDENCE OVER 17'-0" IN HEIGHT ARE COUNTED TWICE PER SECTION 17.80.020 PMC. SEE FLOOR AREA DIAGRAMS ON SHEET G0.06

DIAGRAM OF GLAZING PERCENTAGE FOR SOUTH ELEVATIONS



\* NOTE: NO MIRROR OR HIGHLY REFLECTIVE GLASS

KEY

NEIGHBORING PROPERTY  
BUILDING HEIGHT PLANE

T  
O  
L  
O

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DRAWING NOTES/KEY PLAN

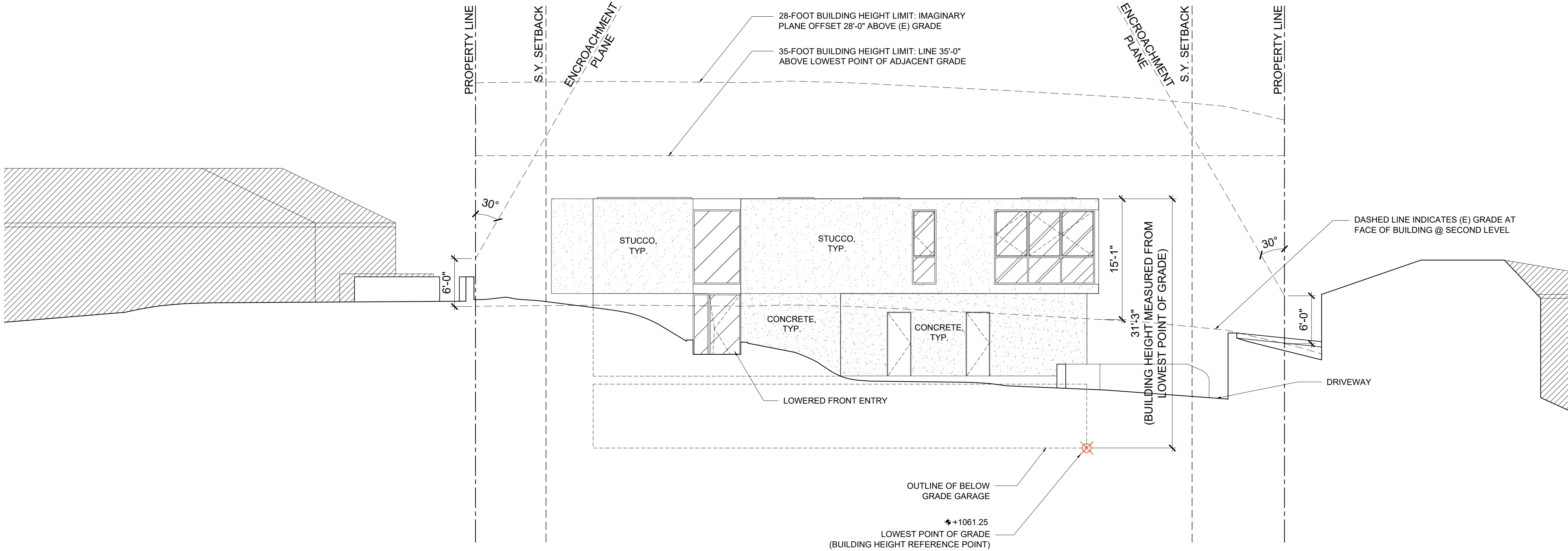
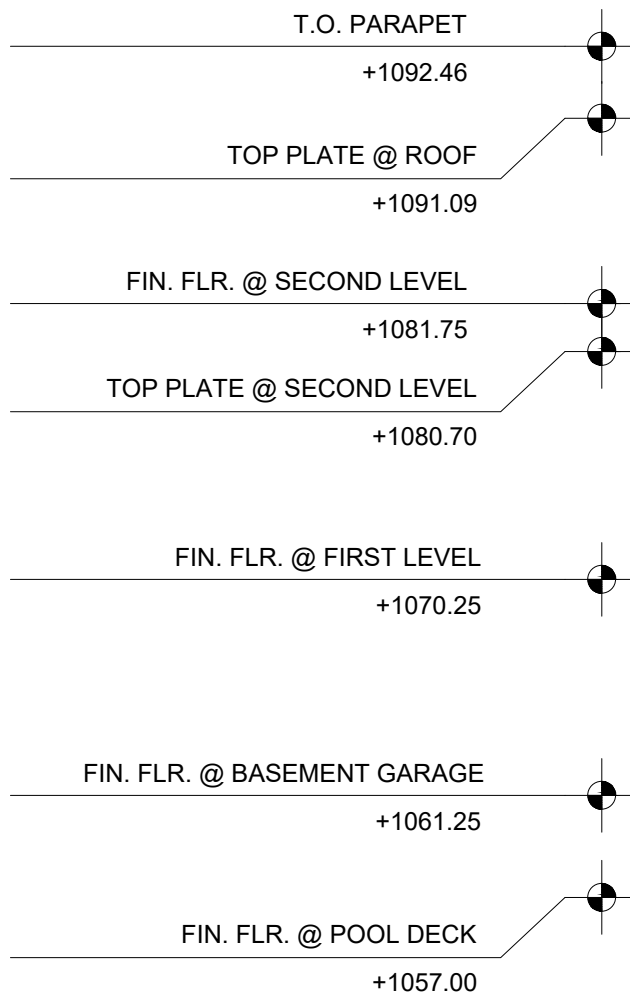
TITLE

SOUTH ELEVATION

SCALE  
PROJECT NO. 2-2109-299  
ISSUE DATE 01.29.2025  
FILE NO.

1/8" = 1'-0"

A3.03





## ZONING REQUIREMENTS

MAXIMUM PERMITTED BUILDING HEIGHT: 35' - MEASURED FROM LOWEST POINT OF GRADE  
28' - IMAGINARY PLANE PARALLEL TO GRADE

PROPOSED BUILDING HEIGHT: ~30'-1"

BUILDING HEIGHT IS MEASURED FROM THE LOWEST POINT OF GRADE TO THE HIGHEST ROOF PLANE

REQUIREMENT IS DEMONSTRATED ON ELEVATIONS (SEE A3.01 - A3.04)

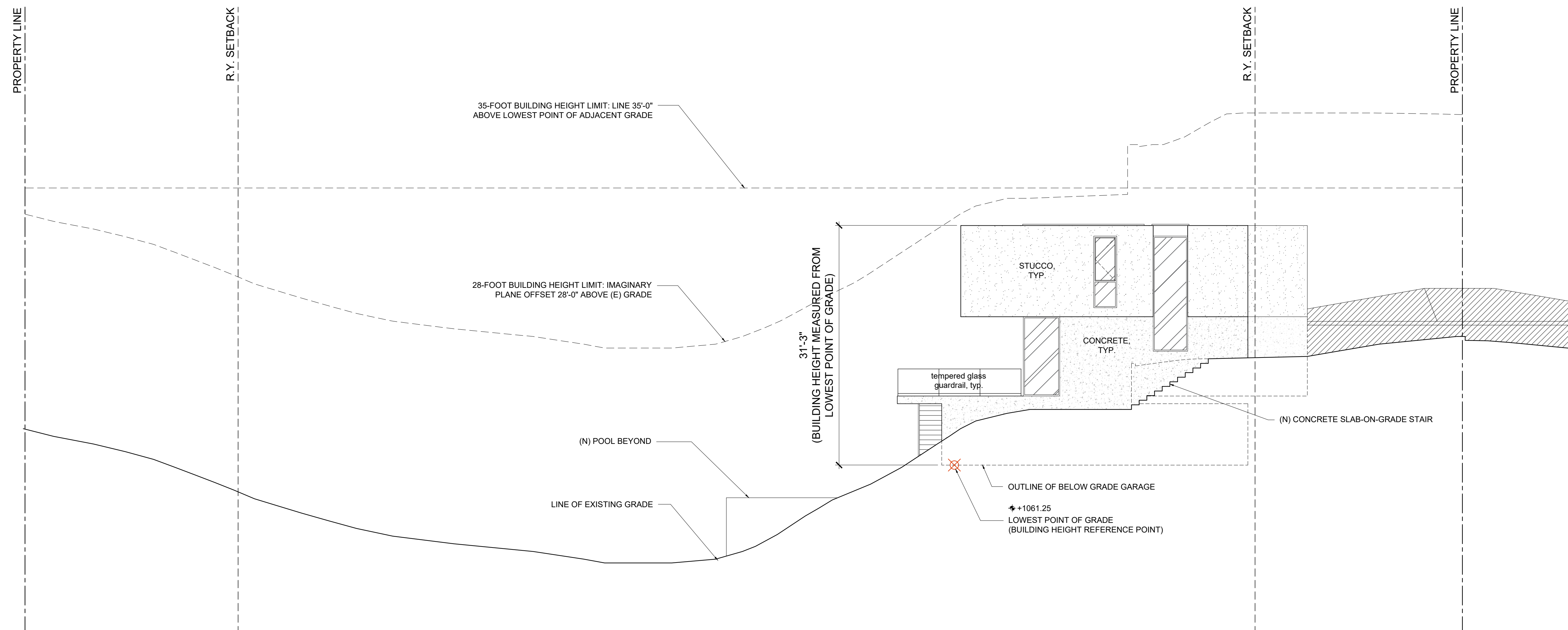
## CEILING HEIGHTS

FLOOR TO CEILING HEIGHTS

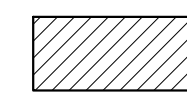
8'-0"	BELOW GRADE GARAGE TO FIRST LEVEL
10'-4"	FIRST LEVEL TO SECOND LEVEL
9'-4"	SECOND LEVEL TO ROOF LEVEL

## NOTES

PORTIONS OF RESIDENCE OVER 17'-0" IN HEIGHT ARE  
COUNTED TWICE PER SECTION 17.80.020 PMC. SEE FLOOR  
AREA DIAGRAMS ON SHEET G0.06



KEY



NEIGHBORING PROPERTY

\_\_\_\_\_

BUILDING HEIGHT PLANE

T O  
L O

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HILLSIDE DEV. PERMIT PLANS	01.29.2025

DRAWING NOTES/KEY PLAN

TITLE

## WEST ELEVATION

SCALE	$\frac{1}{8}" = 1'-0"$
PROJECT NO.	2-2109-299
ISSUE DATE	01.29.2025
FILE NO.	

### A3.04





LIMESTONE CEMENT TROWEL PATTERN



LIMESTONE CEMENT TEXTURE: CLOSE-UP



2



3



4



5



6



7

MATERIAL / PRODUCT:  
COLOR / FINISH:

NATURAL MINERAL LIMESTONE CEMENT  
GREEN/BROWN COLOR, APPLIED W/ TROWEL PATTERN  
AND ROUGH, NATURAL TEXTURE

MATERIAL / PRODUCT:  
COLOR / FINISH:

CONCRETE  
NATURAL CONCRETE  
(WARM, SANDY TONE)

MATERIAL / PRODUCT:  
COLOR / FINISH:

METAL FRAME  
WINDOW  
BRONZE

MATERIAL / PRODUCT:  
COLOR / FINISH:

GLASS GUARDRAIL  
TRANSLUCENT GLASS

MATERIAL / PRODUCT:  
COLOR / FINISH:

HOLLOW CORE METAL  
EXTERIOR DOOR  
BRONZE

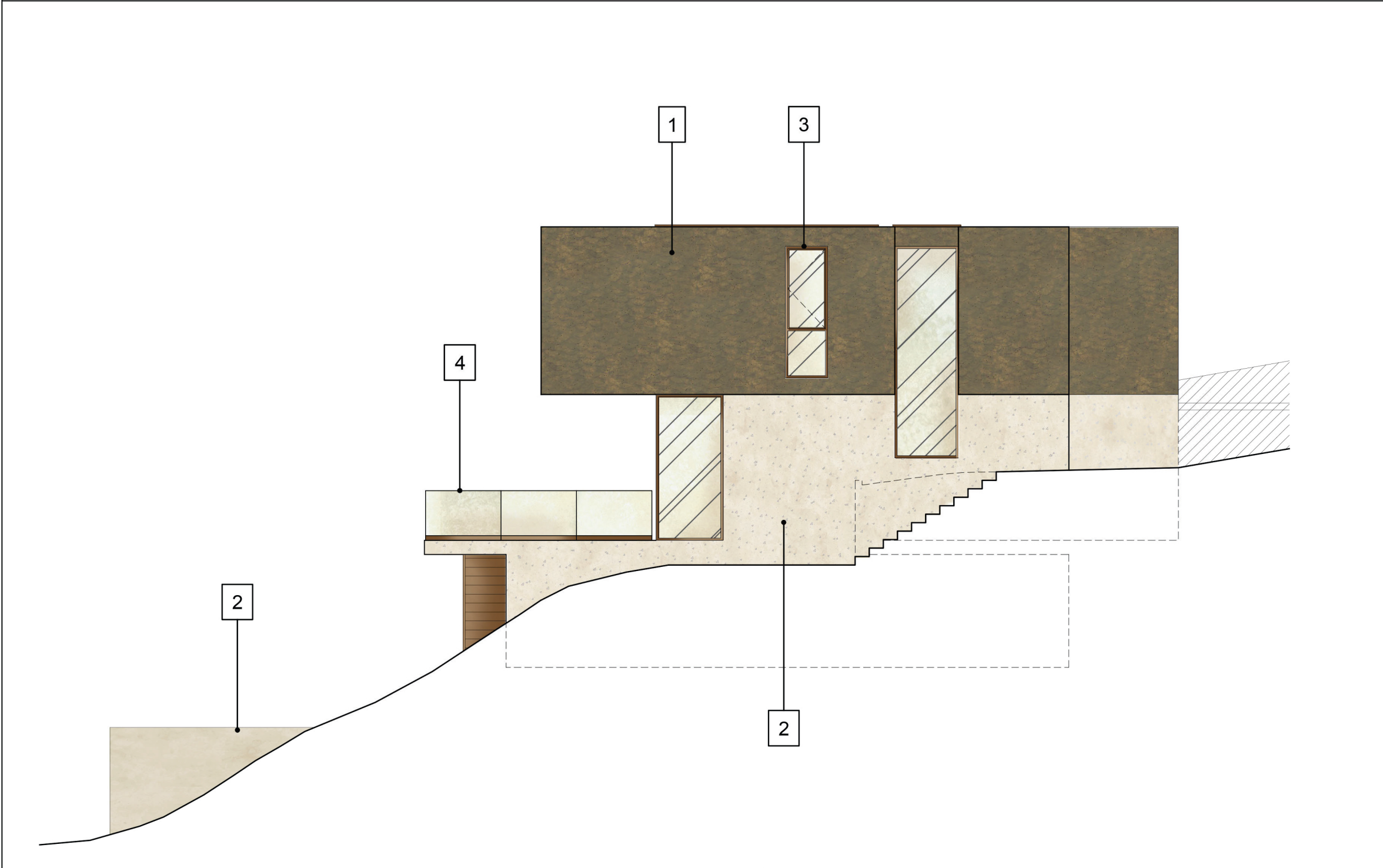
MATERIAL / PRODUCT:  
COLOR / FINISH:

FLUSH PANEL METAL  
GARAGE DOOR  
BRONZE

MATERIAL / PRODUCT:  
COLOR / FINISH:

METAL FRAME  
SLIDING PATIO DOOR  
BRONZE FRAME

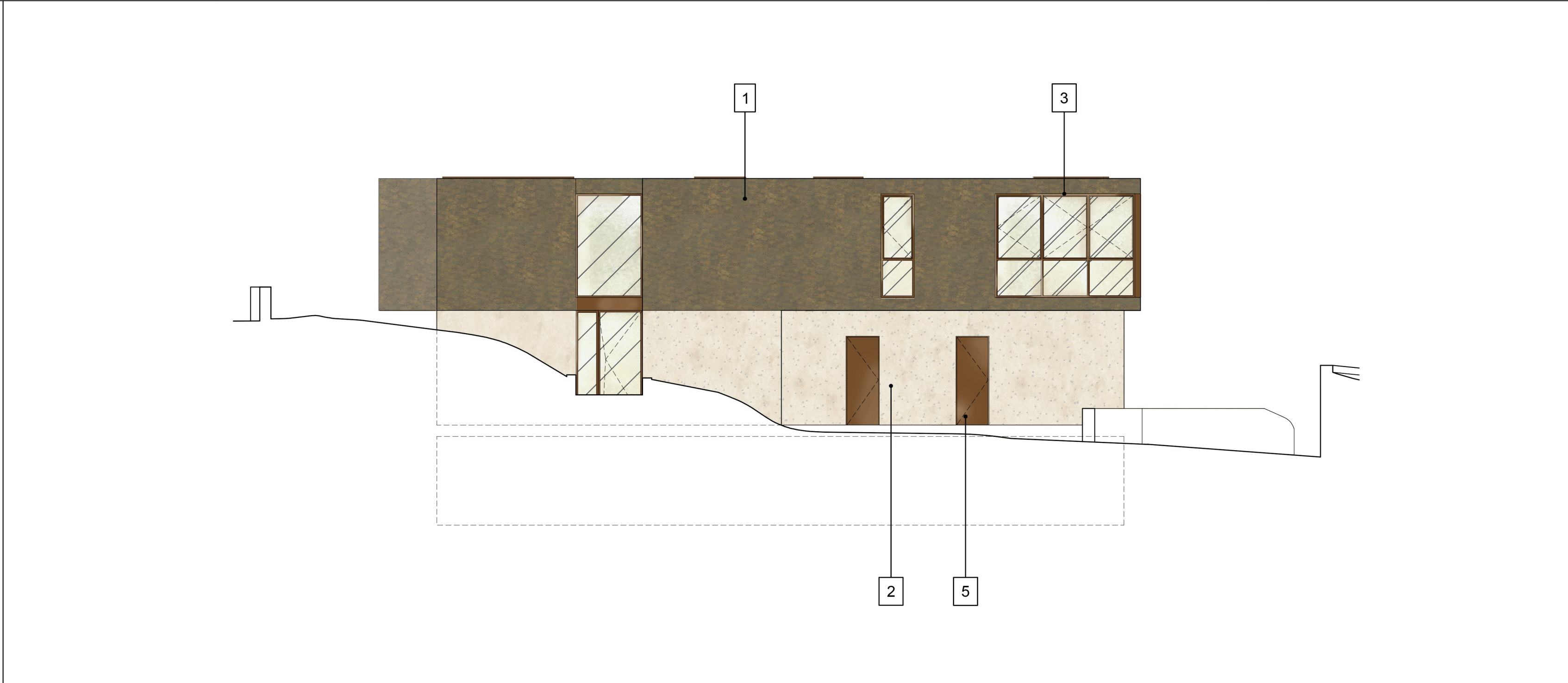
PROPOSED COLOR & MATERIAL PALETTE LEGEND



4

WEST ELEVATION

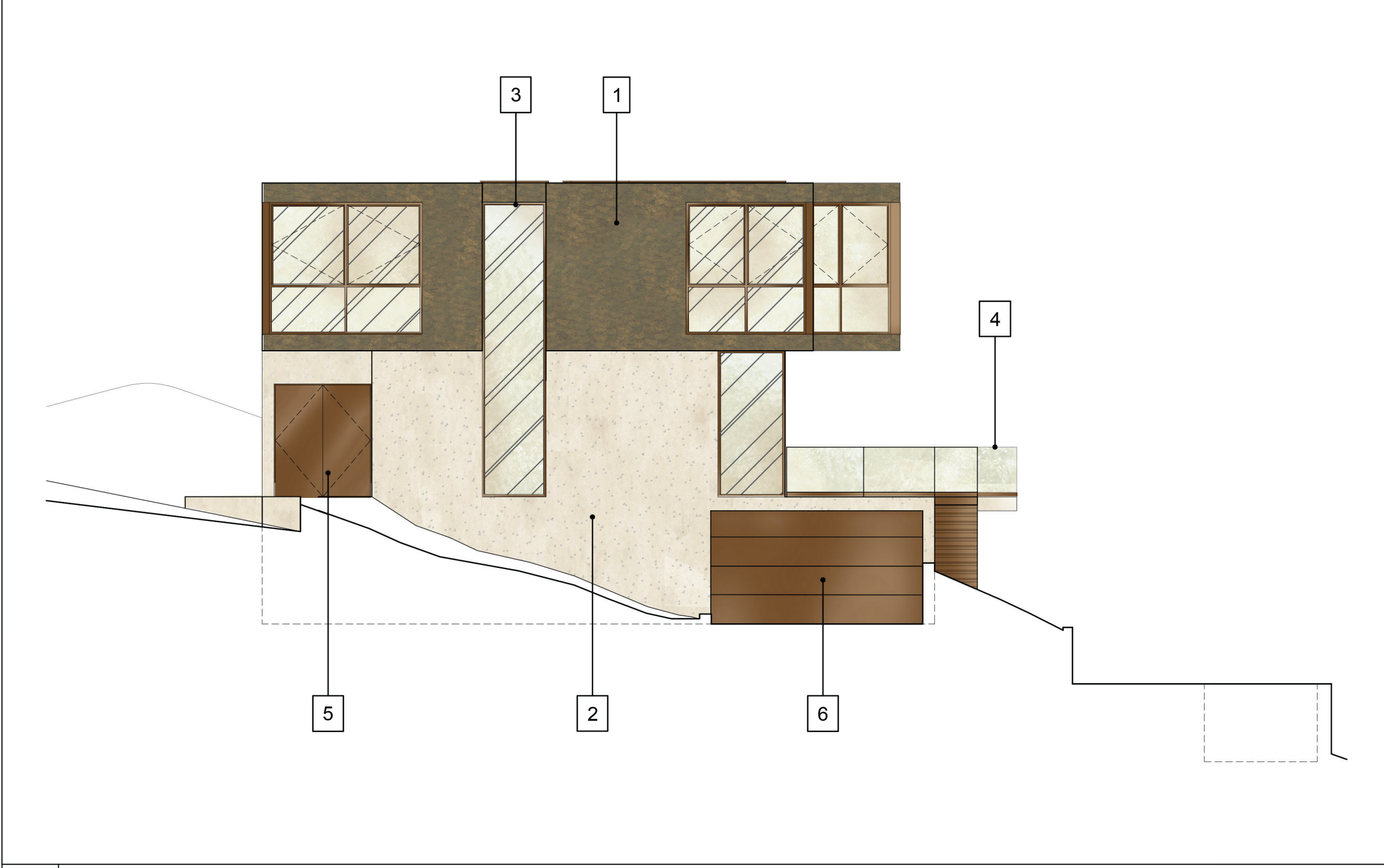
SCALE: 1/8" = 1'-0"



2

SOUTH ELEVATION

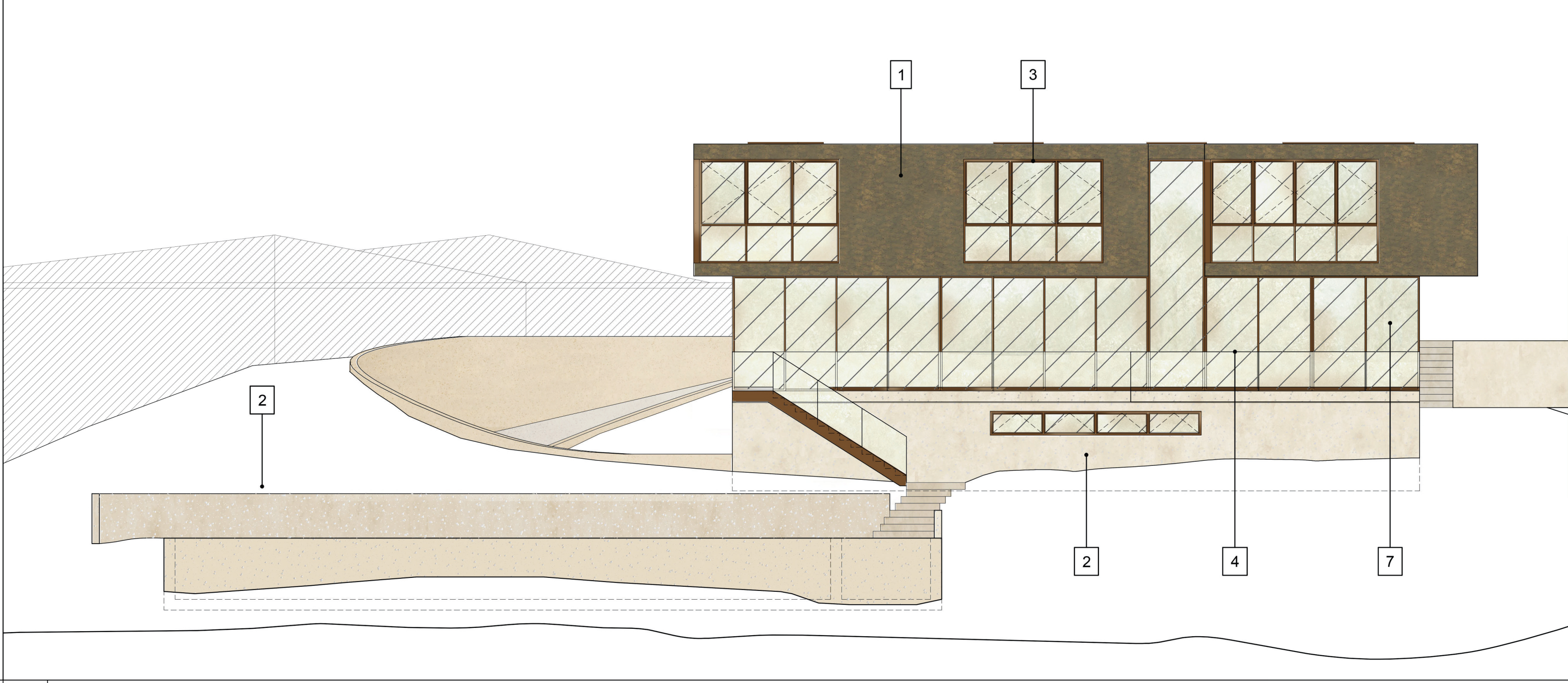
SCALE: 1/8" = 1'-0"



3

EAST ELEVATION

SCALE: 1/8" = 1'-0"



1

NORTH ELEVATION

SCALE: 1/8" = 1'-0"

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DRAWING NOTES/KEY PLAN

TITLE

COLOR & MATERIALS BOARD

SCALE

PROJECT NO.

ISSUE DATE

FILE NO.

1/4" = 1'-0"

2-2109-299

01.29.2025

A3.05



ZONING REQUIREMENTS

MAXIMUM PERMITTED BUILDING HEIGHT: 35'- MEASURED FROM LOWEST POINT OF GRADE  
28' - IMAGINARY PLANE PARALLEL TO GRADE

PROPOSED BUILDING HEIGHT: ~30'-1"  
BUILDING HEIGHT IS MEASURED FROM THE LOWEST POINT OF GRADE TO THE HIGHEST ROOF PLANE.

REQUIREMENT IS DEMONSTRATED ON ELEVATIONS (SEE A3.01 - A3.04)

CEILING HEIGHTS

FLOOR TO CEILING HEIGHTS  
8'-0" BELOW GRADE GARAGE TO FIRST LEVEL  
10'-4" FIRST LEVEL TO SECOND LEVEL  
9'-4" SECOND LEVEL TO ROOF LEVEL

NOTES

PORTIONS OF RESIDENCE OVER 17'-0" IN HEIGHT ARE COUNTED TWICE PER SECTION 17.80.020 PMC. SEE FLOOR AREA DIAGRAMS ON SHEET G0.06

KEY

NEIGHBORING PROPERTY

BUILDING HEIGHT PLANE

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HILLSIDE DEV. PERMIT PLANS	01.29.2025

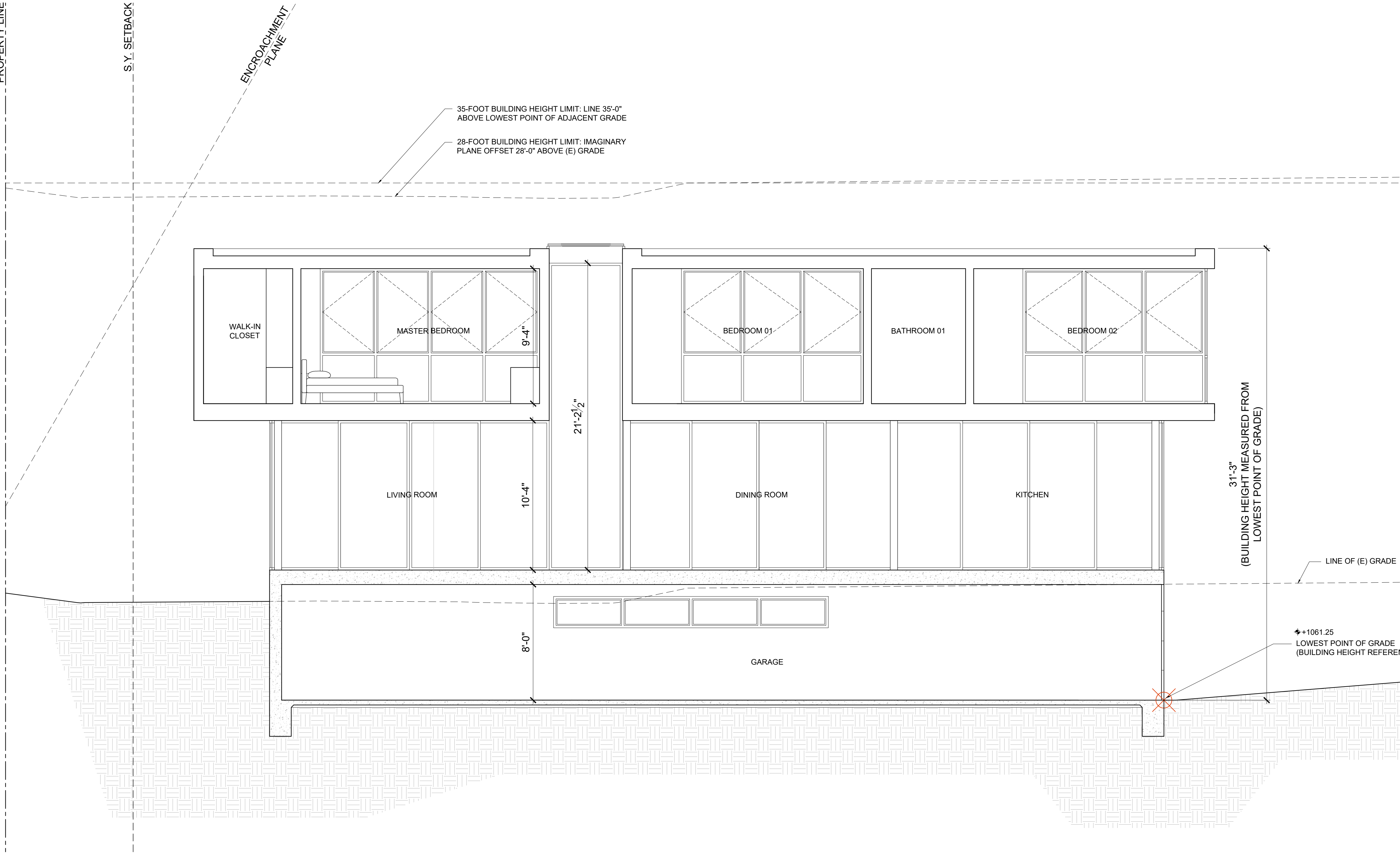
DRAWING NOTES/KEY PLAN

TITLE

SECTION A

SCALE	1/4" = 1'-0"
PROJECT NO.	2-2109-299
ISSUE DATE	01.29.2025
FILE NO.	

A4.01





ZONING REQUIREMENTS

MAXIMUM PERMITTED BUILDING HEIGHT: 35' - MEASURED FROM LOWEST POINT OF GRADE  
28' - IMAGINARY PLANE PARALLEL TO GRADE

PROPOSED BUILDING HEIGHT: ~30'-1"  
BUILDING HEIGHT IS MEASURED FROM THE LOWEST POINT OF GRADE TO THE HIGHEST ROOF PLANE.

REQUIREMENT IS DEMONSTRATED ON ELEVATIONS (SEE A3.01 - A3.04)

CEILING HEIGHTS

FLOOR TO CEILING HEIGHTS  
8'-0" BELOW GRADE GARAGE TO FIRST LEVEL  
10'-4" FIRST LEVEL TO SECOND LEVEL  
9'-4" SECOND LEVEL TO ROOF LEVEL

NOTES

PORTIONS OF RESIDENCE OVER 17'-0" IN HEIGHT ARE COUNTED TWICE PER SECTION 17.80.020 PMC. SEE FLOOR AREA DIAGRAMS ON SHEET G0.06

KEY

NEIGHBORING PROPERTY

BUILDING HEIGHT PLANE

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DRAWING NOTES/KEY PLAN

TITLE

SECTION B

SCALE

PROJECT NO.

ISSUE DATE

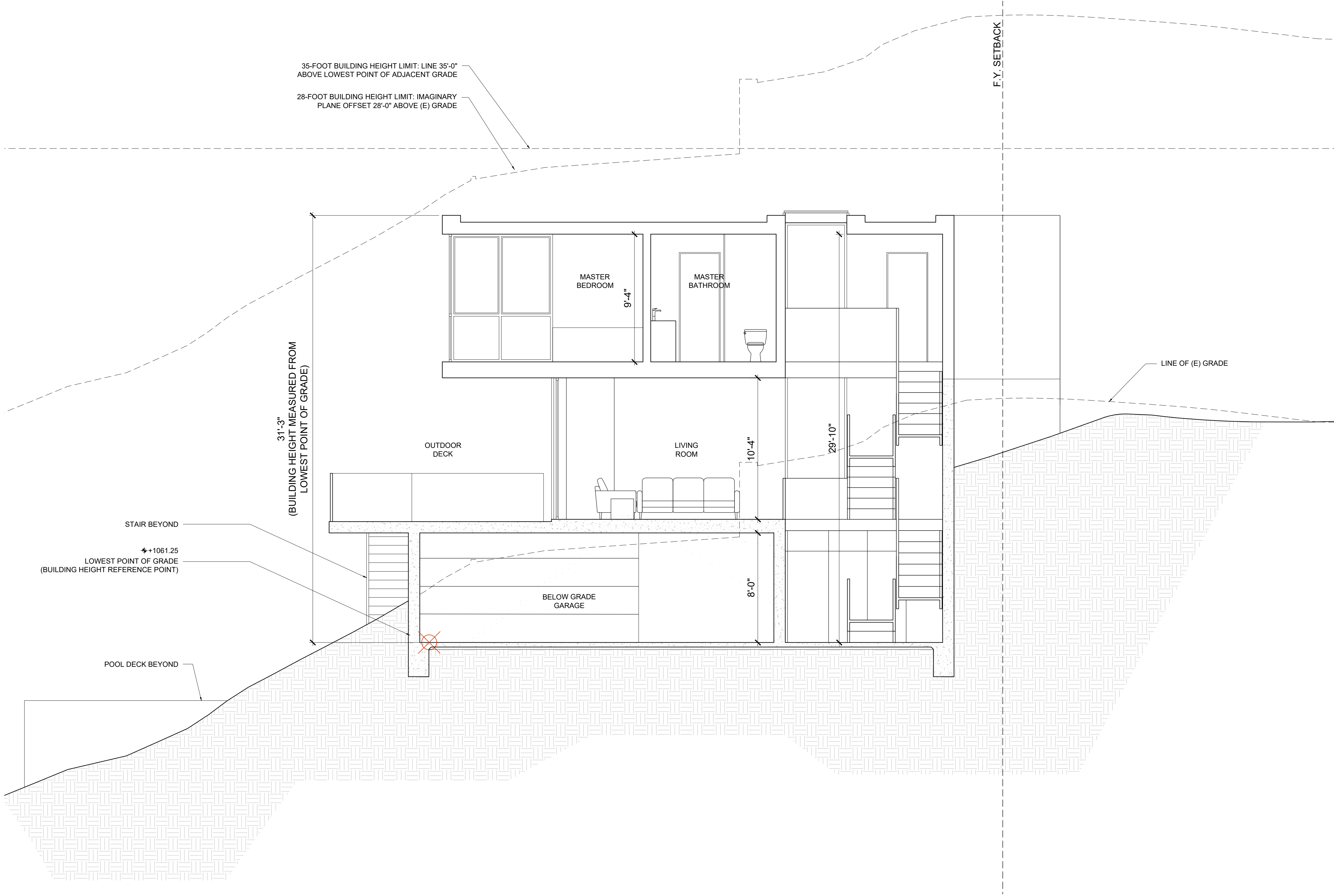
FILE NO.

1/4" = 1'-0"

2-2109-299

01.29.2025

A4.02





MAXIMUM PERMITTED BUILDING HEIGHT: 35' - MEASURED FROM LOWEST POINT OF GRADE  
28' - IMAGINARY PLANE PARALLEL TO GRADE

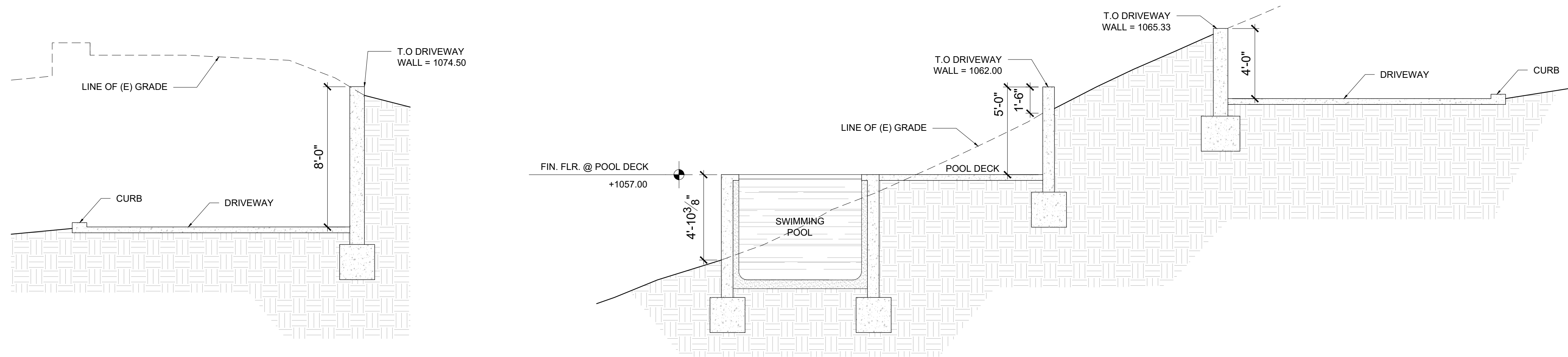
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BUILDING HEIGHT IS MEASURED FROM THE LOWEST POINT OF GRADE TO THE HIGHEST  
ROOF PLANE.

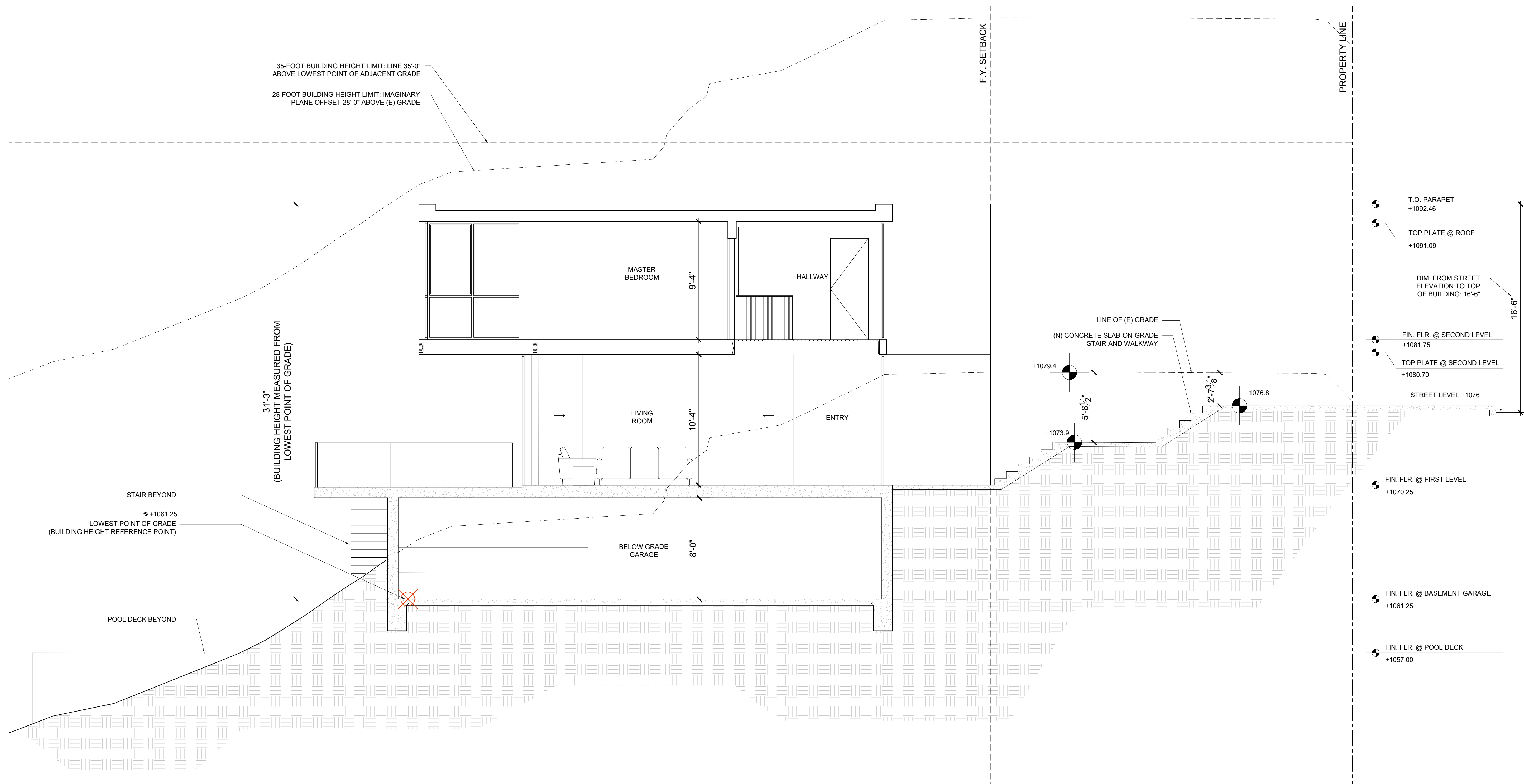
REQUIREMENT IS DEMONSTRATED ON ELEVATIONS (SEE A3.01 - A3.04)

FLOOR TO CEILING HEIGHTS	
8'-0"	BELOW GRADE GARAGE TO FIRST LEVEL
10'-4"	FIRST LEVEL TO SECOND LEVEL
9'-4"	SECOND LEVEL TO ROOF LEVEL

PORTIONS OF RESIDENCE OVER 17'-0" IN HEIGHT ARE COUNTED TWICE PER SECTION 17.80.020  
PMC. SEE FLOOR AREA DIAGRAMS ON SHEET G0.06



2 | SECTION D



1	SECTION C
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HILLSIDE DEV. PERMIT RESUB. #3	10.24.2024

DRAWING NOTES/KEY PLAN

[illegible]

## A4.03



<div> <div>T</div> <div>O</div> <div>L</div> <div>O</div> </div>	TOLO Architecture
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DRAWING NOTES/KEY PLAN

TITLE	
RENDERED VIEW: SOUTH PERSPECTIVE	
	SCALE
	N.T.S.
	PROJECT NO. 2-2109-299
	ISSUE DATE 01.29.2025
	FILE NO.
	A9.01



1	RENDERED VIEW: SOUTH PERSPECTIVE (VIEW FROM SCENIC DRIVE)
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DRAWING NOTES/KEY PLAN

TITLE	
RENDERED VIEW: EAST PERSPECTIVE	
	SCALE N.T.S.
	PROJECT NO. 2-2109-299
	ISSUE DATE 01.29.2025
	FILE NO.
A9.02	



