

Introduced by: \_\_\_\_\_

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE OF THE CITY OF PASADENA AMENDING VARIOUS SECTIONS OF TITLE 17 (ZONING CODE) OF THE CITY OF PASADENA MUNICIPAL CODE TO IMPLEMENT THE LAMANDA PARK SPECIFIC PLAN, AMENDING THE OFFICIAL ZONING MAP ESTABLISHED BY THE ZONING CODE (CHAPTER 17.20, SECTION 17.20.020) TO ESTABLISH THE BOUNDARIES OF THE LAMANDA PARK SPECIFIC PLAN, AND MAKING TECHNICAL CHANGES TO THE LINCOLN AVENUE, EAST COLORADO, SOUTH FAIR OAKS, AND CENTRAL DISTRICT SPECIFIC PLANS FOR INTERNAL CONSISTENCY.**

The People of the City of Pasadena ordain as follows:

**SECTION 1.** This ordinance, due to its length and corresponding cost of publication, will be published by title and summary as permitted in Section 508 of the Pasadena City Charter. The approved summary of this ordinance is as follows:

**“Summary**

This proposed ordinance will amend various sections of Title 17 (Zoning Code) of the City of Pasadena Municipal Code to implement the Lamanda Park Specific Plan, as shown in Exhibit 1, attached to the full text of the ordinance and on file in the City Clerk’s Office. This proposed ordinance further amends the official Zoning Map of the City of Pasadena to implement the Lamanda Park Specific Plan, including establishing the boundaries of the Lamanda Park Specific Plan, and reclassifying parcels located within the Lamanda Park Specific Plan area. The Lamanda Park Specific Plan boundary and zoning designations within the Lamanda Park Specific Plan area are shown as Exhibit 2, attached to the full text of the ordinance and on file in the City Clerk’s Office. Finally, the proposed ordinance recodifies the East Colorado Specific Plan 2003, and makes other technical changes to the Lincoln Avenue, East Colorado 2022, South Fair

Oaks, and Central District Specific Plans for clarity and internal consistency.

Ordinance No. \_\_\_\_\_ shall take effect 30 days from its publication.”

**SECTION 2.** Pasadena Municipal Code, Title 17, Article 3, Chapter 17.38 (East Colorado Specific Plan 2003) is recodified and renumbered as Chapter 17.39 as set forth in Exhibit 3, attached hereto and incorporated by reference.

**SECTION 3.** Pasadena Municipal Code, Title 17, Article 3, Chapter 17.38 is amended to adopt and implement the Lamanda Park Specific Plan as set forth in Exhibit 1, attached hereto and incorporated by reference.

**SECTION 4.** The official Zoning Map of the City of Pasadena as established by Pasadena Municipal Code Section 17.20.020 is amended by modifying the boundaries of certain zoning districts established therein as follows:

Reclassifying parcels within the Lamanda Park Specific Plan area from ECSP-CG-4 to LP-MU-N; from ECSP-CG-5-AD-2 to LP-MU-N; from ECSP-CG-6 to LP-MU-G; from ECSP-CG-6 to OS; from EPSP-d1-1G to LP-CF; from EPSP-d1-CG to LP-CF and LP-MU-G; from EPSP-d1-CL to LP-MU-G; and from EPSP-d1-IG to LP-CF. These modifications are shown in Exhibit 2, attached hereto and incorporated herein by reference.

**SECTION 5.** Pasadena Municipal Code, Title 17, Article 3, Chapters 17.30.060 (Central District Specific Plan – Scale Standards), 17.30.080 (Central District Specific Plan – Open Space), 17.30.090 (Central District Specific Plan – Parking), 17.31.040 (East Colorado Specific Plan 2022 – Allowable Land Uses), 17.31.070 (East Colorado Specific Plan 2022 – Scale Standards), 17.31.080 (East Colorado Specific Plan 2022 – Frontage), 17.31.090 (East Colorado Specific Plan 2022 – Open Space), 17.31.100

(East Colorado Specific Plan 2022 – Parking Standards), 17.35.060 (South Fair Oaks Specific Plan – Scale Standards), 17.35.070 (South Fair Oaks Specific Plan – Frontage), 17.35.080 (South Fair Oaks Specific Plan – Open Space), 17.35.090 (South Fair Oaks Specific Plan – Parking), 17.37.070 (Lincoln Avenue Specific Plan – Scale Standards), 17.37.080 (Lincoln Avenue Specific Plan – Frontage Standards), 17.37.090 (Lincoln Avenue Specific Plan – Open Space Standards), and 17.37.100 (Lincoln Avenue Specific Plan – Parking Standards). These modifications are shown in Exhibit 4, attached hereto and incorporated by reference.

**SECTION 6.** The City Clerk shall certify the adoption of this ordinance and shall cause this ordinance to be published by title and summary.

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**SECTION 7.** This ordinance shall take effect 30 days from its publication.

Signed and approved this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Victor M. Gordo  
Mayor of the City of Pasadena

I HEREBY CERTIFY that the foregoing ordinance was adopted by the City Council of the City of Pasadena at its meeting held this \_\_\_\_\_ day of \_\_\_\_\_ 2025, by the following vote:

AYES:

NOES:

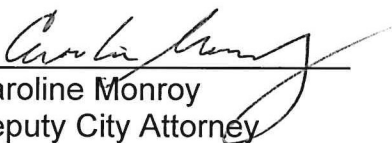
ABSENT:

ABSTAIN:

Date Published:

\_\_\_\_\_  
Mark Jomsky  
City Clerk

Approved as to form:

  
\_\_\_\_\_  
Caroline Monroy  
Deputy City Attorney

VXGD0XZQ0D4A5S



## **Chapter 17.38 – Lamanda Park Specific Plan**

### **17.38.010 - Purpose of Chapter**

This Chapter lists the land uses that may be allowed within the zoning districts established by the Lamanda Park Specific Plan (LPSP), determines the type of land use permit and approval required for each use, and provides comprehensive design and development standards for all projects.

### **17.38.020 - Zoning Districts**

The purpose of the LPSP zoning districts (Figure LPSP-1) is to implement the plan vision for each of the subareas as described in the LPSP document and summarized below.

#### **A. LP-CF (Commercial Flex)**

- Allow flexibility for light industrial, custom manufacturing, creative office and research & development uses along with compatible commercial enterprises; and
- Support projects that are entirely commercial and/or industrial, as well as work/live and caretaker's units.

#### **B. LP-MU-G (Mixed-Use General)**

- Enhance the existing mixed-use character with a broad range of retail, office, services, and multi-family housing; and
- Support projects that are entirely commercial, entirely residential, or a mix of the two, integrated either horizontally or vertically consistent with ground floor use requirements.

#### **C. LP-MU-N (Mixed-Use Neighborhood)**

- Promote the development of pedestrian-friendly neighborhoods with commercial uses that are sensitive to neighboring residents; and
- Support projects that are entirely commercial, entirely residential, or a mix of the two, integrated either horizontally or vertically, consistent with ground floor use requirements.

#### **D. OS (Open Space)**

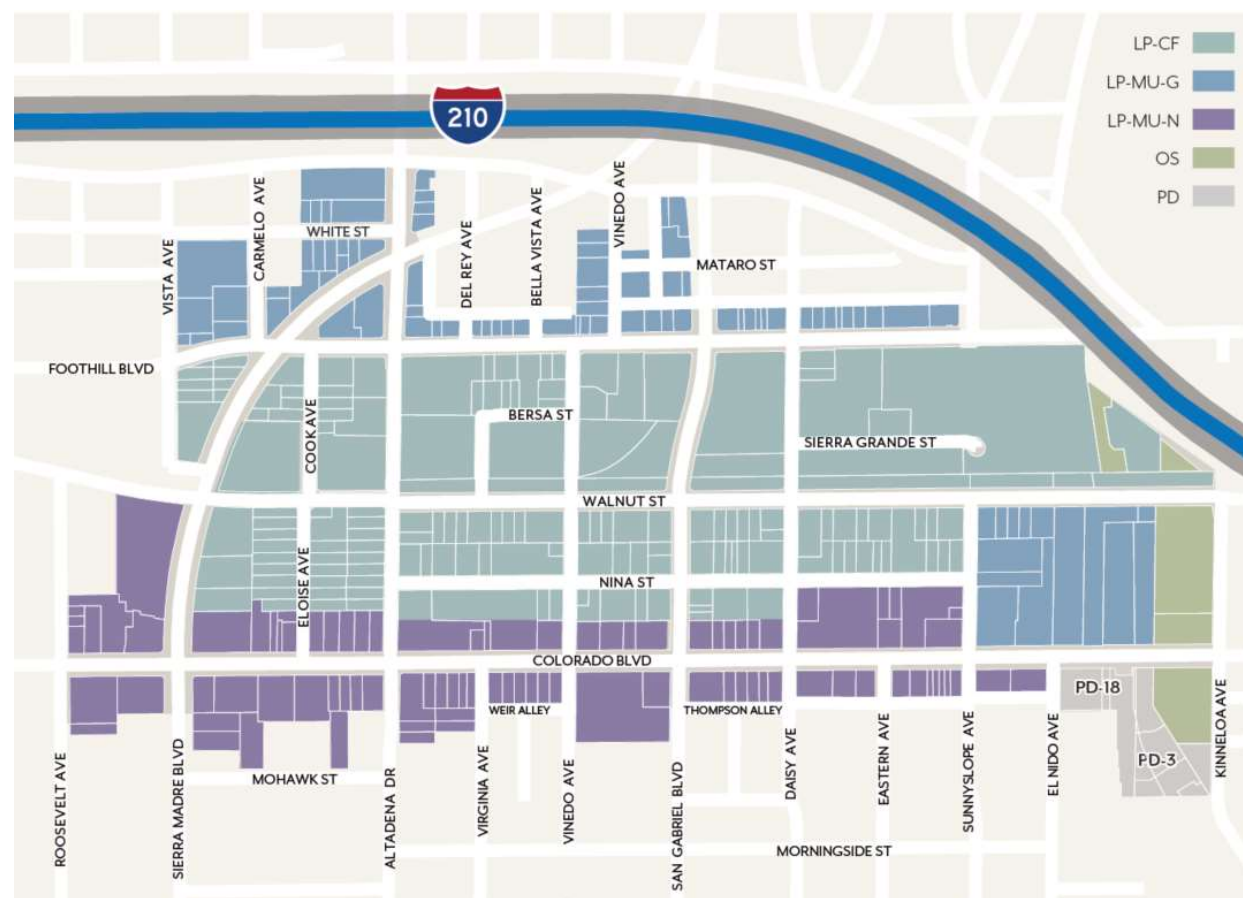
- Provide areas of open space, which may include opportunities for parks and recreation, as well as space for utilities and other similar uses.

## Exhibit 1

### E. **PD (Planned Development)**

- Achieve a particular mix of uses and appearance through a design review process resulting in quality urban design on large sites.

**Figure LPSP-1: Zoning Districts**



### **17.38.030 - Allowable Land Uses**

- A. **Definitions.** Definitions of specific land uses are found in [Section 17.80.020](#).
- B. **Permit Requirements.** Table LPSP-1 identifies the uses of land allowed, the land use permit required to establish each use, and limitations that may apply for a particular use.
- C. **Standards for Specific Land Uses.** Additional standards may apply to specific land uses; refer to the Section noted in Table LPSP-1.

## Exhibit 1

1. [Section 17.50.160](#) shall not apply to Mixed-Use Projects.
  2. [Section 17.50.350](#) shall not apply to Multi-Family Housing.
- D. **Ground Floor Frontages.** In Mixed-Use zoning districts, additional commercial requirements and residential unit restrictions on the ground floor shall apply per [Section 17.38.070.A.](#)
- a. Limitations shall not apply for affordable housing developments on religious facility sites proposed in compliance with Section [17.50.230.F.](#)
- E. **Major Construction.** For all non-residential uses with a gross floor area of 25,000 square feet or greater, a Conditional Use Permit shall be required per [Section 17.61.050.J.2.](#)
- F. **Prohibited Uses.** Those uses not listed in Table LPSP-1 are prohibited by the LPSP, except as otherwise provided by [Section 17.21.030.A.](#)
- G. **Nonconforming Uses.** Existing uses which are made nonconforming by the LPSP shall be subject to [Section 17.71.](#)
- H. **Limited Hours of Operation.** Uses listed in Table LPSP-1 shall comply with limited hours of operation as required by [Section 17.40.070.](#)

**Table LPSP-1: Allowable Land Uses**

<b><u>Symbol</u></b>	<b><u>Description</u></b>	<b><u>Section</u></b>
<u>P</u>	<u>Permitted use, Code Compliance Certificate required.</u>	<a href="#">17.61.020</a>
<u>MC</u>	<u>Conditional use, Minor Conditional Use Permit required.</u>	<a href="#">17.61.050</a>
<u>AMC</u>	<u>Conditional use, Administrative Minor Conditional Use Permit required</u>	
<u>C</u>	<u>Conditional use, Conditional Use Permit required.</u>	
<u>AC</u>	<u>Conditional use, Administrative Conditional Use Permit required</u>	
<u>E</u>	<u>Conditional use, Expressive Use Permit required.</u>	<a href="#">17.61.060</a>
<u>TUP</u>	<u>Temporary use, Temporary Use Permit required.</u>	<a href="#">17.61.040</a>

Exhibit 1

<u>=</u>	<u>Use not allowed.</u>	
<u>(L1)</u>	<u>Use is not permitted on the ground floor within 35 feet of the sidewalk line along Colorado Boulevard. Entries to upper/lower floors or ground floor spaces behind the 35 feet are allowed; these spaces shall not qualify as required commercial uses for the purposes of Section 17.38.070.A.</u>	
<u>(L2)</u>	<u>Use is not permitted south of Walnut Street.</u>	
<u>(A)</u>	<u>Use is only permitted as accessory to another permitted use.</u>	

<b><u>ZONING DISTRICT LAND USES AND PERMIT REQUIREMENTS</u></b>				
<u>Land Use</u> <sup>1</sup>	<u>Permit Requirement</u>	<u>Section / Notes</u>		
	<u>LP-CF</u>	<u>LP-MU-G</u>	<u>LP-MU-N</u>	
<b><u>RESIDENTIAL USES</u></b>				
<u>Accessory Dwelling Unit</u>	=	<u>P</u>	<u>P</u>	<a href="#"><u>17.50.275</u></a>
<u>Boarding Houses</u> <sup>2</sup>	=	<u>P</u>	<u>P</u>	
<u>Caretaker's Quarters</u>	<u>MC</u>	<u>P</u>	<u>P</u>	
<u>Dormitories</u>	=	<u>P</u>	<u>P</u>	
<u>Fraternities / Sororities</u>	=	<u>P</u>	<u>P</u>	
<u>Home Occupations</u>	<u>P</u>	<u>P</u>	<u>P</u>	<a href="#"><u>17.50.110</u></a>
<u>Mixed-Use Projects</u>	=	<u>P</u>	<u>P</u>	
<u>Multi-Family Housing</u>	=	<u>P</u>	<u>P</u>	
<u>Residential Accessory Uses and Structures</u>	=	<u>P</u>	<u>P</u>	<a href="#"><u>17.50.250</u></a>
<u>Residential Care, General</u>	=	<u>C</u>	<u>C</u>	
<u>Residential Care, Limited</u>	=	<u>P</u>	<u>P</u>	
<u>Single-Room Occupancy</u>	=	<u>P</u>	<u>P</u>	
<u>Supportive Housing</u>	=	<u>P</u>	<u>P(L1)</u>	

Exhibit 1

<u>Transitional Housing</u>	=	<u>P</u>	<u>P(L1)</u>	
<b><u>COMMERCIAL USES</u></b>				
<b><u>RECREATION, EDUCATION &amp; PUBLIC ASSEMBLY USES</u></b>				
<u>Clubs, Lodges, Private Meeting Halls</u>	<u>C</u>	<u>C</u>	<u>C</u>	
<u>Colleges, Nontraditional Campus Setting</u>	<u>P</u>	<u>P</u>	<u>P(L1)</u>	
<u>Colleges, Traditional Campus Setting</u>	=	<u>C</u>	=	
<u>with Safe Parking</u>	=	<u>MC</u>	=	
<u>Commercial Entertainment</u>	<u>E</u>	<u>E</u>	<u>E</u>	<a href="#">17.50.130</a>
<u>Commercial Recreation, Indoor</u>	<u>P</u>	<u>P</u>	<u>P</u>	
<u>Commercial Recreation, Outdoor</u>	<u>C</u>	<u>C</u>	<u>C</u>	
<u>Conference Centers</u>	<u>P</u>	<u>P</u>	<u>P</u>	
<u>Cultural Institutions</u>	<u>P</u>	<u>P</u>	<u>P</u>	
<u>Electronic Game Centers</u>	=	<u>P</u>	<u>P</u>	<a href="#">17.50.100</a>
<u>Park and Recreation Facilities</u>	<u>P</u>	<u>P</u>	<u>P</u>	
<u>Religious Facilities</u>	<u>P</u>	<u>P</u>	<u>P</u>	<a href="#">17.50.230</a>
<u>with Affordable Housing</u>	<u>P</u>	<u>P</u>	<u>P</u>	
<u>with Columbarium</u>	<u>MC</u>	<u>MC</u>	<u>MC</u>	
<u>with Safe Parking</u>	<u>MC</u>	<u>MC</u>	<u>MC</u>	
<u>with Temporary Homeless Shelter</u>	<u>MC</u>	<u>MC</u>	<u>MC</u>	
<u>Schools, Public and Private</u>	<u>C</u>	<u>C</u>	<u>C</u>	<a href="#">17.50.270</a>

Exhibit 1

<u>Schools, Specialized Education and Training</u>	<u>P</u>	<u>P</u>	<u>P</u>	
<b><u>OFFICE, PROFESSIONAL &amp; BUSINESS SUPPORT USES</u></b>				
<u>Automated Teller Machines (ATMs)</u>	<u>P</u>	<u>P</u>	<u>P</u>	<a href="#">17.50.060</a>
<u>Banks and Financial Services</u>	<u>P</u>	<u>P</u>	<u>P</u>	
<u>with Walk-Up Services</u>	<u>P</u>	<u>P</u>	<u>P</u>	<a href="#">17.50.060</a>
<u>Business Support Services</u>	<u>P</u>	<u>P</u>	<u>P</u>	
<u>Offices, Accessory</u>	<u>P</u>	<u>P</u>	<u>P</u>	
<u>Offices, Administrative Business Professional</u>	<u>P</u>	<u>P</u>	<u>P</u>	
<u>Offices, Government</u>	<u>P</u>	<u>P</u>	<u>P</u>	
<u>Offices, Medical</u>	<u>P</u>	<u>P</u>	<u>P</u>	
<u>Research and Development</u>	<u>P</u>	<u>P</u>	<u>P</u>	<a href="#">17.50.240</a>
<u>Work/Live Units</u>	<u>P</u>	<u>P</u>	<u>P(L1)</u>	<a href="#">17.50.370</a>
<b><u>RETAIL SALES</u></b>				
<u>Alcohol Sales, Beer and Wine</u>	<u>C</u>	<u>C</u>	<u>C</u>	<a href="#">17.50.040</a>
<u>Alcohol Sales, Beer and Wine at Restaurants (including fast food)</u>	<u>AC</u>	<u>AC</u>	<u>AC</u>	
<u>Alcohol Sales, Full Alcohol</u>	<u>C</u>	<u>C</u>	<u>C</u>	
<u>Alcohol Sales, Full Alcohol at Restaurants (including fast food)</u>	<u>AC</u>	<u>AC</u>	<u>AC</u>	
<u>Animal Services, Retail Sales</u>	<u>P</u>	<u>P</u>	<u>P</u>	
<u>Bars / Taverns</u>	<u>C</u>	<u>C</u>	<u>C</u>	<a href="#">17.50.040, 17.61.050.J</a>

Exhibit 1

<u>with Live Entertainment</u>	<u>C</u>	<u>C</u>	<u>C</u>	<a href="#">17.50.130</a>
<u>Building Material and Supply Sales</u>	<u>P</u>	<u>P</u>	<u>P</u>	
<u>Commercial Nurseries</u>	<u>P</u>	<u>P</u>	<u>P</u>	<a href="#">17.50.180</a>
<u>Convenience Stores</u>	<u>P</u>	<u>P</u>	<u>P</u>	
<u>Food Sales</u>	<u>P(A)</u>	<u>P</u>	<u>P</u>	
<u>Internet Vehicle Sales</u>	<u>P</u>	<u>P</u>	<u>P</u>	
<u>Liquor Stores</u>	<u>C(A)</u>	<u>C</u>	<u>C</u>	<a href="#">17.50.040, 17.61.050.J</a>
<u>Pawnshops</u>	<u>=</u>	<u>=</u>	<u>C</u>	
<u>Restaurants, Fast Food</u>	<u>P(A)</u>	<u>P</u>	<u>P</u>	<a href="#">17.50.260, 17.61.050.J</a>
<u>Restaurants, Formula Fast Food</u>	<u>P(A)</u>	<u>P</u>	<u>P</u>	
<u>Restaurants</u>	<u>P(A)</u>	<u>P</u>	<u>P</u>	
<u>with Limited Live Entertainment</u>	<u>P(A)</u>	<u>P</u>	<u>P</u>	
<u>with Walk-Up Window</u> <sup>3</sup>	<u>MC(A)</u>	<u>MC</u>	<u>MC</u>	
<u>Retail Sales</u>	<u>P(A)</u>	<u>P</u>	<u>P</u>	
<u>Significant Tobacco Retailers</u>	<u>C</u>	<u>C</u>	<u>C</u>	<a href="#">17.50.330, 17.61.050.J</a>
<u>Vehicle Services, Sales/Leasing</u>	<u>C</u>	<u>C</u>	<u>=</u>	<a href="#">17.50.360</a>
<u>Vehicle Services, Sales/Leasing, Limited</u>	<u>P</u>	<u>P</u>	<u>P</u>	
<u>Vehicle Services, Service Stations</u>	<u>C</u>	<u>C</u>	<u>C</u>	
<b><u>SERVICES</u></b>				
<u>Adult Day Care, General</u>	<u>=</u>	<u>C</u>	<u>C(L1)</u>	
<u>Adult Day Care, Limited</u>	<u>=</u>	<u>P</u>	<u>P</u>	
<u>Animal Services, Boarding</u>	<u>P</u>	<u>P</u>	<u>P</u>	

Exhibit 1

<u>Animal Services, Grooming</u>	<u>P</u>	<u>P</u>	<u>P</u>	
<u>Animal Services, Hospitals</u>	<u>P</u>	<u>P</u>	<u>P</u>	<a href="#">17.50.050</a>
<u>Catering Services</u>	<u>P</u>	<u>P</u>	<u>P(L1)</u>	
<u>Charitable Institutions</u>	<u>P</u>	<u>P</u>	<u>P</u>	
<u>Child Day Care Centers</u>	<u>P(A)</u>	<u>P</u>	<u>P</u>	<a href="#">17.50.080</a>
<u>Child Day Care, Large</u>	<u>:</u>	<u>P</u>	<u>P</u>	
<u>Child Day Care, Small</u>	<u>:</u>	<u>P</u>	<u>P</u>	
<u>Drive-Through Businesses, Restaurants</u>	<u>:</u>	<u>C</u>	<u>:</u>	<a href="#">17.50.090</a>
<u>Emergency Shelters</u>	<u>MC</u>	<u>MC</u>	<u>MC</u>	
<u>Emergency Shelters, Limited</u>	<u>P</u>	<u>P</u>	<u>P</u>	<a href="#">17.50.105</a>
<u>Laboratories</u>	<u>P</u>	<u>P</u>	<u>P(L1)</u>	
<u>Life-Care Facilities</u>	<u>:</u>	<u>MC</u>	<u>MC(L1)</u>	<a href="#">17.50.120</a>
<u>Lodging, Bed and Breakfast Inns</u>	<u>:</u>	<u>C</u>	<u>C</u>	<a href="#">17.50.140</a>
<u>Lodging, Hotels and Motels</u>	<u>C</u>	<u>:</u>	<u>C</u>	<a href="#">17.50.150</a>
<u>Low Barrier Navigation Centers</u>	<u>P</u>	<u>P</u>	<u>P</u>	
<u>Maintenance and Repair Services</u>	<u>C</u>	<u>C</u>	<u>C</u>	
<u>Massage Establishments</u>	<u>:</u>	<u>C</u>	<u>C</u>	<a href="#">17.50.155</a>
<u>Medical Services, Extended Care</u>	<u>:</u>	<u>MC</u>	<u>MC(L1)</u>	
<u>Mortuaries / Funeral Homes</u>	<u>P</u>	<u>P</u>	<u>P</u>	
<u>Neighborhood Gardens</u>	<u>P</u>	<u>P</u>	<u>P</u>	



## Exhibit 1

<u>Personal Improvement Services</u>	<u>P</u>	<u>P</u>	<u>P</u>	
<u>Personal Services</u>	<u>P</u>	<u>P</u>	<u>P</u>	
<u>Personal Services, Restricted</u>	<u>C</u>	<u>C</u>	<u>C</u>	<a href="#">17.50.200</a>
<u>Printing and Publishing</u>	<u>P</u>	<u>C</u>	<u>C</u>	
<u>Printing and Publishing, Limited</u>	<u>P</u>	<u>P</u>	<u>P</u>	
<u>Public Safety Facilities</u>	<u>C</u>	<u>C</u>	<u>C</u>	
<u>Vehicle Services, Automobile Rental</u>	<u>C</u>	<u>C</u>	<u>C</u>	
<u>Vehicle Services, Vehicle/Equipment Repair</u>	<u>P</u>	<u>P</u>	=	
<u>Vehicle Services, Washing/Detailing</u>	<u>C</u>	=	=	<a href="#">17.50.360</a>
<u>Vehicle Services, Washing/Detailing, Small-Scale</u>	<u>P</u>	<u>P</u>	<u>P</u>	<a href="#">17.50.290</a>
<b>INDUSTRY, MANUFACTURING &amp; PROCESSING</b>				
<u>Alcohol Beverage Manufacturing</u>	<u>C</u>	<u>C</u>	<u>C</u>	<a href="#">17.50.040,</a> <a href="#">17.61.050.J</a>
<u>with Accessory Tasting Room</u>	<u>MC</u>	<u>C</u>	<u>MC</u>	
<u>Commercial Growing Area</u>	<u>P</u>	=	=	
<u>Custom Manufacturing / Artisan Production</u>	<u>P</u>	<u>P</u>	<u>P</u>	
<u>Industry, Restricted</u>	<u>P</u>	=	=	
<u>Industry, Restricted, Small-scale</u>	<u>P</u>	<u>P</u>	<u>P</u>	

Exhibit 1

Industry, Standard	<u>P(L2)</u>	=	=	
Recycling Collection Facilities, Small	<u>C(L2)</u>	<u>C</u>	<u>C(L2)</u>	
Recycling Collection Facilities, Large	<u>C(L2)</u>	=	=	
Wholesaling, Distribution and Storage	<u>P(L2)</u>	=	=	
Wholesaling, Distribution and Storage, Small Scale	<u>P(L2)</u>	<u>C</u>	=	
<b><u>TRANSPORTATION, COMMUNICATIONS, AND UTILITY USES</u></b>				
Accessory Antenna Arrays	<u>P</u>	<u>P</u>	<u>P</u>	
Alternative Fuel / Recharging Facilities	<u>P</u>	<u>P</u>	<u>P</u>	
Commercial Off-Street Parking	<u>MC</u>	<u>MC</u>	<u>MC</u>	
Communications Facilities	<u>C</u>	<u>C</u>	<u>C</u>	
Heliports	<u>C</u>	=	=	
Transportation Terminals	<u>C</u>	<u>C</u>	<u>C</u>	
with Safe Parking	<u>MC</u>	<u>MC</u>	<u>MC</u>	
Utilities, Major	<u>C</u>	<u>C</u>	<u>C</u>	
Utilities, Minor	<u>P</u>	<u>P</u>	<u>P</u>	
Wireless Telecom Facilities, Minor	<u>MC</u>	<u>MC</u>	<u>MC</u>	<a href="#">17.50.310</a>
Wireless Telecom Facilities, SCL	<u>P</u>	<u>P</u>	<u>P</u>	
<b><u>TEMPORARY USES</u></b>				
Filming, Long-term	<u>C</u>	<u>C</u>	<u>C</u>	
Filming, Short-term	<u>P</u>	<u>P</u>	<u>P</u>	

## Exhibit 1

<u>Personal Property Sales</u>	<u>=</u>	<u>P</u>	<u>P</u>	<a href="#">17.50.190</a>
<u>Seasonal Merchandise Sales</u>	<u>P</u>	<u>P</u>	<u>P</u>	<a href="#">17.50.180</a>
<u>Street Fairs</u>	<u>P</u>	<u>P</u>	<u>P</u>	
<u>Tents</u>	<u>TUP</u>	<u>TUP</u>	<u>TUP</u>	<a href="#">17.50.320</a>
<u>Other Temporary Uses</u>	<u>TUP</u>	<u>TUP</u>	<u>TUP</u>	
<b>Notes:</b> 1 See <a href="#">Section 17.80.020</a> for definition of the listed land uses. 2 Includes Co-living facilities, which may include more than one shared kitchen per building. Separation requirements of <a href="#">Section 17.50.065</a> shall not apply. 3 Minor Conditional Use Permit not required if Walk-Up Window complies with <a href="#">Section 17.50.260</a> .				

### **17.38.040 - Public Realm Standards**

These standards are intended to:

- Ensure a minimum sidewalk width is achieved, appropriate to support future densities, intensities, uses, and pedestrian volumes;
- Provide sufficient space to support dedicated Amenity and Walk Zones; and
- Increase shade, carbon sequestration, and stormwater capture by allowing adequate space for street trees and parkways.

#### **A. Sidewalks**

##### **1. Sidewalk Width**

- Dimension.** Projects shall provide sidewalks that meet the required widths per Figure LPSP-2. Where the existing sidewalk right-of-way is less than the required width, the difference shall be provided through a private property dedication.

- (1) Sidewalks are measured from the Primary Curb Line of each block to the sidewalk line, as illustrated in Figure LPSP-3.
- (2) This area shall be paved for general use to the standards specified by Public Works, except for landscaped parkways per Section 17.38.040.B.

## Exhibit 1

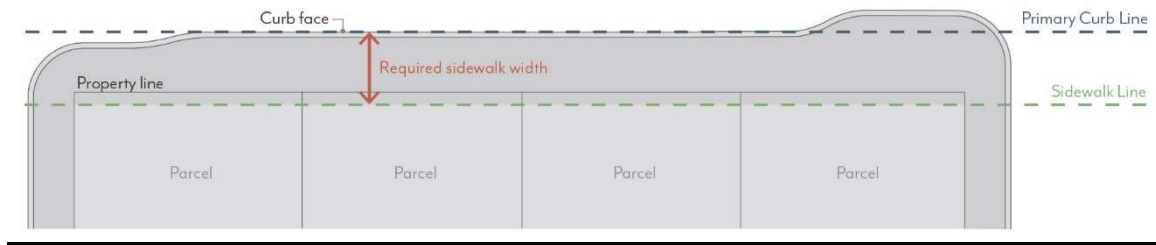
- (3) Within the sidewalk width, sidewalk zones shall be provided to the dimensions set in Figure LPSP-4.
  - (4) Where the curb deviates (i.e. bulb-outs), exceptions in zone width are allowed and shall be determined by the Director of Public Works.
  - (5) Driveways are allowed per Section 17.38.090.B.
- b. **Maintenance.** Sidewalk improvements shall be installed and maintained by the abutting property owner.

**Figure LPSP-2: Sidewalk Width**



## Exhibit 1

**Figure LPSP-3: Sidewalk Line**



## 2. Sidewalk Zones

- a. **Amenity Zone.** Sidewalks shall provide an Amenity Zone consistent with the width illustrated in Figure LPSP-4, including the curb.
  - (1) Projects shall meet minimum parkway and street tree requirements per Section 17.38.040.B.
  - (2) The following elements are permitted in the Amenity Zone at the discretion of the Director of Public Works and with public works permits (if applicable): paved area for pedestrian mobility, parkways and street trees, seating/furniture, outdoor dining, planters, bicycle parking, bus shelters, and/or other utility facilities including streetlights, signals, meter/sign poles, and pull boxes, etc.
- b. **Walk Zone.** Sidewalks shall maintain a Walk Zone as a continuous path of travel for pedestrians at the width illustrated in Figure LPSP-4. This area shall be free of all furnishings, landscaping, or obstructions.

**Figure LPSP-4: Sidewalk Zones**

Diagram 1: 12' Sidewalks

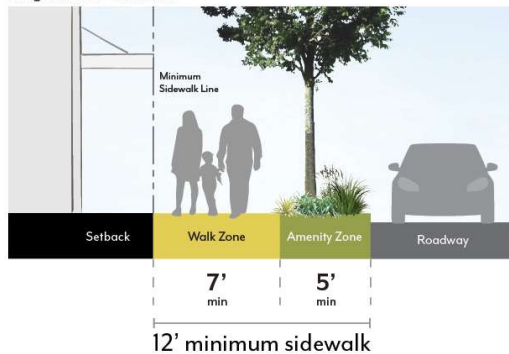
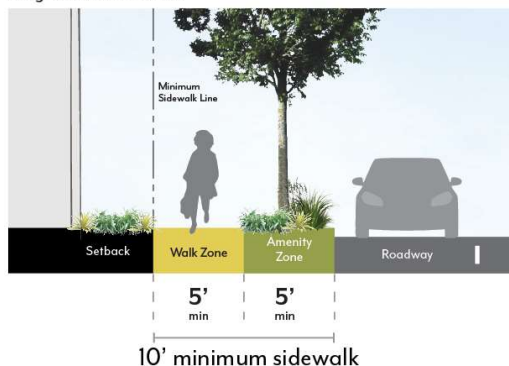


Diagram 2: 12' Sidewalks\*



Diagram 3: 10' Sidewalks



*\*12' sidewalks on the northside of Walnut Street and the southside of Foothill Boulevard shall have a 5' Walk Zone and a 7' Amenity Zone.*

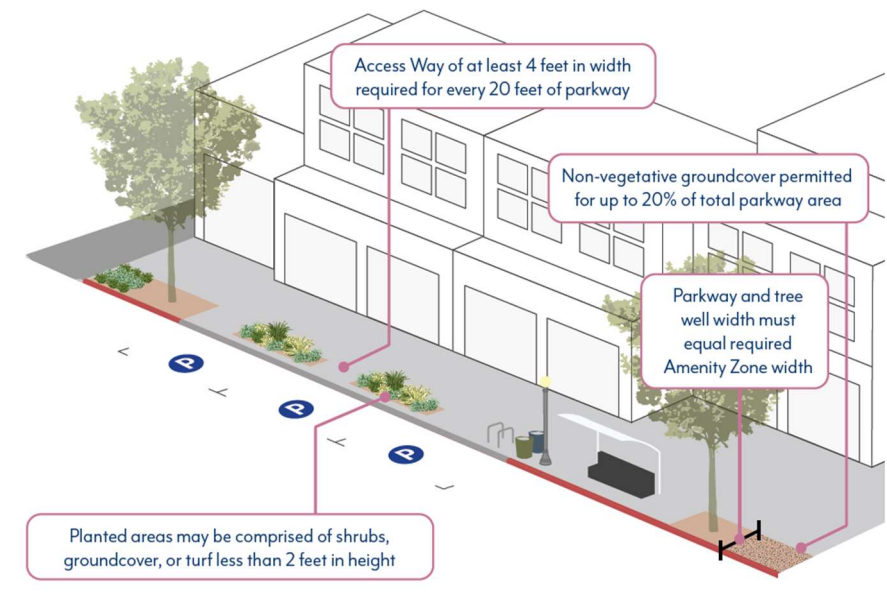
*Example setback conditions illustrated.  
Refer to Section 17.38.060.D for required setback dimensions.*

**B. Parkways & Street Trees**

**1. Parkways**

- a. **Required Parkway.** Projects shall include parkways within the Amenity Zone as follows, except as approved by the Director of Public Works as illustrated in Figure LPSP-5.
- (1) Existing parkways shall be maintained.
  - (2) For mixed-use and non-residential projects, parkway length shall be no less than 30 percent of street frontage.
  - (3) For residential-only projects, parkway length shall be no less than 60 percent of street frontage.

**Figure LPSP-5: Parkway Design Standards**



- b. **Dimensions.** Parkway shall be constructed at the same width as the Amenity Zones illustrated in Figure LPSP-4, minus the 6-inch width required for the curb, except as approved by the Director of Public Works.

- (1) When street parking is adjacent to the curb, a paved buffer with a minimum width of 18 inches is required, in addition to the 6-inch curb, except where tree grates are adjacent to the curb.
  - (2) Barriers up to 24 inches high, such as low walls or fences, are permitted at the interior edge of the parkway but are not required.
- c. **Access Ways.** Where on-street parking is permitted, access ways shall be provided at a minimum frequency of one per every 20 feet of continuous parkway.
- (1) Access ways shall be a minimum of 4 feet in width and provide a firm, uniform walking surface in all weather conditions from the curb to the Walk Zone.
  - (2) The finished surface of access ways shall be in plane with both the adjoining top of curb and sidewalk.
  - (3) Access ways shall be constructed of pavers, concrete, or stabilized decomposed granite.
- d. **Planted Area.** A minimum of 80 percent of the total required parkway area for a given project shall be comprised of plant material.
- (1) Permitted materials include groundcovers, turf or turf substitutes, and shrubs or low perennials that are lower than 24 inches in height at full maturity.
    - a. All plant material shall be native or climate appropriate and have a water use rating of Moderate, Low or Very-Low as defined by Water Use Classification of Landscape Species (WUCOLS) for the region. Plant water use requirements may be relaxed to maximize the efficiency of parkway stormwater capture systems subject to approval by the Director of Public Works.
    - b. Plants with spines or thorns shall not be planted adjacent to any walkways or curbs.
    - c. Edible plants are not permitted in parkways.



- d. Artificial turf is not permitted in parkways.
- (2) When removing existing plant material like turf grass from a parkway, there shall be no damage to the street tree roots. Parkway improvements involving excavation within an existing tree's root zone must be consistent with the City's Tree Protection Guidelines. Root pruning, if required and approved by Public Works, must be overseen by a Certified Arborist. Excavation within a tree's root zone must be replanted immediately to prevent the tree roots from exposure and undue harm.
- e. **Non-planted Area.** A maximum of 20 percent of the parkway area may be organic or inorganic cover.
  - (1) Permitted materials include permeable pavers, decomposed granite, gravel, rocks, or mulch.
    - a. Pavers are not allowed within 3 feet of any public streetlight pole or pull box or other utility facilities.
- f. **Stormwater Management.** Parkways shall either meet the following basic stormwater standards, or propose a biofiltration planter or swale design based on local conditions subject to approval of the Director of Public Works.
  - (1) The parkway shall be at the same grade as the adjacent hardscape surface at the outer edge of the parkway and slope at a minimum of 1 percent towards the center of the parkway.
  - (2) For parkways with a width greater than 5 feet, the center 2 feet of the parkway shall be depressed 3 to 4 inches to form a shallow swale to collect sidewalk stormwater. Alternative means of storing runoff, such as gravel sumps within the parkway, may be provided with review authority approval.
- g. **Irrigation.** Irrigation systems in parkways shall be designed and constructed in a manner that will eliminate surface runoff onto any impermeable surface, public or private, under any condition.
  - (1) Design of irrigation systems in parkways shall be in accordance with all local, state, and federal laws and regulations for water conservation.

(2) Street tree roots shall not be damaged during the irrigation installation process.

- h. **Maintenance.** Abutting property owner shall maintain the parkway in a condition so as not to endanger persons or property, and not to interfere with the public convenience.

2. **Street Trees**

- a. **Species.** Street tree species shall be selected according to the Master Street Tree Plan at the discretion of the Director of Public Works. Trees may be planted within parkways or tree wells. For guidance on street trees, refer to Appendix 2 of the LPSP document.

- b. **Spacing.** Street trees shall be planted at a spacing of one per 30 feet. Exceptions can be made by the Director of Public Works due to conflicts with street lights, bus shelters, utility boxes, or other street amenities or species type. Closer spacing is encouraged when feasible and when appropriate for the particular tree type.

- c. **Well Dimension.** Tree well width shall be equivalent to the required Amenity Zone, minus the 6-inch width required for the curb.

(1) If a paved buffer zone is required due to adjacent street parking, the tree well width may be reduced to accommodate this buffer strip. The minimum length of a tree well shall be 6 feet, parallel to the street.

(2) Street trees planted within tree wells must be installed according to the Department of Public Works Tree Planting in Tree Well Standard Plan.

- d. **Well Frames.** Tree well frames, or tree grates, may be installed according to the Department of Public Works Tree Well Frame Installation Standard.

- e. **Expanded Root Zone Cell.** Each street tree shall be provided with an uncompacted root zone volume of 800 cubic feet minimum. The root zone volume depth shall be 2 feet minimum and 3 feet maximum.

(1) Where this root zone volume cannot be provided within the parkway area, an expanded root zone cell volume shall be provided below adjacent pavement using a strategy such as structural soil or a suspended

pavement system to provide an uncompacted soil area suitable for tree root growth.

(2) The root zone volume per tree requirement may be reduced by 10 percent where two or more trees share a contiguous root zone cell.

f. **Maintenance.** All street trees shall be maintained by the Department of Public Works.

#### **17.38.050 - Summary of Development Standards**

Table LPSP-2 provides abbreviated development and design standards by zoning district for the LPSP. Complete standards shall be referenced within Sections 17.38.060-17.38.100.

Exhibit 1

**Table LPSP-2: Summary of Development Standards**

<u>Standard</u>	<u>LP-CF</u>	<u>LP-MU-C</u>	<u>LP-MU-G</u>
<u>Scale</u>			
<u>Allowable Density</u>			
<u>Dwelling Units per Acre</u>	<u>N/A</u>	<u>Figure LPSP-6</u>	
<u>Allowable Intensity</u>			
<u>Floor Area Ratio</u>	<u>Figure LPSP-7</u>		
<u>Height</u>			
<u>Building Height</u>	<u>Figure LPSP-8</u>		
<u>Required Setbacks</u>			
<u>All streets</u>	<u>Figure LPSP-12</u>		
<u>Adjacent RM/RS</u>	<u>15' min.</u>		
<u>Other interiors</u>	<u>None required</u>		
<u>Required Stepbacks</u>			
<u>Colorado Boulevard</u>	<u>10' in depth after 20' in height</u>		
<u>Adjacent RM/RS</u>	<u>Figure LPSP-14</u>		
<u>Historic Adjacency</u>			
<u>Setbacks &amp; Stepbacks</u>	<u>Figure LPSP-15</u>		
<u>Required Modulation</u>			
<u>Length</u>	<u>N/A</u>	<u>For façades over 150' in length, 10% or 20' break at least 10' in depth</u>	

Exhibit 1

<u>Area</u>	<u>20% of façade</u>	<u>25% of façade above the first story</u>
<u>Frontage</u>		
<u>Ground Floor Frontages</u>		
<u>Required Uses</u>	<u>Figure LPSP-18 and Table LPSP-5</u>	
<u>Commercial Depth</u>	<u>35' average, 20' min.</u>	
<u>Ground Floor Design</u>		
<u>Height</u>	<u>15' min.; 12' for residential units</u>	
<u>Transparency</u>		
<u>Ground Floor</u>	<u>30% min.</u>	<u>60% min.;</u> <u>15% min. for residential units</u>
<u>Overall Façade</u>	<u>15% min.</u>	<u>30% min.;</u> <u>15% min. for residential units</u>
<u>Blank Walls</u>	<u>40' max.</u>	<u>20' max.</u>
<u>Shade Structure</u>	<u>Section 17.38.070.D</u>	
<u>Arcades &amp; Galleries</u>	<u>Section 17.38.070.E</u>	
<u>Exterior Fixtures</u>	<u>Section 17.38.070.F</u>	
<u>Walls &amp; Fences</u>	<u>Section 17.38.070.G</u>	
<u>Balconies &amp; Roof Decks</u>	<u>Section 17.38.070.H</u>	
<u>Open Space</u>		
<u>Minimum Area</u>		
<u>Residential</u>	<u>125 sf per studio, 150 sf per 1-bed, 200 sf per 2-bed, 250 sf per 3+bed</u>	
<u>Publicly Accessible</u>	<u>None required</u>	<u>Table LPSP-8</u>

Exhibit 1

<b><u>Private Open Space</u></b>	<a href="#"><u>Section 17.38.080.B</u></a>
<b><u>Common Open Space</u></b>	<a href="#"><u>Section 17.38.080.C</u></a>
<b><u>Publicly Accessible Open Space</u></b>	<a href="#"><u>Section 17.38.080.D</u></a>
<b><u>Parking</u></b>	
<b><u>Minimum Parking</u></b>	<a href="#"><u>Section 17.38.90.A</u></a>
<b><u>Vehicle Access</u></b>	<a href="#"><u>Section 17.38.90.B</u></a>
<b><u>Layout &amp; Design</u></b>	<a href="#"><u>Section 17.38.90.C</u></a>
<b><u>Other Applicable Standards<sup>1</sup></u></b>	
<b><u>General Development<sup>2</sup></u></b>	<a href="#"><u>Section 17.40</u></a>
<b><u>Inclusionary Housing</u></b>	<a href="#"><u>Section 17.42</u></a>
<b><u>Density Bonus</u></b>	<a href="#"><u>Section 17.43</u></a>
<b><u>Landscaping</u></b>	<a href="#"><u>Section 17.44</u></a>
<b><u>Parking &amp; Loading</u></b>	<a href="#"><u>Section 17.46</u></a>
<b><u>Signs</u></b>	<a href="#"><u>Section 17.48</u></a>
<b><u>Specific Land Uses</u></b>	<a href="#"><u>Section 17.50</u></a>
<b><u>Notes:</u></b> <sup>1</sup> Projects shall follow all requirements listed except where modified by the LPSP. In the event of conflict between the Zoning Code and the LPSP, the requirements of the LPSP shall control, per <a href="#"><u>Section 17.12.020.D</u></a> . <sup>2</sup> General Property Development and Use Standards include additional regulations related to Outdoor Lighting, Public Art, Screening, Setback Exceptions, Walls & Fences, and Limited Hours of Operation among others.	

**17.38.060 - Scale Standards**

These standards are intended to:

- Implement the General Plan density (du/ac) and floor area ratio (FAR) values;
- Shape development in a manner that creates a defined public realm and appropriate scale of buildings for a visually appealing community;
- Reduce building massing through setback and stepback requirements that create appropriate transitions to residential neighborhoods;
- Support high-quality architecture and urban design through modulation requirements and a varied roof lines incentive;
- Encourage industrial growth in modern fields such as life sciences, production, research & development, and technology;
- Require appropriate transitions to designated historic resources; and
- Support opportunities to increase housing near transit, and require various unit sizes to support individuals and families.

A. **Density**

1. **Residential Density.** Projects that include residential dwelling units shall not exceed the allowable dwelling units per acre (du/ac) set in Figure LPSP-6.
  - a. Fractions shall be rounded to the nearest whole number; those at 0.50 shall be rounded up.
  - b. For projects utilizing state density bonus, refer to Government Code 65915.
  - c. The maximum is based on total site area. If a street dedication or easement is required, density shall be calculated using the size of the lot prior to the street dedication or easement.

**Figure LPSP-6: Residential Density**

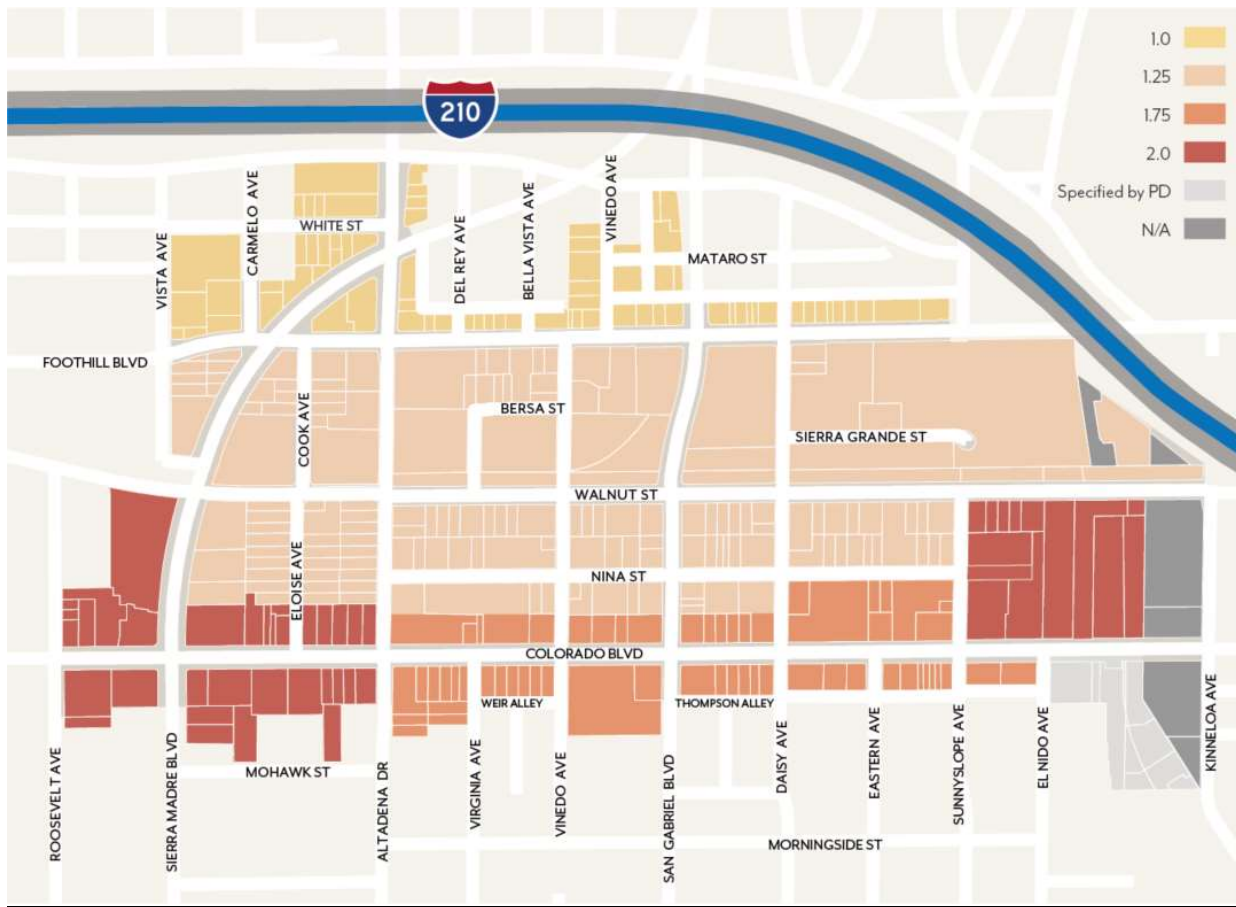


## B. Intensity

1. **Floor Area Ratio.** Projects that include non-residential space, including mixed-use, shall not exceed the allowable floor area ratio (FAR) set in Figure LPSP-7.
  - a. In mixed-use projects, residential floor area is included in FAR.
  - b. Areas used exclusively for vehicle and bicycle parking and loading are excluded from FAR.
  - c. The maximum is based on total site area. If a street dedication or easement is required, FAR shall be calculated using the size of the lot prior to the street dedication or easement.



**Figure LPSP-7: Floor Area Ratio**



### C. **Height**

1. **Building Height.** Projects shall not exceed the height limits set in Figure LPSP-8.
  - a. Height is measured per [Section 17.40.060.](#)
  - b. Exceptions allowed for Varied Roof Lines (Section 17.38.060.C.2) and projecting features such as appurtenances and railings per [Section 17.40.060.](#)
2. **Varied Roof Lines.** A maximum of 30 percent of a building's footprint may exceed the height limit set in Figure LPSP-8 by up to 12 feet.

## Exhibit 1

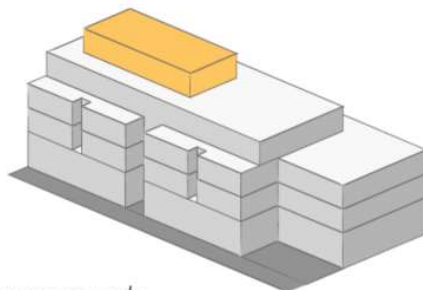
- a. This allowance is not applicable to other development standards relating to building scale such as setbacks. It may not be used in combination with a concession for building height when utilizing [Chapter 17.43](#).

**Figure LPSP-8: Building Height**



**Figure LPSP-9: Varied Roof Lines**

*A building may exceed its height limit by a maximum of 12 feet for up to 30% of its footprint.*

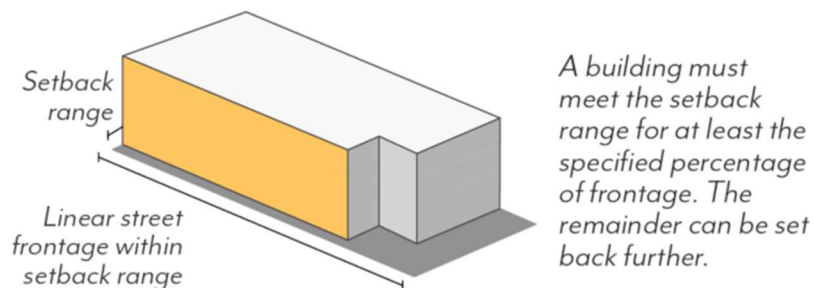


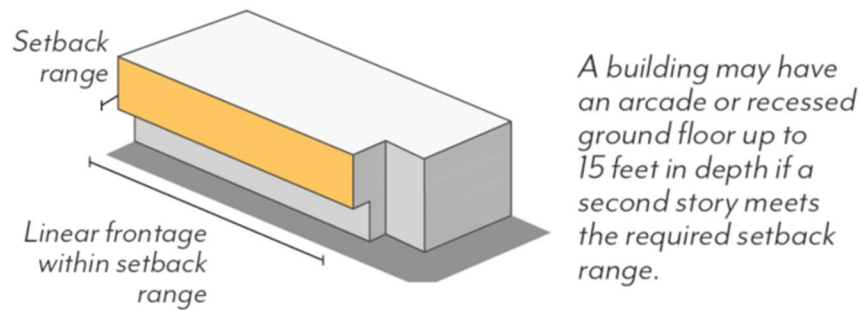
*Note: Diagrams used for illustrative purposes only.*

D. **Setbacks**

1. **Street Setbacks.** Buildings shall comply with the street setbacks set in Figure LPSP-12, except where modified for historic adjacency per Section 17.38.060.F. Setback ranges establish a minimum and maximum for the specified percentage of linear frontage; see Figure LPSP- 10.
  - a. Street setbacks are measured from the sidewalk line; see Figure LPSP-3.
  - b. Minimum setbacks shall apply to all stories of a building; setbacks less than the minimum are prohibited. Maximum setbacks shall apply only to the ground floor.
  - c. Exceptions allowed per [Section 17.40.160](#) (Table 4-1) and the following:
    - (1) Arcades and recessed ground floors up to 15 feet in depth, as well as parking entrances per Section 17.38.90, are allowed when a second story meets the specified setback; see Figure LPSP-11.
    - (2) The specified frontage percentage may be reduced for the provision of Publicly Accessible Open Space facing the street through the Design Review process.

**Figure LPSP-10: Street Setback Percentage**



**Figure LPSP-11: Recessed Ground Floor**

*Note: Diagrams used for illustrative purposes only.*

- 
- d. Residential units on the ground floor, where permitted, shall have a minimum setback of 5 feet. Where elevated between 4 and 6 feet above sidewalk elevation, a minimum setback of 8 feet shall be required.
  - e. In MU-G and MU-N, for portions of buildings set back from the sidewalk line 5 feet or more, a percentage of the setback area shall be landscaped with trees, shrubs, and/or groundcover, either in the form of in-ground landscaping or planters; see Table LPSP-3.

**Table LPSP-3: Required Landscape Setbacks**

<u>Frontage with shared entrances to internal circulation</u>	<u>50%</u>
<u>Frontages with individual residential unit entrances</u>	<u>30%</u>
<u>with a stoop taller than 30 inches</u>	<u>10%</u>
<u>Frontages with individual commercial tenant entrances</u>	<u>30%</u>
<u>with outdoor dining</u>	<u>10%</u>

- f. In CF, all required setback areas shall be landscaped except walkways, driveways, and utilities required by Building Code.
- g. Features allowed within the street setback include: landscaping and planters per [Chapter 17.44](#), hardscape (e.g. stoops, patios), shade structures per

## Exhibit 1

Section 17.38.070.D, arcades and galleries per Section 17.38.070.E, walls and fences per Section 17.38.070.F, seating and furniture, outdoor dining, and/or other open space amenities per review authority approval.

**Figure LPSP-12: Street Setbacks**



2. **Interior Setbacks.** Projects shall have a minimum setback of 15 feet where adjacent to a RM/RS district. No setback is required along other interior property lines, except where modified for historic adjacency per Section 17.38.060.F
  - a. Interior setbacks are those abutting other parcels along non-street side and rear property lines and are measured from the shared property line.
  - b. Exceptions allowed per [Section 17.40.160](#) (Table 4-1).

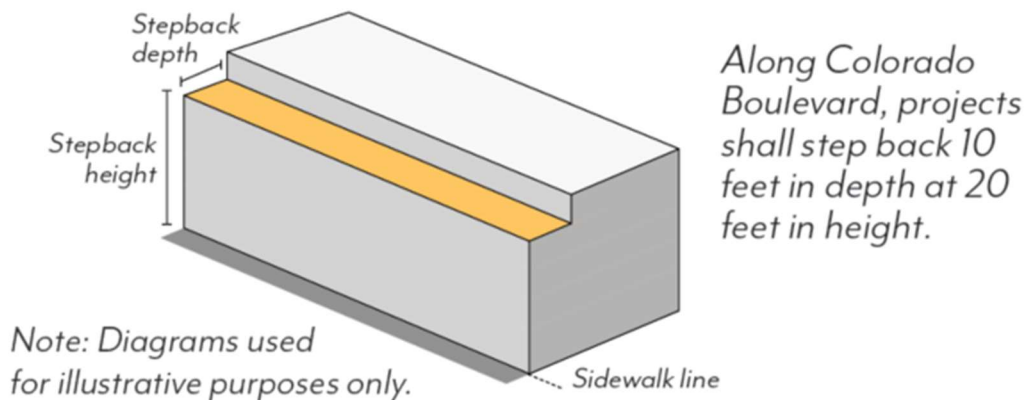
### E. **Stepbacks**

1. **Street Stepbacks.** Along Colorado Boulevard, buildings shall not exceed 20 feet in height before stepping back 10 feet in depth, see Figure LPSP-13.

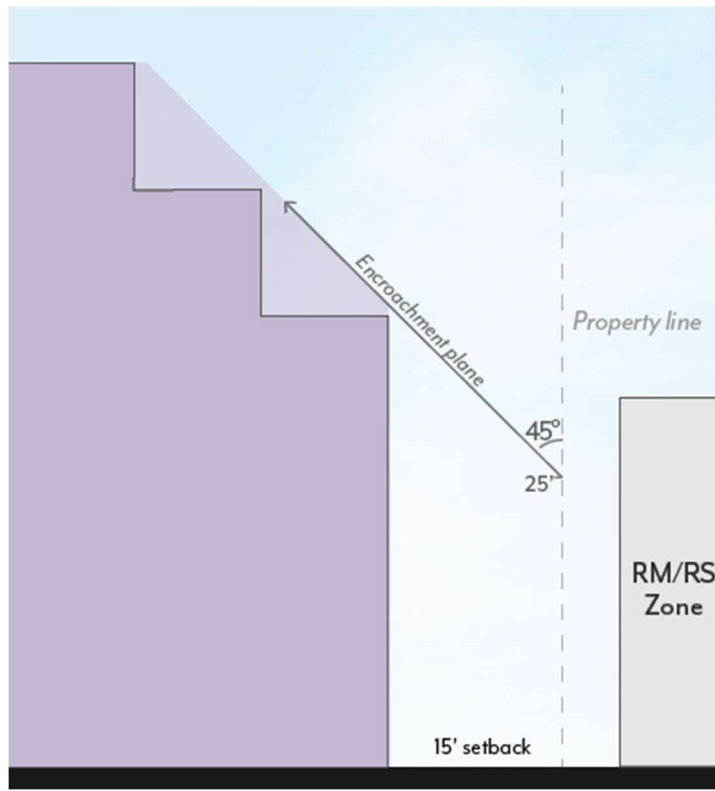
## Exhibit 1

- a. Street stepbacks are measured from the sidewalk line.
  - i. Uses allowed within the street stepback include: Open Space (e.g., balconies, terraces); shade structures, trellises, and similar; Green roofs are photovoltaic panels; and/or other open space features per review authority approval.
2. **Interior Stepbacks.** Adjacent to RM/RS zoning, districts, buildings shall not be located within the encroachment plane sloping upward and inward at a 45-degree angle measured from the vertical, commencing 25 feet above the existing grade along the shared property line; see Figure LPSP-14.
  - a. Exceptions allowed per [Section 17.40.160](#) (Table 4-2.1).

**Figure LPSP-13: Street Stepbacks**



**Figure LPSP-14: Interior Stepbacks Adjacent to RM/RS Zoning Districts**



**F. Historic Adjacency**

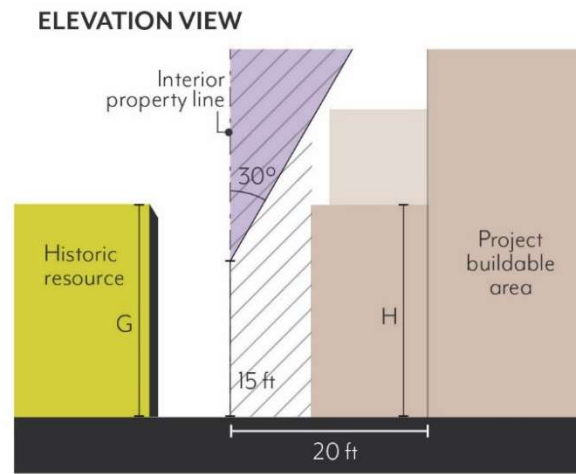
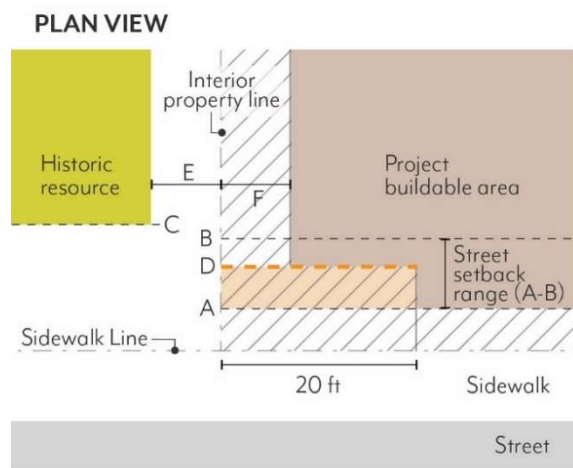
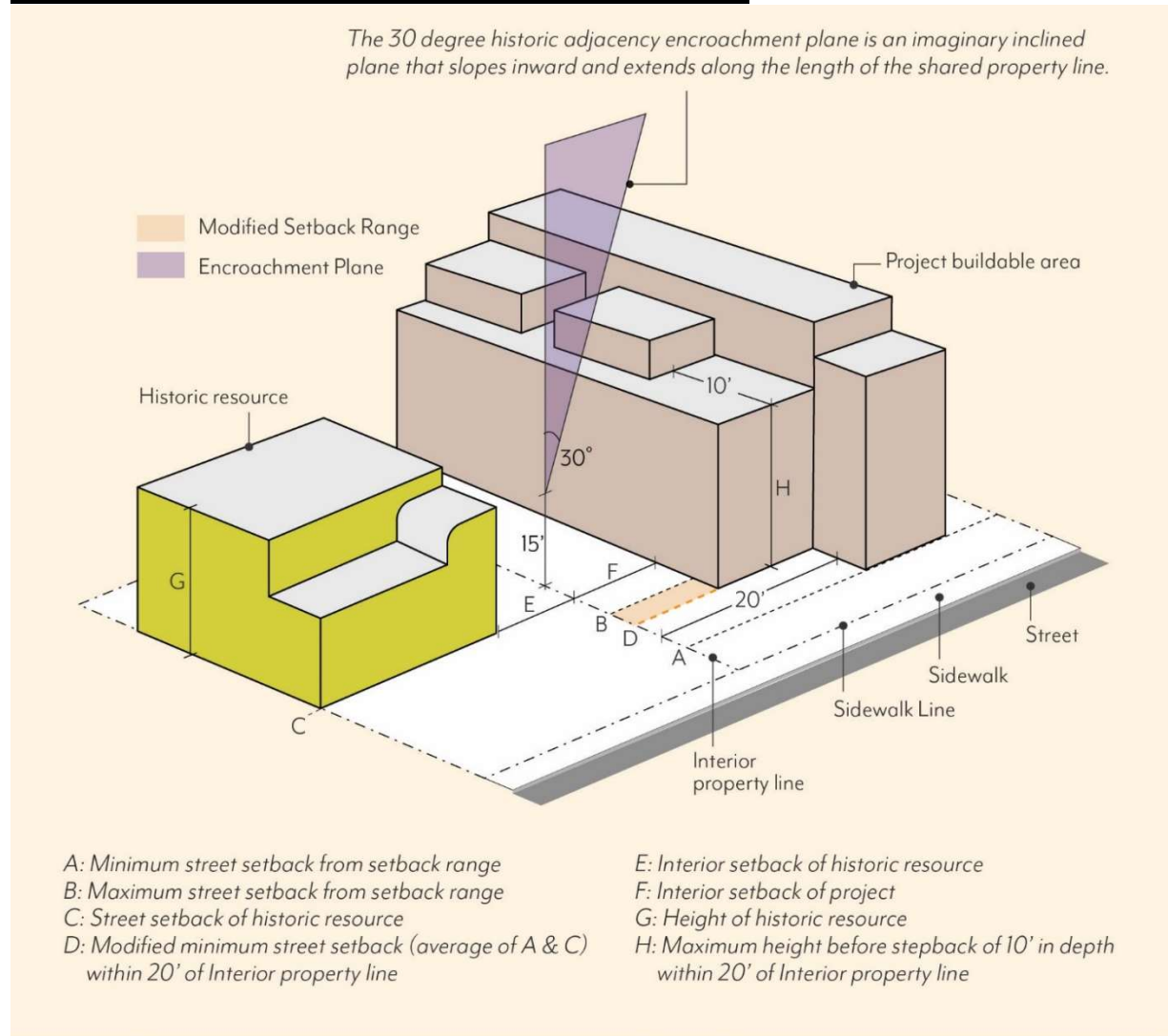
1. **Landmark Properties.** Projects on parcels with a designated historic resource shall be subject to review for consistency with the Secretary of the Interior's Standards.
2. **Transition Massing.** Projects sharing a property line with a designated historic resource are subject to the following modified standards, illustrated in Figure LPSP-15.
  - a. **Street Setbacks.** The minimum street setback shall be an average of the minimum setback set in Figure LPSP-12 and that of the resource for a minimum of 20 feet from the shared property line. If located between two resources, the street setback shall be an average of the setbacks of the two resources.

- b. **Interior Setbacks.** The minimum interior setback shall be equal to that of the historic resource or 15 feet, whichever is less. No setback is required where the resource is built to the shared property line.
- c. **Streetwall Height.** A maximum streetwall height shall not exceed the height of the historic resource for a minimum of 20 feet from the shared property line. A stepback with a minimum depth of 10 feet is required above this height, measured from the modified minimum street setback.
- d. **Interior Stepbacks.** Projects shall not be located within an encroachment plane sloping upward and inward at a 30-degree angle measured from the vertical, commencing 15 feet above the existing grade at the property line; see Figure LPSP-15. This plane is not applicable if the resource is built to the shared property line.



## Exhibit 1

**Figure LPSP-15: Historic Adjacency Transition Massing**

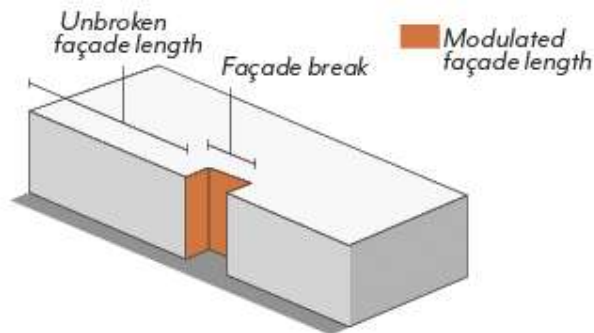


*Note: Diagrams used for illustrative purposes only.*

**G. Modulation**

1. **Façade Length.** In mixed-use districts, street-facing façade shall not exceed 150 feet in length before a minimum break of 10 percent of the building length or 20 feet, whichever is greater. This break shall be a minimum of 10 feet deep, open to the sky; see Figure LPSP-16. Projects in CF are exempt.

**Figure LPSP-16: Maximum Façade Length**



*Façades over 150 feet in length shall include a break at least 10% of the façade length or 20 feet wide (whichever is greater), and 10 feet deep, open to the sky.*

*Note: Diagrams used for illustrative purposes only.*

2. **Façade Area.** Street-facing façades that exceed 50 feet in length shall modulate a minimum percentage of façade area set in Table LPSP-4 a minimum of 2 feet and a maximum of 12 feet in depth from the primary façade plane; see Figure LPSP-17. In mixed-use zoning districts, buildings with a total of 2 stories or less are exempt.

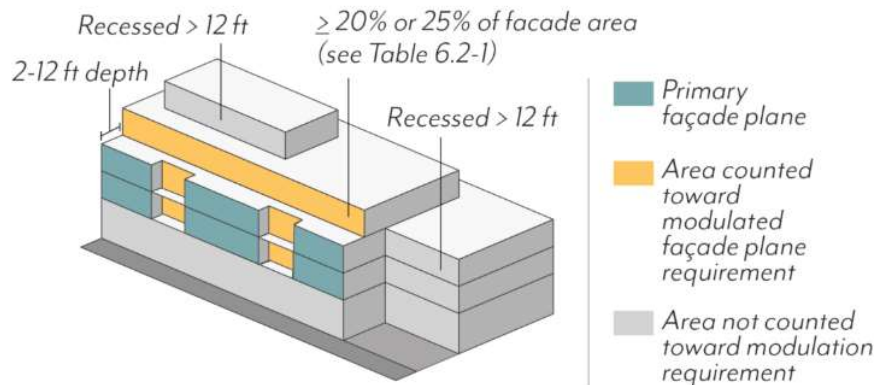
**Table LPSP-4: Modulated Façade Area**

	<b><u>CF</u></b>	<b><u>MU-G</u></b>	<b><u>MU-N</u></b>
<b><u>Minimum percentage</u></b>	<b><u>20%</u></b>	<b><u>25%</u></b>	
<b><u>Façade area</u></b>	<b><u>Overall façade</u></b>	<b><u>Above the first story</u></b>	

- a. **The primary façade plane is defined as the vertical plane with the greatest surface area above the ground floor.**

- b. Planes that are separated by a façade break (Section 17.38.060.G.1) shall be considered separate façades for the purposes of this standard.
- c. Modulation is not required to be continuous or open to the sky, and may be recessed or projected, but not past the sidewalk line.
- d. Required setbacks (Section 17.38.060.E), façade breaks (Section 17.38.060.G.1), and projected balconies (Section 17.38.070.G.1) shall not count toward the modulation requirement; balconies that are recessed a minimum of 2 feet shall qualify.

**Figure LPSP-17: Modulated Façade Area**



*Note: Diagrams used for illustrative purposes only.*

### **3. Alternative Compliance**

- a. **Eligibility.** Modulation standards may be reduced or otherwise modified through the Design Review process if:
  - (1) A minimum of 50 percent of the provided parking is fully or partially subterranean;
  - (2) No other concessions, waivers, or incentives have been requested, including those associated with [Section 17.43](#) (Density Bonus), unless the project is designed to achieve LEED Gold certification; and
  - (3) The review authority makes all of the following findings in this subsection (G)(3)(b).

b. **Required Findings**

- (1) The building design provides modulation on each street-facing façade in a manner consistent with the project's architectural style and/or immediate context, including adjacent historic resources.
- (2) The building design does not cause an adverse impact on the quality of the ground floor and public realm.
- (3) The modification will not be detrimental to the health, safety, and welfare of the public.
- (4) The building design is consistent with the objectives and policies of the General Plan and LPSP, as well as all other standards of the LPSP.

**17.38.070 - Frontage**

These standards are intended to:

- Promote an active, accessible, and attractive pedestrian environment at the ground level;
- Activate the pedestrian street experience through design and use standards;
- Enable flexibility and adaptability over time through quality design; and
- Support a livable urban setting comprised of a range of uses in a comfortable pedestrian environment.

A. **Ground Floor Frontages**

In Mixed-Use zoning districts, ground floor use requirements are regulated by frontage type per Figure LPSP-18 and Table LPSP-5. All use requirements are regulated as a percentage of the building frontage.

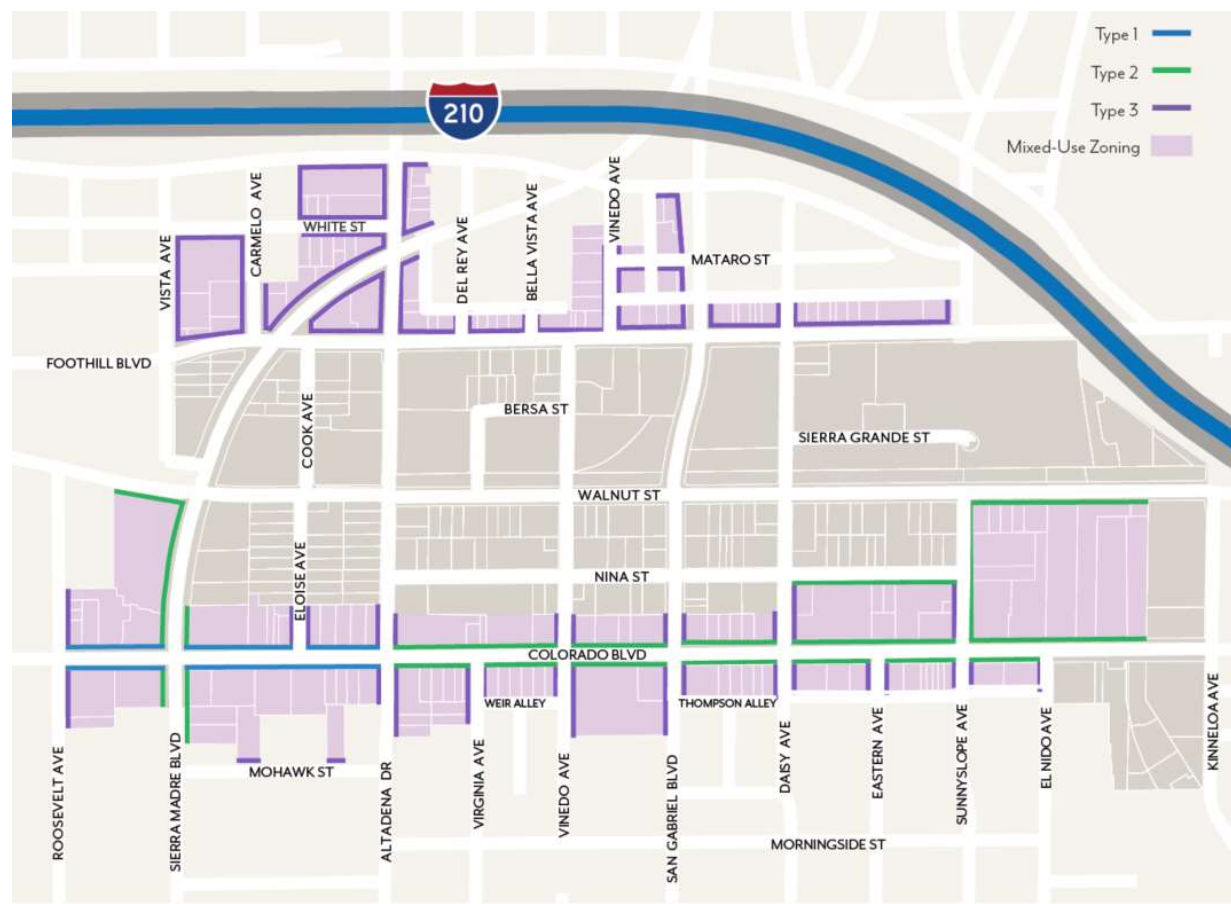
1. **Commercial Uses.** Frontage types require a minimum percent of the building frontage to be comprised of, and designed for, commercial uses per Figure LPSP-18 and Table LPSP-5; see Figure LPSP-19. Permitted commercial uses by zoning district are found in Table LPSP-1.
  - a. Entrances to non-ground floor uses, and/or entrances to uses prohibited within 35 feet of the sidewalk, shall not qualify toward the minimum commercial use percentage.

## Exhibit 1

- b. Commercial uses shall have an average interior depth of at least 35 feet and a minimum depth of 20 feet, measured wall-to-wall.
- 2. **Residential Uses.** Frontage types set limitations on ground floor residential uses facing the street per Figure LPSP-18 and Table LPSP-5. Permitted residential uses by zoning district are found in Table LPSP-1.
  - a. Types 1, 2: Residential units on the ground floor shall be prohibited within 35 feet of the sidewalk line, inclusive of setbacks, per Table LPSP-5; see Figure LPSP-20.
  - b. Type 3: Residential units on the ground floor shall be permitted with direct access to the street and a minimum setback of 5 feet.
  - c. Residential common space on the ground floor shall be permitted per Table LPSP-5.

# Exhibit 1

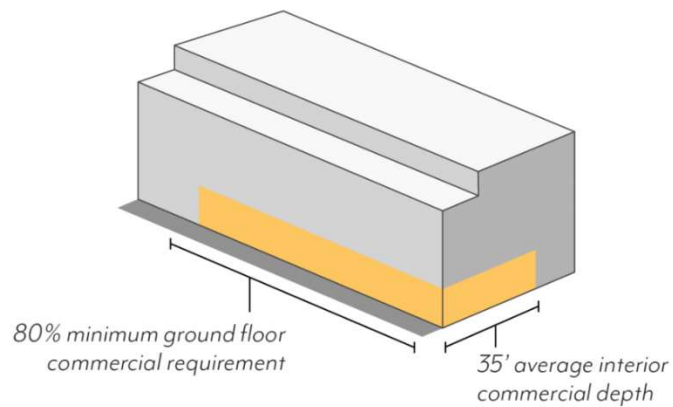
**Figure LPSP-18: Ground Floor Frontage Types**



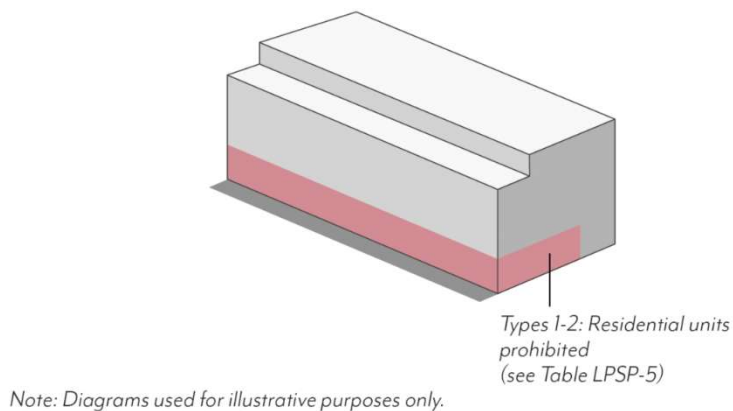
**Table LPSP-5: Allowable Ground Floor Building Frontages in Mixed-Use Zones**

<u>Type</u>	<u>Commercial Uses</u>	<u>Residential Common Space</u>	<u>Residential Dwelling Units</u>
<u>1</u>	<u>80% min.</u>	<u>20% max.</u>	<u>Prohibited within 35' of sidewalk line</u>
<u>2</u>	<u>Allowed, no percentage requirements</u>		
<u>3</u>	<u>Allowed, no percentage requirements</u>		

**Figure LPSP-19: Ground Floor Commercial Uses**



**Figure LPSP-20: Ground Floor Residential Units**



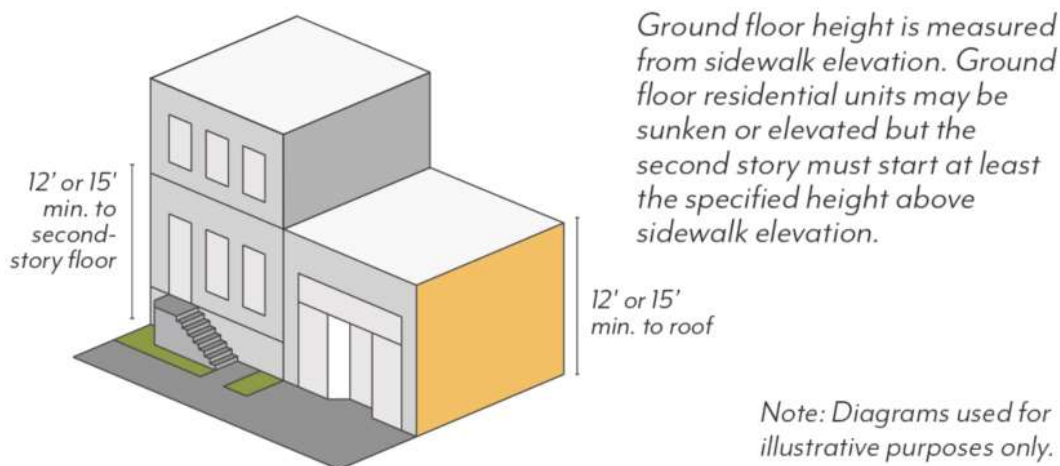
**B. Ground Floor Design**

1. **Entrances.** A minimum of one primary entrance shall be located on the primary frontage within the setback range, connected by a pedestrian pathway a minimum of 4 feet in width that leads directly to the sidewalk.
  - a. Primary entrances shall be distinguished by architectural features or overhead projections, such as an awning or canopy.

## Exhibit 1

- b. On sites with frontages on both Foothill Boulevard and Walnut Street, projects shall provide pedestrian pathways on both frontages.
- c. All entrances shall be recessed a minimum of 30 inches from the sidewalk line.
- 2. **Minimum Height.** Buildings shall have a minimum ground floor height of 12 feet, except those facing Colorado Boulevard, Foothill Boulevard, Sierra Madre Boulevard or Walnut Street, which shall have a minimum ground floor height of 15 feet. This height is measured from sidewalk elevation closest to the primary entrance to the second story floor or roof of a one-story building; see Figure LPSP-21.
  - a. For residential units, the first habitable floor shall be located between 6 feet above and 2 feet below sidewalk elevation.
  - b. For non-residential and residential common space uses, the primary entrance of the first habitable floor shall be located at existing grade along the sidewalk line.
    - (1) Exception: In CF, the primary entrance of the first habitable floor shall be located between 4 feet above and 2 feet below sidewalk elevation.

**Figure LPSP-21: Ground Floor Height**

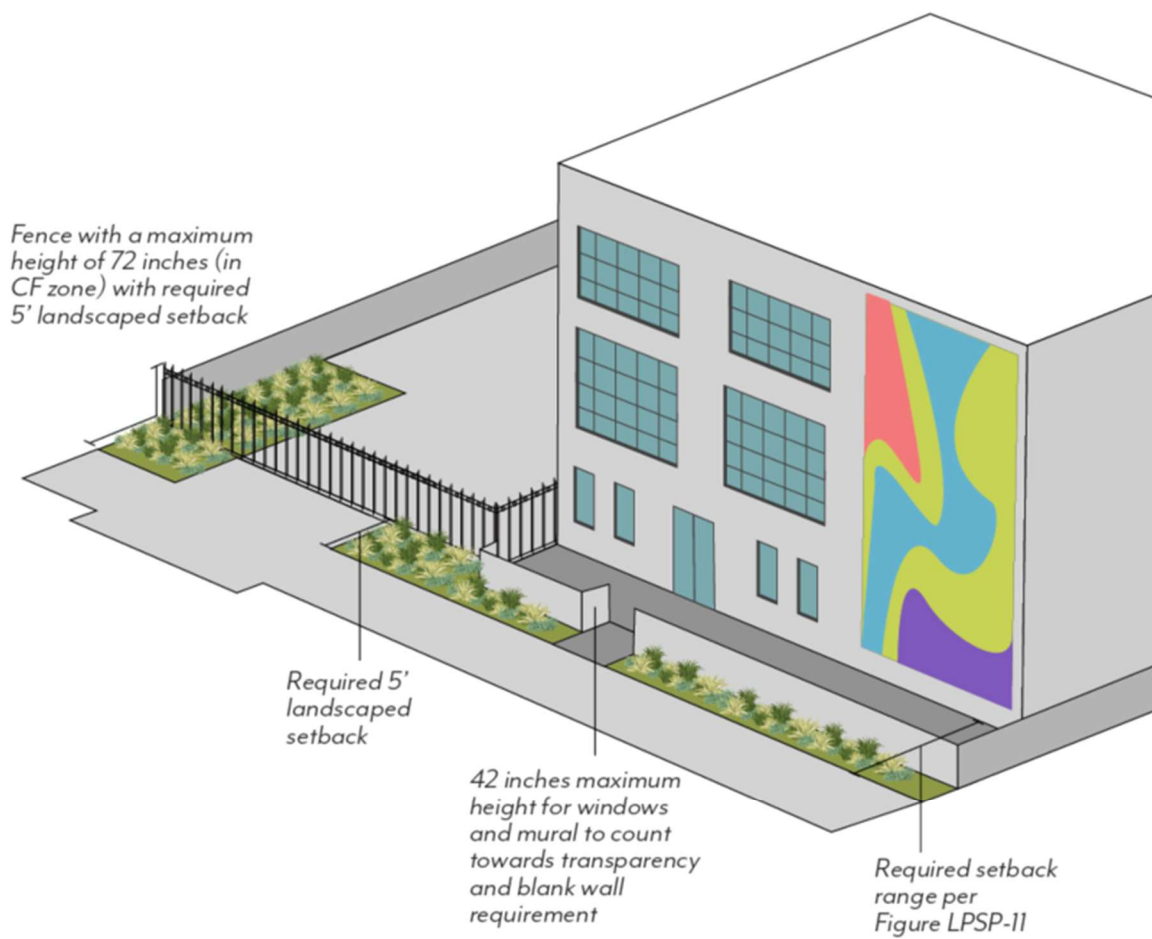




C. **Transparency**

1. **Windows & Doors.** Street-facing façades shall incorporate glass providing views into work, display, sales, lobby, or similar active areas. The minimum transparency requirement is set in Table LPSP-6.
  - a. For non-residential and residential common space uses, ground floor transparency is measured as the percentage of building frontage that consists of transparent openings between a height of 2 feet and 10 feet above sidewalk elevation.
  - b. Overall façade transparency is measured as the percentage of building frontage area, viewed in elevation and excluding any coverage of shading devices.
  - c. Windows shall be recessed a minimum of 2 inches, measured from the outside wall to the frame of the window (mullion, muntin or similar element). Flush windows shall be permitted where exterior shading devices cover a minimum of 25 percent of the window surface area or per review authority approval.
  - d. The use of tinted, mirrored, or highly reflective glass is prohibited.
  - e. Street-facing transparency that is obstructed by walls or fences taller than 42 inches will not be counted toward the required transparency; see Figure LPSP-22.
  - f. Blinds, drapes, posters, and shelving for product displays visible to the public right-of-way shall obscure a maximum of 10 percent of the transparent areas of each respective storefront or 50 percent for medical office uses.

**Figure LPSP-22: Fences, Walls, and Transparency**



*Note: Diagrams used for illustrative purposes only.*

**Table LPSP-6: Minimum Transparency by Use**

<u>Type</u>	<u>Non-residential, Mixed-Use and Residential Common Space</u>			<u>Residential Units</u>		
	<u>CF</u>	<u>MU-G</u>	<u>MU-N</u>	<u>CF</u>	<u>MU-G</u>	<u>MU-N</u>
<u>Ground Floor</u>	<u>30%</u>	<u>60%</u>		<u>N/A</u>	<u>15%</u>	
<u>Overall Façade</u>	<u>15%</u>	<u>30%</u>		<u>N/A</u>	<u>15%</u>	

2. **Blank Façades.** Windowless expanses of street-facing façades shall not exceed 20 feet in length.
  - a. Exception: In CF zoning districts, windowless expanses of street-façades shall not exceed 40 feet in length. Blank façades shall include a minimum of one 24-inch box tree for every 15 linear feet of blank façades, except where public art (e.g., a mural) is provided per [Section 17.40.100](#) (Public Art Requirements and Design Standards).
3. **Security Bars.** Any exterior or interior security bars shall be designed to be fully hidden from view during business hours with devices such as concealed side pockets and ceiling cavities.

**D. Shade Structures**

1. **Awnings & Canopies.** Any ground floor shading shall project a minimum of 3 feet from the façade and allow a minimum of 8 feet of vertical clearance from sidewalk elevation.
  - a. Shade structures shall not conflict with existing trees; exceptions to the depth requirement to accommodate existing trees shall be subject to review authority approval.
2. **Colorado Boulevard.** For projects on the north side of Colorado Boulevard, shade structures are required and shall project a minimum of 7 feet, up to a maximum of 10 feet, into the public right-of-way for a minimum of 70 percent of the building frontage.
  - a. Where an arcade or recessed ground floor provides a minimum of 5 feet of unobstructed pedestrian clearance, shade structures are not required.

E. **Arcades & Galleries**

1. **Arcades.** Any arcades shall be located behind the minimum setback.
  - a. Arcades shall be a minimum of 8 feet from back of column to building façade.
  - b. The distance between columns shall be equal to or greater than the arcade depth dimension, as measured from the column center.
  - c. The façade within the arcade shall meet the ground floor transparency set in Section 17.38.070.C.
  - d. Uses allowed within arcades include: pedestrian travel, seating/street furniture, outdoor dining, landscape planters, and/or bicycle parking.
2. **Galleries.** Any galleries shall be located behind the minimum setback.
  - a. Galleries shall be limited to one-story in height and 50 percent of the building frontage.
  - b. Galleries shall allow a minimum of 10 feet of vertical clearance from sidewalk elevation.

F. **Exterior Fixtures**

1. **Ground Floor Façade Lighting.** Lighting shall be located on façades facing streets and public open spaces at a frequency of every 30 feet or less.
  - a. Lighting shall be full cutoff (directing light downward and outward).
  - b. Fixtures shall be located between 8 and 15 feet above sidewalk elevation and shall not project more than 30 inches from the façade.
  - c. Ground floor residential units shall be able to operate façade lighting attached directly to their unit.
  - d. Façade lighting shall not be required on designated historic resources and districts.

G. **Walls & Fences**

1. **Walls & Fences.** Freestanding walls, fences, and raised/landscape planters shall be permitted within the required street setback.

## Exhibit 1

- a. Walls and fences shall have a maximum height of 48 inches above sidewalk elevation.
  - (1) Exception: In CF, walls and fences shall have a maximum height of 72 inches above the sidewalk elevation. Walls and fences over 48 inches in height shall be set back a minimum of 5 feet from the sidewalk line, separated by planted area.
  - (2) In MU-G and MU-N, walls and fences taller than 42 inches shall be a minimum of 50 percent transparent and set back a minimum of 18 inches from the sidewalk line, separated by planted area. Walls and fences 42 inches or less in height do not have a transparency or setback requirement.
- b. Wall and fences shall not block required transparency per Section 17.38.070.C.1 or murals per Section 17.38.070.C.2.
- c. Walls and fences used to enclose outdoor dining may be located at the sidewalk line and are not required to provide a planted area if the wall or fence is 36 inches or less and more than 50 percent transparent.
- d. Guardrails may exceed the maximum height to the extent required by the Building Code. The guardrail shall be a minimum of 50 percent transparent.
2. **Stoops & Patios.** The side of a patio or stoop (when parallel to a sidewalk) taller than 30 inches in height shall be set back a minimum of 18 inches from the sidewalk line, separated by planted area.

### H. **Balconies & Roof Decks**

1. **Balconies.** Balconies may project a maximum of 4 feet from the building façade but shall not extend beyond the sidewalk line or within 6 feet of any interior property line.
2. **Roof Decks.** The sum of all roof decks on a single building shall not exceed a maximum coverage of 60 percent of the roof area.
  - a. Roof deck railings above the top floor shall be placed behind a parapet wall of at least the same height or shall be set back a minimum of 5 feet from the façade.

**17.38.080 - Open Space**

These standards are intended to:

- Provide a variety of open space types for gathering, recreation and respite that contribute to enhanced livability within an urban setting;
- Give residents access to light, air, and pleasant views from their living spaces;
- Improve building design and site planning through the integration of open space throughout the development; and
- Correlate open space requirements with number of residents and size of buildings.

**A. Minimum Open Space**

1. **Private and Common Open Space.** Projects shall provide the minimum area of Open Space based on use and size. Areas used regularly for parking, loading or storage shall not count towards minimum Open Space requirements.
  - a. **Residential.** Projects with dwelling units shall provide the minimum area of Open Space per Table LPSP-7 as a combination of Private and Common Open Space.
  - b. **Mixed-use.** Projects shall comply with requirements applicable to each type of use above.

**Table LPSP-7: Residential Open Space by Unit Type**

<b><u>Number of Bedrooms</u></b>	<b><u>0</u></b>	<b><u>1</u></b>	<b><u>2</u></b>	<b><u>3+</u></b>
<b><u>Per Unit, sq ft</u></b>	<b><u>125</u></b>	<b><u>150</u></b>	<b><u>200</u></b>	<b><u>250</u></b>

2. **Publicly Accessible Open Space (PAOS).** In MU-N, projects with more than 80,000 square feet of gross floor area (GFA) shall provide Publicly Accessible Open Space based on a percentage of GFA set in Table LPSP-8.
  - a. **PAOS shall be provided in addition to Private and Common Open Space requirements.**

## Exhibit 1

- b. Projects shall comply with PAOS standards per Section 17.38.080.D where relevant.
  - (1) PAOS standards may be modified through the Design Review process, if the review authority finds that the modified design continues to be accessible to the public, functional, and includes features such as landscaping, trees, and outdoor seating.
- c. Research and Development uses may reduce Open Space requirements by a maximum of 60 percent. Research and Development projects (or the Research and Development portion of a project with multiple uses) shall exclude mechanical space from floor area for the required Open Space.

**Table LPSP-8: Required Publicly Accessible Open Space**

<b><u>Project Size (GFA)</u></b>	<b><u>80,000- 159,999 sq ft</u></b>	<b><u>160,000 + sq ft</u></b>
<u>Per Project, sq ft</u>	<u>2%</u>	<u>3%</u>

### **B. Private Open Space**

- 1. **Dimensions.** A minimum area of 40 square feet with a minimum dimension of 5 feet in each direction shall be required for Private Open Space.
- 2. **Distribution.** A maximum of 40 percent of the required residential Open Space set in Table LPSP-7 shall be Private Open Space.
  - a. All Private Open Space shall be outdoors.
  - b. Private Open Space may be located within a required setback.

### **C. Common Open Space**

- 1. **Dimensions.** A minimum area of 400 square feet with a minimum dimension of 15 feet in each direction is required for Common Open Space.
- 2. **Distribution.** A minimum of 60 percent of the required residential Open Space set in Table LPSP-7 shall be Common Open Space shared among tenants.

## Exhibit 1

- a. A minimum of 70 percent of Common Open Space shall be outdoors, and a minimum of 80 percent of outdoor Common Open Space shall be open to the sky.
    - b. A maximum of 30 percent of Common Open Space may be indoors. Indoor Common Open Space shall not include spaces used primarily for circulation.
  3. **Access.** Common Open Spaces may be accessible to the public.
  4. **Hardscape.** A maximum of 25 percent of Common Open Space may be paved in standard concrete. Remaining areas shall use one of the following enhanced paving techniques: brick, natural stone, unit concrete pavers, textured and colored concrete, and/or concrete with exposed or special aggregate. Alternative paving may be allowed per review authority approval.
  5. **Landscape.** A minimum of 25 percent of Common Open Space shall be planted area with a minimum dimension of 30 inches in length, width, and depth. Landscaping shall comply with [Section 17.44.050](#).
  6. **Trees.** A minimum of one 24-inch box tree per project or for every 500 square feet of outdoor Common Open Space, whichever is greater, shall be planted within the Common Open Space. For projects with 2 or more trees, a minimum of 50 percent of trees planted shall be shade trees.
  7. **Water Features.** A maximum of 5 percent of the required Common Open Space shall be fountains, reflecting pools, or other decorative water features. Swimming pools are not considered water features for the purposes of this standard.
- D. **Publicly Accessible Open Space (PAOS)**
1. **Area.** Minimum PAOS requirements are set in Section 17.38.080.A.1 and Table LPSP-8, and may be contiguous or noncontiguous, subject to the dimension and elevation standards below.
  2. **Dimensions.** A minimum area of 400 square feet with a minimum dimension of 20 feet in each direction shall be required for PAOS.
  3. **Access.** A maximum of 20 percent of the PAOS may be used as outdoor dining for a restaurant subject to review authority approval; a minimum of 80 percent of the PAOS shall be accessible to the general public.



4. **Signage.** PAOS shall have signage visible from the adjacent sidewalk identifying the space as a publicly-accessible amenity and listing accessible hours.
5. **Hours.** At a minimum, PAOS shall be open to the general public from 8am to 8pm. Any gated ingress or egress points shall not be closed or locked during these hours.
6. **Elevation.** A minimum of 3,000 square feet of PAOS shall be at sidewalk elevation. If less square footage is required, then all required PAOS shall be at sidewalk elevation.
7. **Hardscape.** A maximum of 25 percent of PAOS shall be paved in standard concrete. Remaining areas shall use one of the following enhanced paving techniques: brick, natural stone, unit concrete pavers, textured and colored concrete, concrete with exposed or special aggregate. Alternative paving may be allowed per review authority approval.
8. **Seating.** Seating shall be provided at a minimum of 1 seat per 300 square feet of required PAOS. Fractions shall be rounded down to the nearest whole number.
  - a. Benches shall be calculated as 1 seat per 24 linear inches.
9. **Landscape.** A minimum of 25 percent of PAOS shall be planted area with a minimum dimension of 30 inches in length, width, and depth. Landscaping shall comply with [Chapter 17.44](#).
10. **Trees.** A minimum of one 24-inch box tree per project or for every 750 square feet of PAOS, whichever is greater, shall be planted. For projects with 2 or more trees, a minimum 50 percent of trees planted shall be shade trees.
  - a. Trees planted in pots on the ground floor shall not be counted towards the tree requirement.
11. **Blank Walls.** PAOS shall adhere to the blank wall standards defined in Section 17.38.070.C.2, or provide one of the following mitigations:
  - a. Green wall, vines, or other vertical landscaping element that covers a minimum of 75 percent of blank wall area.
  - b. Public art including, but not limited to, murals.

12. **Common Open Space Credit.** PAOS in excess of the minimum may count towards a maximum of 30 percent of the Common Open Space requirement at a 1:1 ratio.

### **17.38.090 - Parking**

These standards are intended to:

- Reduce the visual impacts of parking;
- Regulate appropriate parking supply and location in a manner that prioritizes pedestrian access and multi-modal activity;
- Encourage change of use and adaptive reuse of existing buildings through parking reductions and exemptions;
- Promote a more efficient use of parking spaces through shared parking among multiple uses within a project; and
- Increase design standards for surface and structured parking.

#### **A. Minimum Parking**

1. **Number of Spaces.** Projects shall provide off-street automobile parking spaces per Table LPSP-9 based on general use classifications, and subject to the standards of [Section 17.46](#).
- a. Where parking minimums in this Section conflict with state law, state law shall control.
- b. For projects within one-half mile of a Metro station, reductions in parking and a maximum number of parking spaces shall apply per [Section 17.50.340](#).
- c. Bicycle parking shall be required per [Section 17.46.320](#).

**Table LPSP-9: Minimum Parking by Land Use**

<b><u>Use Classification<sup>1</sup></u></b>	<b><u>Number of Spaces</u></b>	<b><u>Exceptions</u></b>
<u>Residential, excluding SRO</u>	<u>≤1-bed: 1 per unit</u> <u>≥2-bed: 1.5 per unit</u> <u>Guest: 1 per 10 units</u>	<u>Guest parking may be shared with commercial parking in mixed-use projects<sup>2</sup></u>
<u>Single-Room Occupancy</u>	<a href="#">Section 17.46.40</a>	
<u>Live/Work Units</u>	<u>1.5 per unit</u>	

## Exhibit 1

<u>Recreation, Education &amp; Public Assembly</u>	<a href="#">Section 17.46.040</a>	
<u>Commercial Entertainment</u>	<u>2 per 1,000 sf</u>	<u>No parking required for first 5,000 sf of a project and 500 sf of outdoor dining per tenant</u>
<u>Office, Professional &amp; Business Support</u>		
<u>Retail Sales (including Restaurants)</u>		
<u>Services (excluding Lodging)</u>		
<u>Lodging</u>	<u>0.5 per room</u>	<u>Plus 5 per 1,000 sf of assembly, banquet or meeting space; no parking required for first 15,000 sf</u>
<u>Industry, Manufacturing &amp; Processing</u>	<u>2 per 1,000 sf</u>	
<u>Transportation, Communications &amp; Utility</u>	<a href="#">Section 17.46.040</a>	
<b><u>Other Exceptions</u></b>		
<u>No new parking required for:</u> <ul style="list-style-type: none"> <li>• <u>Projects within designated historic resources (excluding additions)</u></li> <li>• <u>Changes of use in structures built prior to 1970</u></li> </ul>		
<b><u>Notes:</u></b> <p><u>1 Use classifications correspond to general use categories in Table LPSP-1. The number of spaces listed above shall apply to all uses listed under these general categories, with the exception of specific uses where the parking requirement is lower per Section 17.46.040.</u></p> <p><u>2 No share parking agreement is required; each guest space shall count as 1 commercial space.</u></p>		

2. **Shared Parking.** Parking may be shared among multiple uses per [Section 17.46.050](#).
3. **Unbundled Parking.** For any building with new residential units, automobile parking spaces shall be leased or sold separately from the rental or purchase fees, such that renters or buyers have the option of renting or buying the unit at a lower price than if the parking was included.
  - a. For deed-restricted affordable units, one parking space shall be included in the base rent of each unit. The tenant may choose to receive the parking space or receive a rent discount equivalent to half the amount charged for monthly lease of a parking space. Tenants of affordable units shall not sublease their parking spaces.

- b. Renters or buyers have the right of first refusal to parking built for their unit. Any remaining spaces may be leased to other users on a month-to-month basis. New occupants shall have the opportunity to lease or purchase parking built for their unit.
- c. Unbundled parking is not required for a residential property or unit with an individual garage that is functionally a part of the property or unit (e.g., certain townhome and row houses).

**B. Vehicle Access**

- 1. **Driveways.** For Projects with less than 200 feet of primary street frontage, a maximum of 1 two-lane driveway shall be permitted. For sites with more than 200 feet of primary street frontage, a maximum of 2 two-lane driveways shall be permitted.
  - a. Driveways are not permitted on primary frontages of less than 200 feet where there is access from a secondary street or alley.
  - b. The Zoning Administrator shall determine the primary frontage for purposes of compliance with this subsection.
- 2. **Gates.** Controlled entrances to parking shall be located a minimum of 20 feet from the property line to allow for a queuing vehicle without blocking the public right-of-way.
  - a. Gates at parking entrances shall be designed to conceal associated mechanical equipment from the public right-of-way in compliance with [Section 17.40.150](#).

**C. Layout & Design**

- 1. **Surface Parking.** Parking lots shall comply with [Section 17.46.230](#) with the following exceptions:
  - a. Parking lots shall be set back a minimum of 30 feet from the primary frontage, a minimum of 10 feet from any secondary frontage, and a minimum of 5 feet from RM zoning. Exception: In CF and the area east of Sunnyslope Avenue/north of Colorado Boulevard, parking shall be set back a minimum of 5 feet from all street frontages.

- b. Parking shall be buffered by permitted non-parking uses or a landscaped setback adjacent to the sidewalk line, except for driveways or pedestrian access to the parking area.
    - (1) Landscaped setbacks shall include hedges or shrubs with a minimum height of 3 feet at the time of planting that form a continuous visual screen to block vehicle headlights.
- 2. **Entrances to Structured Parking.** For structured and subterranean parking, vehicular entrances shall employ the same materials and architectural style as the primary building.
  - a. Exterior building materials shall wrap into parking entrances/exits for a minimum of 20 feet from the building façade, except areas not visible from public streets.
  - b. Entrances shall not be larger than the necessary clearance area.
- 3. **Structured Parking.** Along primary frontages in the MU zoning districts, all floors of parking structures shall be lined with building floor area (e.g., commercial or residential uses) or Publicly Accessible Open Space for a minimum of 35 feet in depth. Along secondary frontages and along all street frontages in CF, parking structures shall be set back a minimum of 5 feet. Pedestrian access and driveways in compliance with Section 17.38.90.B are excluded from this requirement.
  - a. Parking structure façades visible from public streets, excluding alleys, shall employ the same materials and architectural style as the primary building.
    - (1) Open areas on the façade shall be designed as windows or screened using heavy-gauge metal, precast concrete panels, laminated glass, green walls, photovoltaic panels, or other material per review authority.
- 4. **Underground Parking.** Subterranean parking shall be set back a minimum of 5 feet from Colorado Boulevard and RM/RS zoning. Otherwise, it may extend up to the property line.

#### **17.38.100 - Definitions**

This Section provides definitions of terms and phrases used in the LPSP that are

technical or specialized or that may not reflect common usage. In case of conflict with other provisions of the Zoning Code, these definitions shall control for the purposes of the LPSP. If a word is not defined in this Chapter, the Zoning Administrator shall determine the correct definition.

**Amenity Zone.** The portion of the sidewalk located above and adjacent to the curb, providing space for amenities such as parkways, outdoor dining, seating, trees, lighting, bicycle racks, bus stops, etc.

**Building Frontage.** The horizontal distance, measured at grade, of building wall facing the street.

**Building Frontage Zone.** The portion of the sidewalk immediately adjacent to the building façade, providing space for planters, outdoor dining, sidewalk signage, etc. This zone may not be present on every street or block.

**Curb Zone.** See ‘amenity zone’

**Façade.** Any exterior wall plane of a building, ground level to top of roof.

**Floor Area Ratio.** Numerical value obtained by dividing the above-ground area of a building or buildings located on a lot by the total area of the lot.

**Footprint.** The total ground floor area of the combined structures on a site or project area defined by the perimeter of the building(s), including parking structures but excluding parking lots and non-occupancy structures.

**Frontage Zone.** See ‘building frontage zone’

**Gross Floor Area (GFA).** The total enclosed area of all floors of a building measured to the inside face of the exterior walls including halls, stairways, elevator shafts at each floor level, service and mechanical equipment rooms and basement or attic areas having a height of more than seven feet, but excluding area used exclusively for parking or loading of vehicles or bicycles.

**Ground Floor.** The first habitable floor of a building closest to sidewalk elevation.

**Mixed-Use Project.** The combination of commercial and residential uses in the same structure, where the residential component is located either above (vertical mixed-use) or behind (horizontal mixed-use) the non-residential component. Non-residential uses are typically commercial uses.

**Open Space.** For any form of open space (Common, Publicly Accessible, Private, etc), see Section 17.38.080 of the LPSP.

**Parkway.** Landscaped or permeable areas located within the amenity zone of the sidewalk.

**Paseo.** A publicly accessible open space that functions as a pedestrian passageway connecting a public street to another public street, alley, or internal public space. Subject to minimum dimension and design requirements established by the LPSP.

**Plaza.** A publicly accessible open space with access from a public street. Subject to minimum dimension and design requirements established by the LPSP.

**Primary Curb Line.** The face of the predominant curb of an individual block forming the edge of the street.

**Primary Frontage.** The portion of a site adjacent to the street. For a site with multiple street frontages, the primary frontage is determined by the Zoning Administrator. There shall be only one primary frontage per site.

**Project.** Refer to Section 17.80.020.

**Residential Common Space.** Those portions of a residential use building not dedicated to residential units that provide common services for residents. This may include spaces such as, but is not limited to, lobby or common building entry, leasing center, gyms/exercise space, shared kitchen, recreation center, screening or living room, business center, mail room, or library. These spaces/portions of the building may be permitted on the ground floor where residential units are not permitted subject to the LPSP standards.

**Setback.** The horizontal distance by which a structure, parking area, or development feature is required to be separated from the property line or the sidewalk line where applicable. In some cases superseded by Setback range.

**Setback, Interior.** Non-street side or rear setback measured at a right angle from the nearest point of the property line abutting another parcel or alley to the nearest portion of the structure, excluding any porches.

**Setback, Street.** Front or street-side setback measured at a right angle from the nearest point of the sidewalk line to the nearest portion of the structure, excluding any porches.

**Setback Range.** Minimum and maximum horizontal distances by which a structure or development feature is required to be separated from the sidewalk line. This measurement is similar to a “build-to” line.

**Sidewalk Line.** The line parallel to the property line accommodating the required sidewalk width, measured from the curb face. Where a sidewalk width is not specified, the sidewalk line is the property line.

**Sidewalk Zones.** The three portions of a sidewalk that together comprise the public

realm between a building and the street. Sidewalk zones are defined by the Pasadena Street Design Guide and regulated by the LPSP.

**Shared Property Line.** The property line separating adjacent parcels.

**Stepback.** The horizontal distance by which an upper story structure or development feature is required to be separated from the property line or the sidewalk line where applicable. Regulated above a specified vertical distance.

**Street Frontage.** The horizontal distance along the street, measured at grade, between property lines (or sidewalk line where applicable) that are perpendicular to the adjacent street.

**Streetwall.** Any building façade that faces a street within 10 feet of the minimum sidewalk line.

**Streetwall Height.** The portion of the street-facing building façade that rises from the sidewalk level to the required height without an additional setback or stepback.

**Subterranean.** The level of a building, inclusive of parking or habitable space, located primarily below the ground level with a top plate of two feet or less above sidewalk elevation.

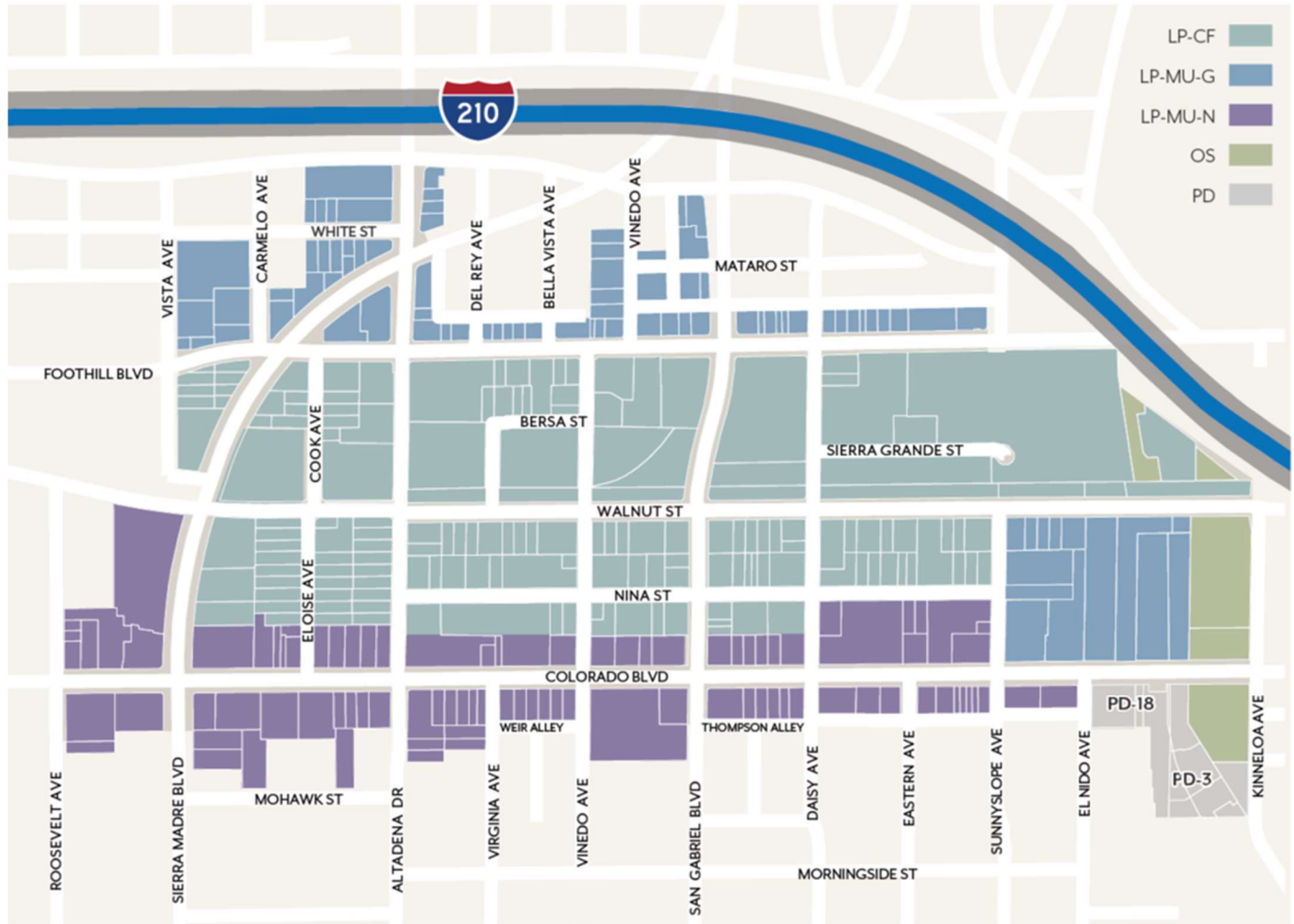
**Transparent Openings.** Building openings (windows or doors) or transparent glazing that provide visual access into the structure.

**Unbundled Parking.** Parking spaces, in any permitted configuration, rented or sold separately from the lease or purchase price of a residential unit.

**Walk Zone.** The portion of the sidewalk dedicated to pedestrian movement, clear of any obstructions.



## NEW ZONING DISTRICT MAP



## **Chapter 17.38 – East Colorado Specific Plan 2003<sup>[4]</sup>**

### **17.38.010 – Purpose of Chapter**

~~This Chapter lists the land uses that may be allowed within the zoning districts established by the East Colorado Specific Plan (ECSP), determines the type of land use permit/approval required for each use, and provides basic standards for site layout and building size.~~

~~(Ord. No. [7394](#), § 2(Exh. 1), 6-13-2022)~~

### **17.38.020 – Purposes of ECSP Zoning Districts**

~~The purpose of the ECSP zoning districts is to implement the East Colorado Specific Plan by balancing and optimizing economic development, historic preservation, and the maintenance of local community culture, and to:~~

- ~~A. Promote a vibrant mix of land uses, a unified streetscape, and a series of distinctive "places" along the Boulevard.~~
- ~~B. Improve the appearance, function, and urban ambiance of East Colorado Boulevard.~~
- ~~C. Identify areas of East Colorado Boulevard, which are appropriate locations for developing mixed-use and housing projects, and areas where commercial development should be concentrated.~~
- ~~D. Retain the eclectic mix of uses and protect the vitality of small, independent businesses. Uphold Colorado Boulevard as a location for specialty and niche retail businesses.~~
- ~~E. Beautify the streetscape through installation of street trees, street and median landscaping to soften the urban edge, and a consistent selection of urban furnishings.~~
- ~~F. Create a pedestrian-friendly environment that balances the needs of pedestrians and vehicular traffic, recognizing the heavy local and regional use of Colorado Boulevard.~~
- ~~G. Protect historic resources and honor the past of Colorado Boulevard and its surrounding communities through subarea identification and remembrance of Colorado Boulevard as Route 66.~~
- ~~H. Effectively plan for the utilization of the light rail stations at Allen Avenue and Sierra Madre Villa at the 210 Freeway through the establishment of special development standards in these light rail "nodes".~~

~~(Ord. No. [7394](#), § 2(Exh. 1), 6-13-2022)~~

### **17.38.030 – Applicability**

### Exhibit 3

~~The standards of the ECSP zoning districts apply to proposed development and new land uses in the following areas, as shown on the Zoning Map.~~

- ~~A. **ECSP-CG-1.** The Mid-City area.~~
- ~~B. **ECSP-CG-2.** The College District area.~~
- ~~C. **ECSP-CG-3.** The Gold Line-General Commercial area.~~
- ~~D. **ECSP-CL-3.** The Gold Line-Limited Commercial area.~~
- ~~E. **ECSP-CG-4.** The Route 66 area.~~
- ~~F. **ECSP-CG-5.** The Lamanda Park area.~~
- ~~G. **ECSP-CG-6.** The Chihuahuita area.~~

~~(Ord. No. [7394](#), § 2(Exh. 1), 6-13-2022)~~

#### ~~17.38.040 – ECSP District Land Uses and Permit Requirements~~

- ~~A. **Allowable land uses and permit requirements.** Table 3-3 identifies the uses of land allowed by this Zoning Code in each residential zoning district, and the land use permit required to establish each use, in compliance with [Section 17.21.030](#) (Allowable Land Uses and Permit Requirements). The land use permit requirements established by Table 3-3 are as follows.~~

Symbol	Permit Requirement	Procedure is in Section:
P	Permitted use, Code Compliance Certificate required.	<a href="#">17.61.020</a>
MC	Conditional use, Minor Conditional Use Permit required.	<a href="#">17.61.050</a>
C	Conditional use, Conditional Use Permit required.	<a href="#">17.61.050</a>
E	Conditional use, Expressive Use Permit required.	<a href="#">17.61.060</a>
TUP	Temporary use, Temporary Use Permit required.	<a href="#">17.61.040</a>
—	Use not allowed. (See Section 17.21.030.A regarding uses not listed.)	

**Note:** the right column in the tables ("Specific Use Standards") will show a section number for regulations that apply to the particular use listed in addition to the other general standards of this Zoning Code.

Exhibit 3

**TABLE 3-3—ALLOWED USES AND PERMIT REQUIREMENTS  
FOR ECSP ZONING DISTRICTS**

LAND-USE (1)	PERMIT REQUIREMENT BY ZONE							Specific Use Standards
	ECSP CG-1	ECSP CG-2	ECSP CL-3	ECSP CG-3	ECSP CG-4	ECSP CG-5	ECSP CG-6	
RESIDENTIAL USES								
Accessory dwelling unit	—	—	P	—	—	—	—	<a href="#">17.50.275</a>
Boarding houses	—	—	P	—	—	—	—	
Caretakers quarters	P	P	P	P	P	P	P	
Dormitories	—	—	P	—	—	—	—	
Fraternity/sorority housing	—	—	P	—	—	—	—	
Home occupations	P	P	P	P	—	P	P	<a href="#">17.50.110</a>
Mixed-use projects (4)	P	P	P	P (2)	—	P	P (2)	<a href="#">17.50.160</a>
Multi-family housing	—	—	P	P (2)	—	—	P (2)	<a href="#">17.50.350</a>
Residential accessory uses and structures	P	P	P	P	—	P	P	<a href="#">17.50.250</a>
Residential care facilities, general	C (6)	C (6)	C (6)	C (6)	C (6)	C (6)	C (6)	
Residential care facilities, limited	— (10)	— (10)	P	P (2)	—	—	P (2)	
Single-family housing	—	—	P	—	—	—	—	
Single-room occupancy	—	—	—	—	—	P	—	<a href="#">17.50.300</a>
Supportive housing	— (10)	— (10)	P	P (2)	—	—	P (2)	
Transitional housing	— (10)	— (10)	P	P (2)	—	—	P (2)	
RECREATION, EDUCATION & PUBLIC ASSEMBLY USES (7, 8, 9)								
Clubs, lodges, private	P	P	MC (5)	P	P	P	—	

Exhibit 3

**TABLE 3-3—ALLOWED USES AND PERMIT REQUIREMENTS  
FOR ECSP ZONING DISTRICTS**

LAND USE (1)	PERMIT REQUIREMENT BY ZONE							Specific Use Standards
	ECSP CG-1	ECSP CG-2	ECSP GL-3	ECSP GG-3	ECSP GG-4	ECSP CG-5	ECSP CG-6	
meeting halls (6)								
Colleges—Nontraditional campus setting	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	
Colleges—Traditional campus setting	—	C (6)	—	C (6)	C (6)	—	—	
Commercial entertainment	E (4)	E (4)	E (4)	E (4)	E (4)	E (4)	E (4)	<a href="#">17.50.130</a>
Commercial recreation—Indoor	C (4)	C (4)	C (4)	C (4)	C (4)	C (4)	C (4)	<a href="#">17.50.130</a>
Commercial recreation—Outdoor	C (4)	C (4)	C (4)	C (4)	C (4)	C (4)	C (4)	<a href="#">17.50.130</a>
Cultural institutions	P (6)	P (6)	P (6)	P (6)	P (6)	P (6)	P (6)	
Electronic game centers	C (4)	C (4)	C (4)	C (4)	C (4)	C (4)	C (4)	<a href="#">17.50.100</a>
Internet access studio	C (4)	C (4)	C (4)	C (4)	C (4)	C (4)	C (4)	<a href="#">17.50.100</a>
Park and recreation facilities	G	G	G	G	G	P	G	
Religious facilities (6)	G	G	G	G	G	G	G	<a href="#">17.50.230</a>
—with columbarium	MG	MG	MG	MG	MG	MG	MG	<a href="#">17.50.230</a>
—with temporary homeless shelter	C (6)	C (6)	C (6)	C (6)	C (6)	C (6)	C (6)	<a href="#">17.50.230</a>
Schools—Public and private	C (6)	C (6)	C (6)	C (6)	C (6)	C (6)	C (6)	<a href="#">17.50.270</a>
Schools—Specialized education and training	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	

Exhibit 3

**TABLE 3-3—ALLOWED USES AND PERMIT REQUIREMENTS  
FOR ECSP ZONING DISTRICTS**

LAND USE (1)	PERMIT REQUIREMENT BY ZONE							Specific Use Standards
	ECSP CG-1	ECSP CG-2	ECSP GL-3	ECSP CG-3	ECSP CG-4	ECSP CG-5	ECSP CG-6	
Street fairs	P	P	P	P	P	P	P	
Tents	TUP	TUP	TUP	TUP	TUP	TUP	TUP	<a href="#">17.50.320</a>
<b>OFFICE, PROFESSIONAL &amp; BUSINESS SUPPORT USES (7, 8, 9)</b>								
Automated teller machines (ATM)	P	P	P	P	P	P	P	<a href="#">17.50.060</a>
Banks and financial services	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	
—with walk-up services	P	P	P	P	P	P	P	<a href="#">17.50.060</a>
Business support services	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	
Offices—Accessory	P	P	P	P	P	P	P	
Offices—Administrative business professional	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	
Offices—Government	P (6)	P (6)	P (6)	P (6)	P (6)	P (6)	P (6)	
Offices—Medical	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	
Research and development—Offices	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	<a href="#">17.50.240</a>
Work/live units	G (4)	G (4)	G (4)	G (4)	G (4)	G (4)	G (4)	<a href="#">17.50.370</a>
<b>RETAIL SALES (7, 8, 9)</b>								
Alcohol sales—Beer and wine	G	G	G	G	G	G	G	<a href="#">17.50.040</a>
Alcohol sales—Full alcohol sales	G	G	G	G	G	G	G	<a href="#">17.50.040</a>

Exhibit 3

**TABLE 3-3—ALLOWED USES AND PERMIT REQUIREMENTS  
FOR ECSP ZONING DISTRICTS**

LAND USE (1)	PERMIT REQUIREMENT BY ZONE							Specific Use Standards
	ECSP CG-1	ECSP CG-2	ECSP GL-3	ECSP CG-3	ECSP CG-4	ECSP CG-5	ECSP CG-6	
Animal services—Retail sales	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	
Bars or taverns	C (4)	C (4)	C (4)	C (4)	C (4)	C (4)	C (4)	<a href="#">17.50.040</a>
— with live entertainment	C	C	C	C	C	C	C	<a href="#">17.50.130</a>
Building materials and supplies sales	—	—	P (4)	—	—	—	P (4)	
Commercial nurseries	—	—	C (4)	P (4)	P (4)	P (4)	P (4)	<a href="#">17.50.180</a>
Convenience stores	C	C	C	C	C	C	C	
Food sales	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	
Internet vehicle sales	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	
Liquor stores	C (4)	C (4)	C (4)	C (4)	C (4)	C (4)	C (4)	<a href="#">17.50.040</a>
Pawnshops	C (4)	C (4)	C (4)	—	C (4)	C (4)	C (4)	<a href="#">17.50.200</a>
Personal property sales	—	—	P	—	—	—	—	<a href="#">17.50.190</a>
Restaurants	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	<a href="#">17.50.260</a>
Restaurants, fast food	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	<a href="#">17.50.260</a>
Restaurants, formula fast food	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	<a href="#">17.50.260</a>
Restaurants with limited live entertainment	P	P	P	P	P	P	P	
Restaurants with walk-up window	C	C	C	C	C	C	C	<a href="#">17.50.260</a>
Retail sales	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	

Exhibit 3

**TABLE 3-3—ALLOWED USES AND PERMIT REQUIREMENTS  
FOR ECSP ZONING DISTRICTS**

LAND USE (1)	PERMIT REQUIREMENT BY ZONE							Specific Use Standards
	ECSP CG-1	ECSP CG-2	ECSP GL-3	ECSP CG-3	ECSP CG-4	ECSP CG-5	ECSP CG-6	
Seasonal merchandise sales	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	<a href="#">17.50.180</a>
Significant tobacco retailers	C (4)	C (4)	—	C (4)	C (4)	C (4)	C (4)	<a href="#">17.50.330</a>
Swap meets	—	C (4)	—	—	—	C (4)	C (4)	
Temporary uses	TUP	TUP	TUP	TUP	TUP	TUP	TUP	
Vehicle services— Automobile rental	—	—	—	P (4)	P (4)	—	P (4)	
Vehicle services—Sales and leasing	C (4)	C (4)	—	C (4)	C (4)	—	C (4)	<a href="#">17.50.360</a>
Vehicle services—Sales and leasing—limited	P	P	—	P	P	P	P	<a href="#">17.50.360</a>
Vehicle services—Service stations	—	—	—	C (4)	C (4)	—	C (4)	<a href="#">17.50.290</a>
<b>SERVICES (7, 8, 9)</b>								
Adult day care—General	C (6)	C (6)	C (6)	C (6)	C (6)	C (6)	C (6)	
Adult day care—Limited	—	P	P	—	—	C	—	
Ambulance services	—	—	—	P (4)	P (4)	—	P (4)	
Animal services— Grooming	—	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	
Animal services—Hospitals	—	—	—	P (4)	P (4)	—	P (4)	<a href="#">17.50.050</a>
Catering services	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	
Charitable institutions	C (6)	C (6)	C (6)	C (6)	C (6)	C (6)	C (6)	



Exhibit 3

**TABLE 3-3—ALLOWED USES AND PERMIT REQUIREMENTS  
FOR ECSP ZONING DISTRICTS**

LAND USE (1)	PERMIT REQUIREMENT BY ZONE							Specific Use Standards
	ECSP CG-1	ECSP CG-2	ECSP GL-3	ECSP CG-3	ECSP CG-4	ECSP CG-5	ECSP CG-6	
Child day care centers	P	—	—	P	P	P	—	<a href="#">17.50.080</a>
Child day care—Large care home, 9 to 14 persons	—	—	P	—	—	—	—	<a href="#">17.50.080</a>
Child day care—Small care home, 1 to 8 persons	—	—	P	—	—	—	—	
Drive-through business—Nonrestaurants	—	—	—	G	G	—	G	<a href="#">17.50.090</a>
Drive-through business—Restaurants	—	—	—	G	G	—	G	<a href="#">17.50.090</a>
Emergency shelters	MG	MG	—	MG	MG	MG	MG	
Filming, long-term	G	G	G	G	G	G	G	
Filming, short-term	P	P	P	P	P	P	P	
Laboratories	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	
Life/care facilities	G	G	G	G	G	G	G	<a href="#">17.50.120</a>
Lodging—Bed and breakfast inns	—	—	G	—	—	—	—	<a href="#">17.50.140</a>
Lodging—Hotels, motels	G (4)	G (4)	—	G (4)	G (4)	G (4)	G (4)	<a href="#">17.50.150</a>
Maintenance or repair services	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	
Massage establishments	G (4)	G (4)	—	G (4)	G (4)	G (4)	G (4)	<a href="#">17.50.155</a>
Medical services—Extended care	—	—	G (6)	—	—	G (6)	—	

Exhibit 3

**TABLE 3-3—ALLOWED USES AND PERMIT REQUIREMENTS  
FOR ECSP ZONING DISTRICTS**

LAND USE (1)	PERMIT REQUIREMENT BY ZONE							Specific Use Standards
	ECSP CG-1	ECSP CG-2	ECSP GL-3	ECSP CG-3	ECSP CG-4	ECSP CG-5	ECSP CG-6	
Medical services— Hospitals	C (6)	C (6)	—	C (6)	C (6)	C (6)	C (6)	
Mortuaries, funeral homes	—	—	—	P (4)	P (4)	—	P (4)	
Personal improvement services	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	
Personal services	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	
Personal services, restricted	C (4)	C (4)	—	C (4)	C (4)	C (4)	C (4)	<a href="#">17.50.200</a>
Printing and publishing	P (4)	P (4)	C (4)	P (4)	P (4)	P (4)	P (4)	
Printing and publishing, limited	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	
Public safety facilities	C (6)	C (6)	C (6)	C (6)	C (6)	C (6)	C (6)	
Sexually oriented businesses	P	P	—	P	P	P	P	<a href="#">17.50.295</a>
Vehicle services— Vehicle/equipment repair	C (4)	—	—	C (4)	C (4)	—	C (4)	<a href="#">17.50.360</a>
Vehicle services—Washing and detailing	—	—	—	C (4)	C (4)	—	C (4)	<a href="#">17.50.290</a>
Vehicle services— Washing/detailing, small- scale	—	—	P	P	P	—	P	<a href="#">17.50.290</a>
<b>INDUSTRY, MANUFACTURING &amp; PROCESSING USES (7, 8, 9)</b>								
Industry, restricted	—	—	—	C (4)	C (4)	—	C (4)	
Industry, restricted, small- scale	—	—	—	C	C	C	C	

Exhibit 3

**TABLE 3-3—ALLOWED USES AND PERMIT REQUIREMENTS  
FOR ECSP ZONING DISTRICTS**

LAND USE (1)	PERMIT REQUIREMENT BY ZONE							Specific Use Standards
	ECSP CG-1	ECSP CG-2	ECSP GL-3	ECSP CG-3	ECSP CG-4	ECSP CG-5	ECSP CG-6	
Recycling—Small collection facility	—	G	G	G	G	G	G	<a href="#">17.50.220</a>
Research and development—Non-offices	—	G (4)	G (4)	P (4)	P (4)	G (4)	P (4)	<a href="#">17.50.240</a>
Wholesaling, distribution and storage	—	—	—	—	—	—	G (4)	
Wholesaling, distribution and storage, small scale	—	—	—	—	—	—	G	
<b>TRANSPORTATION, COMMUNICATIONS &amp; UTILITY USES</b>								
Alternative fuel/recharging facilities (4, 7, 8, 9)	G	G	G	G	G	G	G	
Accessory antenna arrays	P	P	P	P	P	P	P	
Communications facilities (4, 7, 8, 9)	G	G	—	G	G	G	G	
Commercial off-street parking (7, 9)	MG	MG	MG	MG	MG	MG	MG	
Heliports	G	—	—	—	—	—	—	
Transportation terminals	—	—	G	—	—	—	G	
Utility, major	G	G	G	G	G	G	G	
Utility, minor	P	P	P	P	P	P	P	
Vehicle storage (4, 7, 8)	—	—	—	—	—	—	G	
Wireless telecommunications facilities—Minor	MG	MG	MG	MG	MG	MG	MG	<a href="#">17.50.310</a>

Exhibit 3

**TABLE 3-3—ALLOWED USES AND PERMIT REQUIREMENTS  
FOR ECSP ZONING DISTRICTS**

LAND USE (1)	PERMIT REQUIREMENT BY ZONE							Specific Use Standards
	ECSP CG-1	ECSP CG-2	ECSP CL-3	ECSP CG-3	ECSP CG-4	ECSP CG-5	ECSP CG-6	
Wireless telecommunications facilities—Major	G	G	G	G	G	G	G	<a href="#">17.50.310</a>
Wireless telecommunications facilities, SCL	P	P	P	P	P	P	P	<a href="#">17.50.310</a>
<b>TRANSIT-ORIENTED DEVELOPMENT</b>								
Transit-oriented development (4, 7)	—	—	P	—	—	—	P	<a href="#">17.50.340</a>
<p><b>Notes:</b></p> <p>(1) See <a href="#">Section 17.80.020</a> for definitions of the listed land uses.</p> <p>(2) Mixed-use projects and multi-family housing permitted only within 1/4 mile of light rail platform.</p> <p>(3) Not used.</p> <p>(4) Conditional Use Permit approval required for new construction exceeding 25,000 sq. ft. See Section 17.61.050.J for additional requirements.</p> <p>(5) A minor conditional use permit is required to establish a new use. An existing use is a permitted (P) use.</p> <p>(6) A use established on a site greater than two acres after June 30, 1985, shall require a zone change to PS (Public, Semi Public).</p> <p>(7) Uses subject to limitations on hours of operation. See <a href="#">Section 17.40.070</a> (Hours of Operation).</p> <p>(8) If within 300 feet of an R District this use shall be limited to 10 one-way truck trips by large trucks per day per six day work week. This restriction shall apply to new uses and uses that expand by more than 30 percent of the gross floor area. This restriction shall not apply if the site or the adjacent R District is within 500 feet of a freeway.</p> <p>(9) No more than five large trucks (except trucks associated with vehicle services—sales and leasing) shall be stored on each lot. This restriction shall apply to new uses or uses that expand by more than 30 percent of the gross floor area.</p> <p>(10) The use is permitted if it is located within a mixed-use project.</p>								

(Ord. No. [7420](#), § 3, 4-15-2024; Ord. No. [7418](#), § 2, 2-26-2024; Ord. No. [7414](#), § 2, 9-11-2023; Ord. No. [7402](#), § 2, 9-19-2022; Ord. No. [7394](#), § 2(Exh. 1), 6-13-2022; Ord. 7326 § 6, 2018; Ord. 7321 § 3 (Exh. 1), 2018; Ord. No. 7313, § 6, 2017; Ord. 7300 § 6 (Exh. 5), 2017; Ord. 7255 § 5 (Exh. 4), 2015; Ord. 7210 § 4, 2011; Ord. 7164 § 6, 2009; Ord. 7160 §§ 7, 14, 2009; Ord. 7148 § 2 (Exh. 1), 2008; Ord. 7099 § 12, (Exh. 8), 2007; Ord. 7009 § 10, 2005)

# Exhibit 3

## 17.38.050 – ECSP General Development Standards

Subdivisions, new land uses and structures, and alterations to existing land uses and structures, shall be designed, constructed, and established in compliance with the requirements of this Section, in addition to the applicable standards (e.g., landscaping, parking and loading, etc.) in [Article 4](#) (Site Planning and General Development Standards) and 5 (Standards for Specific Land Uses). Principal and accessory structures shall meet the same development standards unless otherwise modified in this Zoning Ordinance.

A. **Table 3-4 standards.** The standards in Table 3-4 apply to residential projects, nonresidential projects and all projects, as noted, within a ECSP zoning district.

B. Reserved.

TABLE 3-4 – EAST COLORADO SPECIFIC PLAN DEVELOPMENT STANDARDS							
Development feature	Requirement by Zoning District						
	ECSP- CG-1	ECSP- CG-2	ECSP- CG-3	ECSP- CL-3	ECSP- CG-4	ECSP- CG-5	ECSP- CG-6
<b>Minimum lot size</b>	<i>Minimum area and width for new lots.</i>						
	Determined through the subdivision process.						
<b>Residential density</b>	<i>Maximum number of dwelling units per acre of site area.</i>						
—Maximum density (7)	48 units/acre (3)	48 units/acre (3)	60 units/acre (3) (4)	48/60 units/acre (4) (5)	N.A.	48 units/acre (3)	60 units/acre (3) (4)
<b>Residential standards</b>	Mixed-use projects shall comply with the standards of <a href="#">Section 17.50.160</a> ; in CL-3, single-family uses shall comply with the RS-6 standards, multi-family projects shall comply with those of the RM-48 district, except that two units on a lot shall comply with the RM-12 standards; all other districts follow the urban housing standards of <a href="#">17.50.350</a> .						
<b>Setbacks</b>	<i>Fixed setbacks required. See <a href="#">Section 17.40.160</a> for setback measurement, allowed projections and encroachments into setbacks, and exceptions to setbacks.</i>						
—Front	5 ft (1)	5 ft (1)	5 ft (1)	5 ft (1)	5 ft (2)	5 ft (1)	5 ft (2)
—Corner side	5 ft (1)	5 ft (1)	5 ft (1)	5 ft (1)	5 ft (2)	5 ft (1)	5 ft (2)
—Side or rear	15 ft. and shall not project within the encroachment plane (17.40.160.D.3) when adjacent to an RS or RM zone unless the adjacent lot is a PK overlay which is used for parking; none required otherwise.						

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TABLE 3-4—EAST COLORADO SPECIFIC PLAN DEVELOPMENT STANDARDS							
Development feature	Requirement by Zoning District						
	ECSP- CG-1	ECSP- CG-2	ECSP- CG-3	ECSP- CL-3	ECSP- CG-4	ECSP- CG-5	ECSP- CG-6
Height limit	Maximum height of main structures. See <a href="#">17.40.060</a> for height measurement and exceptions to height limits. All structures shall also comply with the encroachment plane requirements of <a href="#">17.40.160</a>						
—Maximum height	60 ft	45 ft	45/60 ft (6)	45/60 ft (6)	45 ft	45 ft	45/60 ft (6)
Transit-oriented development	N.A.	N.A.	See <a href="#">17.50.340</a>	See <a href="#">17.50.340</a>	N.A.	N.A.	See <a href="#">17.50.340</a>
Driveway access	For parcels less than 200 feet in width (street frontage), only one driveway shall be permitted. To lessen the number of curb cuts and sloped depressions in the sidewalk, driveways shall be shared with adjacent properties wherever possible						
Building entries	For parcels with frontage on Colorado Boulevard, a building or storefront entry shall be oriented to Colorado Boulevard. A minimum of 50% percent of the street façade to a height of eight feet must be visually transparent window display. The Director may waive these requirements if they result in practical difficulties.						
Landscaping	<a href="#">Chapter 17.44</a> (Landscaping)						
Parking	<a href="#">Chapter 17.46</a> (Parking and Loading)						
Signs	<a href="#">Chapter 17.48</a> (Signs)						
Other applicable standards	<a href="#">Chapter 17.40</a> (General Property Development and Use Standards)						
<p><b>Notes:</b></p> <p>(1) The required five-foot setback shall be used for expanded sidewalk treatment and/or pedestrian area (hardscape). Additional front or corner yard setbacks are allowed only to create space for streetside plazas, patios, and building entrances.</p> <p>(2) The required five-foot setback shall be landscaped. Additional front or corner yard setbacks are allowed only to create space for streetside plazas, patios, and building entrances.</p> <p>(3) Residential units are permitted only as part of a mixed-use project in which the residential and commercial uses are combined in a single building. The residential uses may be above the commercial uses or behind the commercial uses in compliance with <a href="#">17.50.160</a>.</p> <p>(4) Within ¼ mile of the Allen Avenue and Sierra Madre Villa Light Rail platforms, the maximum residential density for mixed-use projects shall be 60 units per acre.</p>							

# Exhibit 3

TABLE 3-4 EAST COLORADO SPECIFIC PLAN DEVELOPMENT STANDARDS

Development feature	Requirement by Zoning District						
	ECSP- CG-1	ECSP- CG-2	ECSP- CG-3	ECSP- CL-3	ECSP- CG-4	ECSP- CG-5	ECSP- CG-6
<p>(5) The maximum density for multi-family residential uses (excluding mixed-use projects) shall be 48 units/acre. The applicable development standards shall be the urban housing provisions in <a href="#">Section 17.50.350</a> and maximum allowable height shall be 45 feet.</p> <p>(6) Within ¼ mile of the Allen Avenue and Sierra Madre Villa Light Rail Station Platforms the maximum height limit shall be 60 feet. For multi-family residential uses (excluding mixed-use projects), the maximum height limit shall be 45 feet.</p> <p>(7) See <a href="#">Chapter 17.43</a> regarding density bonus provisions.</p>							

(Ord. No. [7394](#), § 2(Exh. 1), 6-13-2022; Ord. 7169 § 8, 2009; Ord. 7099 § 12, (Exh. 9), 2007; Ord. 7057 § 7 (Exh. 2), 2006; Ord. 7035 § 4, (Exh. 3), 2006; Ord. 7277 § 5, 2016)

## **Chapter 17.39 - East Colorado Specific Plan 2003<sup>[4]</sup>**

### **17.38.010 - Purpose of Chapter**

This Chapter lists the land uses that may be allowed within the zoning districts established by the East Colorado Specific Plan (ECSP), determines the type of land use permit/approval required for each use, and provides basic standards for site layout and building size.

(Ord. No. [7394](#), § 2(Exh. 1), 6-13-2022)

### **17.39.020 - Purposes of ECSP Zoning Districts**

The purpose of the ECSP zoning districts is to implement the East Colorado Specific Plan by balancing and optimizing economic development, historic preservation, and the maintenance of local community culture, and to:

- I. Promote a vibrant mix of land uses, a unified streetscape, and a series of distinctive "places" along the Boulevard.
- J. Improve the appearance, function, and urban ambiance of East Colorado Boulevard.
- K. Identify areas of East Colorado Boulevard, which are appropriate locations for developing mixed-use and housing projects, and areas where commercial development should be concentrated.
- L. Retain the eclectic mix of uses and protect the vitality of small, independent businesses. Uphold Colorado Boulevard as a location for specialty and niche retail businesses.
- M. Beautify the streetscape through installation of street trees, street and median landscaping to soften the urban edge, and a consistent selection of urban furnishings.
- N. Create a pedestrian-friendly environment that balances the needs of pedestrians and vehicular traffic, recognizing the heavy local and regional use of Colorado Boulevard.
- O. Protect historic resources and honor the past of Colorado Boulevard and its surrounding communities through subarea identification and remembrance of Colorado Boulevard as Route 66.
- P. Effectively plan for the utilization of the light rail stations at Allen Avenue and Sierra Madre Villa at the 210 Freeway through the establishment of special development standards in these light rail "nodes".

(Ord. No. [7394](#), § 2(Exh. 1), 6-13-2022)

### **17.39.030 - Applicability**

The standards of the ECSP zoning districts apply to proposed development and new



## Exhibit 3

land uses in the following areas, as shown on the Zoning Map.

- H. **ECSP-CG-1.** The Mid-City area.
- I. **ECSP-CG-2.** The College District area.
- J. **ECSP-CG-3.** The Gold Line-General Commercial area.
- K. **ECSP-CL-3.** The Gold Line-Limited Commercial area.
- L. **ECSP-CG-4.** The Route 66 area.
- M. **ECSP-CG-5.** The Lamanda Park area.
- N. **ECSP-CG-6.** The Chihuahuita area.

(Ord. No. [7394](#), § 2(Exh. 1), 6-13-2022)

### **17.39.040 - ECSP District Land Uses and Permit Requirements**

- B. **Allowable land uses and permit requirements.** Table 3-3 identifies the uses of land allowed by this Zoning Code in each residential zoning district, and the land use permit required to establish each use, in compliance with [Section 17.21.030](#) (Allowable Land Uses and Permit Requirements). The land use permit requirements established by Table 3-3 are as follows.

<u>Symbol</u>	<u>Permit Requirement</u>	<u>Procedure is in Section:</u>
<u>P</u>	<u>Permitted use, Code Compliance Certificate required.</u>	<a href="#">17.61.020</a>
<u>MC</u>	<u>Conditional use, Minor Conditional Use Permit required.</u>	<a href="#">17.61.050</a>
<u>AMC</u>	<u>Conditional use, Administrative Minor Conditional Use Permit required</u>	17.61.050
<u>C</u>	<u>Conditional use, Conditional Use Permit required.</u>	<a href="#">17.61.050</a>
<u>AC</u>	<u>Conditional use, Administrative Conditional Use Permit required</u>	17.61.050
<u>E</u>	<u>Conditional use, Expressive Use Permit required.</u>	<a href="#">17.61.060</a>
<u>TUP</u>	<u>Temporary use, Temporary Use Permit required.</u>	<a href="#">17.61.040</a>
<u>=</u>	<u>Use not allowed. (See Section 17.21.030.A regarding uses not listed.)</u>	

**Note:** the right column in the tables ("Specific Use Standards") will show a section number for regulations that apply to the particular use listed in addition to the other general standards of this Zoning Code.

Exhibit 3

**TABLE 3-3 - ALLOWED USES AND PERMIT REQUIREMENTS  
FOR ECSP ZONING DISTRICTS**

LAND USE (1)	PERMIT REQUIREMENT BY ZONE							Specific Use Standards
	ECSP CG-1	ECSP CG-2	ECSP CL-3	ECSP CG-3	ECSP CG-4	ECSP CG-5	ECSP CG-6	
RESIDENTIAL USES								
Accessory dwelling unit	=	=	P	=	=	=	=	<a href="#">17.50.275</a>
Boarding houses	=	=	P	=	=	=	=	
Caretakers quarters	P	P	P	P	P	P	P	
Dormitories	=	=	P	=	=	=	=	
Fraternity/sorority housing	=	=	P	=	=	=	=	
Home occupations	P	P	P	P	=	P	P	<a href="#">17.50.110</a>
Mixed-use projects (4)	P	P	P	P (2)	=	P	P (2)	<a href="#">17.50.160</a>
Multi-family housing	=	=	P	P (2)	=	=	P (2)	<a href="#">17.50.350</a>
Residential accessory uses and structures	P	P	P	P	=	P	P	<a href="#">17.50.250</a>
Residential care facilities, general	C (6)	C (6)	C (6)	C (6)	C (6)	C (6)	C (6)	
Residential care facilities, limited	= (10)	= (10)	P	P (2)	=	=	P (2)	
Single-family housing	=	=	P	=	=	=	=	
Single-room occupancy	=	=	=	=	=	P	=	<a href="#">17.50.300</a>
Supportive housing	= (10)	= (10)	P	P(2)	=	=	P (2)	
Transitional housing	= (10)	= (10)	P	P (2)	=	=	P (2)	
RECREATION, EDUCATION & PUBLIC ASSEMBLY USES (7, 8, 9)								

Exhibit 3

**TABLE 3-3 - ALLOWED USES AND PERMIT REQUIREMENTS  
FOR ECSP ZONING DISTRICTS**

<u>LAND USE (1)</u>	<u>PERMIT REQUIREMENT BY ZONE</u>							<u>Specific Use Standards</u>
	<u>ECSP CG-1</u>	<u>ECSP CG-2</u>	<u>ECSP CL-3</u>	<u>ECSP CG-3</u>	<u>ECSP CG-4</u>	<u>ECSP CG-5</u>	<u>ECSP CG-6</u>	
<u>Clubs, lodges, private meeting halls (6)</u>	<u>P</u>	<u>P</u>	<u>MC (5)</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>=</u>	
<u>Colleges - Nontraditional campus setting</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	
<u>Colleges - Traditional campus setting</u>	<u>=</u>	<u>C (6)</u>	<u>=</u>	<u>C (6)</u>	<u>C (6)</u>	<u>=</u>	<u>=</u>	
<u>Commercial entertainment</u>	<u>E (4)</u>	<u>E (4)</u>	<u>E (4)</u>	<u>E (4)</u>	<u>E (4)</u>	<u>E (4)</u>	<u>E (4)</u>	<a href="#">17.50.130</a>
<u>Commercial recreation - Indoor</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<a href="#">17.50.130</a>
<u>Commercial recreation - Outdoor</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<a href="#">17.50.130</a>
<u>Cultural institutions</u>	<u>P (6)</u>	<u>P (6)</u>	<u>P (6)</u>	<u>P (6)</u>	<u>P (6)</u>	<u>P (6)</u>	<u>P (6)</u>	
<u>Electronic game centers</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<a href="#">17.50.100</a>
<u>Internet access studio</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<a href="#">17.50.100</a>
<u>Park and recreation facilities</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>P</u>	<u>C</u>	
<u>Religious facilities (6)</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<a href="#">17.50.230</a>
<u>    with columbarium</u>	<u>MC</u>	<u>MC</u>	<u>MC</u>	<u>MC</u>	<u>MC</u>	<u>MC</u>	<u>MC</u>	<a href="#">17.50.230</a>
<u>    with temporary homeless shelter</u>	<u>C (6)</u>	<u>C (6)</u>	<u>C (6)</u>	<u>C (6)</u>	<u>C (6)</u>	<u>C (6)</u>	<u>C (6)</u>	<a href="#">17.50.230</a>
<u>Schools - Public and private</u>	<u>C (6)</u>	<u>C (6)</u>	<u>C (6)</u>	<u>C (6)</u>	<u>C (6)</u>	<u>C (6)</u>	<u>C (6)</u>	<a href="#">17.50.270</a>
<u>Schools - Specialized education and training</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	

Exhibit 3

**TABLE 3-3 - ALLOWED USES AND PERMIT REQUIREMENTS  
FOR ECSP ZONING DISTRICTS**

<u>LAND USE (1)</u>	<u>PERMIT REQUIREMENT BY ZONE</u>							<u>Specific Use Standards</u>
	<u>ECSP CG-1</u>	<u>ECSP CG-2</u>	<u>ECSP CL-3</u>	<u>ECSP CG-3</u>	<u>ECSP CG-4</u>	<u>ECSP CG-5</u>	<u>ECSP CG-6</u>	
<u>Street fairs</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	
<u>Tents</u>	<u>TUP</u>	<u>TUP</u>	<u>TUP</u>	<u>TUP</u>	<u>TUP</u>	<u>TUP</u>	<u>TUP</u>	<a href="#">17.50.320</a>
<b><u>OFFICE, PROFESSIONAL &amp; BUSINESS SUPPORT USES (7, 8, 9)</u></b>								
<u>Automated teller machines (ATM)</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<a href="#">17.50.060</a>
<u>Banks and financial services</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	
<u>with walk-up services</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<a href="#">17.50.060</a>
<u>Business support services</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	
<u>Offices - Accessory</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	
<u>Offices - Administrative business professional</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	
<u>Offices - Government</u>	<u>P (6)</u>	<u>P (6)</u>	<u>P (6)</u>	<u>P (6)</u>	<u>P (6)</u>	<u>P (6)</u>	<u>P (6)</u>	
<u>Offices - Medical</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	
<u>Research and development - Offices</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<a href="#">17.50.240</a>
<u>Work/live units</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<a href="#">17.50.370</a>
<b><u>RETAIL SALES (7, 8, 9)</u></b>								
<u>Alcohol sales - Beer and wine</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<a href="#">17.50.040</a>
<u>Alcohol sales - Beer and wine at Restaurants (including fast food)</u>	<u>AC</u>	<u>AC</u>	<u>AC</u>	<u>AC</u>	<u>AC</u>	<u>AC</u>	<u>AC</u>	<a href="#">17.50.040</a>

Exhibit 3

**TABLE 3-3 - ALLOWED USES AND PERMIT REQUIREMENTS  
FOR ECSP ZONING DISTRICTS**

LAND USE (1)	PERMIT REQUIREMENT BY ZONE							Specific Use Standards
	ECSP CG-1	ECSP CG-2	ECSP CL-3	ECSP CG-3	ECSP CG-4	ECSP CG-5	ECSP CG-6	
<u>Alcohol sales - Full alcohol sales</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<a href="#">17.50.040</a>
<u>Alcohol sales - Full alcohol sales at Restaurants (including fast food)</u>	<u>AC</u>	<u>AC</u>	<u>AC</u>	<u>AC</u>	<u>AC</u>	<u>AC</u>	<u>AC</u>	<a href="#">17.50.040</a>
<u>Animal services - Retail sales</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	
<u>Bars or taverns</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<a href="#">17.50.040</a>
<u>with live entertainment</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<a href="#">17.50.130</a>
<u>Building materials and supplies sales</u>	<u>=</u>	<u>=</u>	<u>P (4)</u>	<u>=</u>	<u>=</u>	<u>=</u>	<u>P (4)</u>	
<u>Commercial nurseries</u>	<u>=</u>	<u>=</u>	<u>C (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<a href="#">17.50.180</a>
<u>Convenience stores</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	
<u>Food sales</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	
<u>Internet vehicle sales</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	
<u>Liquor stores</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<a href="#">17.50.040</a>
<u>Pawnshops</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>=</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<a href="#">17.50.200</a>
<u>Personal property sales</u>	<u>=</u>	<u>=</u>	<u>P</u>	<u>=</u>	<u>=</u>	<u>=</u>	<u>=</u>	<a href="#">17.50.190</a>
<u>Restaurants</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<a href="#">17.50.260</a>
<u>Restaurants, fast food</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<a href="#">17.50.260</a>
<u>Restaurants, formula fast food</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<a href="#">17.50.260</a>

Exhibit 3

**TABLE 3-3 - ALLOWED USES AND PERMIT REQUIREMENTS  
FOR ECSP ZONING DISTRICTS**

<u>LAND USE (1)</u>	<u>PERMIT REQUIREMENT BY ZONE</u>							<u>Specific Use Standards</u>
	<u>ECSP CG-1</u>	<u>ECSP CG-2</u>	<u>ECSP CL-3</u>	<u>ECSP CG-3</u>	<u>ECSP CG-4</u>	<u>ECSP CG-5</u>	<u>ECSP CG-6</u>	
<u>Restaurants with limited live entertainment</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	
<u>Restaurants with walk-up window</u>	<u>MC (11)</u>	<u>MC (11)</u>	<u>MC (11)</u>	<u>MC (11)</u>	<u>MC (11)</u>	<u>MC (11)</u>	<u>MC (11)</u>	<a href="#">17.50.260</a>
<u>Retail sales</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	
<u>Seasonal merchandise sales</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<a href="#">17.50.180</a>
<u>Significant tobacco retailers</u>	<u>C (4)</u>	<u>C (4)</u>	<u>=</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<a href="#">17.50.330</a>
<u>Swap meets</u>	<u>=</u>	<u>C (4)</u>	<u>=</u>	<u>=</u>	<u>=</u>	<u>C (4)</u>	<u>C (4)</u>	
<u>Temporary uses</u>	<u>TUP</u>	<u>TUP</u>	<u>TUP</u>	<u>TUP</u>	<u>TUP</u>	<u>TUP</u>	<u>TUP</u>	
<u>Vehicle services - Automobile rental</u>	<u>=</u>	<u>=</u>	<u>=</u>	<u>P (4)</u>	<u>P (4)</u>	<u>=</u>	<u>P (4)</u>	
<u>Vehicle services - Sales and leasing</u>	<u>C (4)</u>	<u>C (4)</u>	<u>=</u>	<u>C (4)</u>	<u>C (4)</u>	<u>=</u>	<u>C (4)</u>	<a href="#">17.50.360</a>
<u>Vehicle services - Sales and leasing - limited</u>	<u>P</u>	<u>P</u>	<u>=</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<a href="#">17.50.360</a>
<u>Vehicle services - Service stations</u>	<u>=</u>	<u>=</u>	<u>=</u>	<u>C (4)</u>	<u>C (4)</u>	<u>=</u>	<u>C (4)</u>	<a href="#">17.50.290</a>
<b><u>SERVICES (7, 8, 9)</u></b>								
<u>Adult day-care - General</u>	<u>C (6)</u>	<u>C (6)</u>	<u>C (6)</u>	<u>C (6)</u>	<u>C (6)</u>	<u>C (6)</u>	<u>C (6)</u>	
<u>Adult day-care - Limited</u>	<u>=</u>	<u>P</u>	<u>P</u>	<u>=</u>	<u>=</u>	<u>C</u>	<u>=</u>	
<u>Ambulance services</u>	<u>=</u>	<u>=</u>	<u>=</u>	<u>P (4)</u>	<u>P (4)</u>	<u>=</u>	<u>P (4)</u>	

Exhibit 3

**TABLE 3-3 - ALLOWED USES AND PERMIT REQUIREMENTS  
FOR ECSP ZONING DISTRICTS**

<u>LAND USE (1)</u>	<u>PERMIT REQUIREMENT BY ZONE</u>							<u>Specific Use Standards</u>
	<u>ECSP CG-1</u>	<u>ECSP CG-2</u>	<u>ECSP CL-3</u>	<u>ECSP CG-3</u>	<u>ECSP CG-4</u>	<u>ECSP CG-5</u>	<u>ECSP CG-6</u>	
<u>Animal services - Grooming</u>	=	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	
<u>Animal services - Hospitals</u>	=	=	=	P (4)	P (4)	=	P (4)	<a href="#">17.50.050</a>
<u>Catering services</u>	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	
<u>Charitable institutions</u>	C (6)	C (6)	C (6)	C (6)	C (6)	C (6)	C (6)	
<u>Child day-care centers</u>	P	=	=	P	P	P	=	<a href="#">17.50.080</a>
<u>Child day-care - Large care home, 9 to 14 persons</u>	=	=	P	=	=	=	=	<a href="#">17.50.080</a>
<u>Child day-care - Small care home, 1 to 8 persons</u>	=	=	P	=	=	=	=	
<u>Drive-through business - Nonrestaurants</u>	=	=	=	C	C	=	C	<a href="#">17.50.090</a>
<u>Drive-through business - Restaurants</u>	=	=	=	C	C	=	C	<a href="#">17.50.090</a>
<u>Emergency shelters</u>	MC	MC	=	MC	MC	MC	MC	
<u>Filming, long-term</u>	C	C	C	C	C	C	C	
<u>Filming, short-term</u>	P	P	P	P	P	P	P	
<u>Laboratories</u>	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	P (4)	
<u>Life/care facilities</u>	C	C	C	C	C	C	C	<a href="#">17.50.120</a>
<u>Lodging - Bed and breakfast inns</u>	=	=	C	=	=	=	=	<a href="#">17.50.140</a>

Exhibit 3

**TABLE 3-3 - ALLOWED USES AND PERMIT REQUIREMENTS  
FOR ECSP ZONING DISTRICTS**

<u>LAND USE (1)</u>	<u>PERMIT REQUIREMENT BY ZONE</u>							<u>Specific Use Standards</u>
	<u>ECSP CG-1</u>	<u>ECSP CG-2</u>	<u>ECSP CL-3</u>	<u>ECSP CG-3</u>	<u>ECSP CG-4</u>	<u>ECSP CG-5</u>	<u>ECSP CG-6</u>	
<u>Lodging - Hotels, motels</u>	<u>C (4)</u>	<u>C (4)</u>	—	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<a href="#">17.50.150</a>
<u>Maintenance or repair services</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	
<u>Massage establishments</u>	<u>C (4)</u>	<u>C (4)</u>	—	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<a href="#">17.50.155</a>
<u>Medical services - Extended care</u>	—	—	<u>C (6)</u>	—	—	<u>C (6)</u>	—	
<u>Medical services - Hospitals</u>	<u>C (6)</u>	<u>C (6)</u>	—	<u>C (6)</u>	<u>C (6)</u>	<u>C (6)</u>	<u>C (6)</u>	
<u>Mortuaries, funeral homes</u>	—	—	—	<u>P (4)</u>	<u>P (4)</u>	—	<u>P (4)</u>	
<u>Personal improvement services</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	
<u>Personal services</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	
<u>Personal services, restricted</u>	<u>C (4)</u>	<u>C (4)</u>	—	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<u>C (4)</u>	<a href="#">17.50.200</a>
<u>Printing and publishing</u>	<u>P (4)</u>	<u>P (4)</u>	<u>C (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	
<u>Printing and publishing, limited</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	<u>P (4)</u>	
<u>Public safety facilities</u>	<u>C (6)</u>	<u>C (6)</u>	<u>C (6)</u>	<u>C (6)</u>	<u>C (6)</u>	<u>C (6)</u>	<u>C (6)</u>	
<u>Sexually oriented businesses</u>	<u>P</u>	<u>P</u>	—	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<a href="#">17.50.295</a>
<u>Vehicle services - Vehicle/equipment repair</u>	<u>C (4)</u>	—	—	<u>C (4)</u>	<u>C (4)</u>	—	<u>C (4)</u>	<a href="#">17.50.360</a>
<u>Vehicle services - Washing and detailing</u>	—	—	—	<u>C (4)</u>	<u>C (4)</u>	—	<u>C (4)</u>	<a href="#">17.50.290</a>



Exhibit 3

**TABLE 3-3 - ALLOWED USES AND PERMIT REQUIREMENTS  
FOR ECSP ZONING DISTRICTS**

LAND USE (1)	PERMIT REQUIREMENT BY ZONE							Specific Use Standards
	ECSP CG-1	ECSP CG-2	ECSP CL-3	ECSP CG-3	ECSP CG-4	ECSP CG-5	ECSP CG-6	
Vehicle services - <u>Washing/detailing, small-scale</u>	=	=	P	P	P	=	P	<a href="#">17.50.290</a>
<b>INDUSTRY, MANUFACTURING &amp; PROCESSING USES (7, 8, 9)</b>								
<u>Industry, restricted</u>	=	=	=	C (4)	C (4)	=	C (4)	
<u>Industry, restricted, small-scale</u>	=	=	=	C	C	C	C	
<u>Recycling - Small collection facility</u>	=	C	C	C	C	C	C	<a href="#">17.50.220</a>
<u>Research and development - Non-offices</u>	=	C (4)	C (4)	P (4)	P (4)	C (4)	P (4)	<a href="#">17.50.240</a>
<u>Wholesaling, distribution and storage</u>	=	=	=	=	=	=	C (4)	
<u>Wholesaling, distribution and storage, small scale</u>	=	=	=	=	=	=	C	
<b>TRANSPORTATION, COMMUNICATIONS &amp; UTILITY USES</b>								
<u>Alternative fuel/recharging facilities (4, 7, 8, 9)</u>	C	C	C	C	C	C	C	
<u>Accessory antenna arrays</u>	P	P	P	P	P	P	P	
<u>Communications facilities (4, 7, 8, 9)</u>	C	C	=	C	C	C	C	
<u>Commercial off-street parking (7, 9)</u>	MC	MC	MC	MC	MC	MC	MC	
<u>Heliports</u>	C	=	=	=	=	=	=	
<u>Transportation terminals</u>	=	=	C	=	=	=	C	

Exhibit 3

**TABLE 3-3 - ALLOWED USES AND PERMIT REQUIREMENTS  
FOR ECSP ZONING DISTRICTS**

LAND USE (1)	PERMIT REQUIREMENT BY ZONE							Specific Use Standards
	ECSP CG-1	ECSP CG-2	ECSP CL-3	ECSP CG-3	ECSP CG-4	ECSP CG-5	ECSP CG-6	
Utility, major	C	C	C	C	C	C	C	
Utility, minor	P	P	P	P	P	P	P	
Vehicle storage (4, 7, 8)	=	=	=	=	=	=	C	
Wireless telecommunications facilities - Minor	MC	MC	MC	MC	MC	MC	MC	<a href="#">17.50.310</a>
Wireless telecommunications facilities - Major	C	C	C	C	C	C	C	<a href="#">17.50.310</a>
Wireless telecommunications facilities, SCL	P	P	P	P	P	P	P	<a href="#">17.50.310</a>
<b>TRANSIT-ORIENTED DEVELOPMENT</b>								
Transit-oriented development (4, 7)	=	=	P	=	=	=	P	<a href="#">17.50.340</a>

**Notes:**

- (1) See [Section 17.80.020](#) for definitions of the listed land uses.
- (2) Mixed-use projects and multi-family housing permitted only within 1/4 mile of light rail platform.
- (3) Not used.
- (4) Conditional Use Permit approval required for new construction exceeding 25,000 sq. ft. See [Section 17.61.050.J](#) for additional requirements.
- (5) A minor conditional use permit is required to establish a new use. An existing use is a permitted (P) use.
- (6) A use established on a site greater than two acres after June 30, 1985, shall require a zone change to PS (Public, Semi-Public).
- (7) Uses subject to limitations on hours of operation. See [Section 17.40.070](#) (Hours of Operation).
- (8) If within 300 feet of an R District this use shall be limited to 10 one-way truck trips by large trucks per day per six-day work week. This restriction shall apply to new uses and uses that expand by more than 30 percent of the gross floor area. This restriction shall not apply if the site or the adjacent R District is within 500 feet of a freeway.
- (9) No more than five large trucks (except trucks associated with vehicle services - sales and leasing) shall be stored on each lot. This restriction shall apply to new uses or uses that expand by more than 30 percent of the gross floor area.

**TABLE 3-3 - ALLOWED USES AND PERMIT REQUIREMENTS  
FOR ECSP ZONING DISTRICTS**

LAND USE (1)	PERMIT REQUIREMENT BY ZONE							Specific Use Standards
	<u>ECSP CG-1</u>	<u>ECSP CG-2</u>	<u>ECSP CL-3</u>	<u>ECSP CG-3</u>	<u>ECSP CG-4</u>	<u>ECSP CG-5</u>	<u>ECSP CG-6</u>	
<u>(10) The use is permitted if it is located within a mixed-use project.</u>								
<u>(11) Minor Conditional Use Permit not required if Walk-Up Window complies with Section 17.50.260.</u>								

(Ord. No. [7420](#), § 3, 4-15-2024; Ord. No. [7418](#), § 2, 2-26-2024; Ord. No. [7414](#), § 2, 9-11-2023; Ord. No. [7402](#), § 2, 9-19-2022; Ord. No. [7394](#), § 2(Exh. 1), 6-13-2022; Ord. 7326 § 6, 2018; Ord. 7321 § 3 (Exh. 1), 2018; Ord. No. 7313, § 6, 2017; Ord. 7300 § 6 (Exh. 5), 2017; Ord. 7255 § 5 (Exh. 4), 2015; Ord. 7210 § 4, 2011; Ord. 7164 § 6, 2009; Ord. 7160 §§ 7, 14, 2009; Ord. 7148 § 2 (Exh. 1), 2008; Ord. 7099 § 12, (Exh. 8), 2007; Ord. 7009 § 10, 2005)

### **17.39.050 - ECSP General Development Standards**

Subdivisions, new land uses and structures, and alterations to existing land uses and structures, shall be designed, constructed, and established in compliance with the requirements of this Section, in addition to the applicable standards (e.g., landscaping, parking and loading, etc.) in [Article 4](#) (Site Planning and General Development Standards) and 5 (Standards for Specific Land Uses). Principal and accessory structures shall meet the same development standards unless otherwise modified in this Zoning Ordinance.

- C. **Table 3-4 standards.** The standards in Table 3-4 apply to residential projects, nonresidential projects and all projects, as noted, within a ECSP zoning district.
- D. Reserved.

**TABLE 3-4 - EAST COLORADO SPECIFIC PLAN DEVELOPMENT STANDARDS**

Development feature	Requirement by Zoning District						
	<u>ECSP- CG-1</u>	<u>ECSP- CG-2</u>	<u>ECSP- CG-3</u>	<u>ECSP- CL-3</u>	<u>ECSP- CG-4</u>	<u>ECSP- CG-5</u>	<u>ECSP- CG-6</u>
<b>Minimum lot size</b>	<u>Minimum area and width for new lots.</u>						
	<u>Determined through the subdivision process.</u>						
<b>Residential density</b>	<u>Maximum number of dwelling units per acre of site area.</u>						

Exhibit 3

TABLE 3-4 - EAST COLORADO SPECIFIC PLAN DEVELOPMENT STANDARDS

Development feature	Requirement by Zoning District						
	ECSP-CG-1	ECSP-CG-2	ECSP-CG-3	ECSP-CL-3	ECSP-CG-4	ECSP-CG-5	ECSP-CG-6
Maximum density (7)	48 units/acre (3)	48 units/acre (3)	60 units/ acre (3) (4)	48/60 units/ acre (4) (5)	N.A.	48 units/acre (3)	60 units/ acre (3) (4)
<b>Residential standards</b>	Mixed-use projects shall comply with the standards of <a href="#">Section 17.50.160</a> ; in CL-3, single-family uses shall comply with the RS-6 standards, multi-family projects shall comply with those of the RM-48 district, except that two units on a lot shall comply with the RM-12 standards; all other districts follow the urban housing standards of <a href="#">17.50.350</a> .						
<b>Setbacks</b>	<i>Fixed setbacks required. See <a href="#">Section 17.40.160</a> for setback measurement, allowed projections and encroachments into setbacks, and exceptions to setbacks.</i>						
Front	5 ft (1)	5 ft (1)	5 ft (1)	5 ft (1)	5 ft (2)	5 ft (1)	5 ft (2)
Corner side	5 ft (1)	5 ft (1)	5 ft (1)	5 ft (1)	5 ft (2)	5 ft (1)	5 ft (2)
Side or rear	15 ft. and shall not project within the encroachment plane (17.40.160.D.3) when adjacent to an RS or RM zone unless the adjacent lot is a PK overlay which is used for parking; none required otherwise.						
<b>Height limit</b>	<i>Maximum height of main structures. See <a href="#">17.40.060</a> for height measurement and exceptions to height limits. All structures shall also comply with the encroachment plane requirements of <a href="#">17.40.160</a></i>						
Maximum height	60 ft	45 ft	45/60 ft (6)	45/60 ft (6)	45 ft	45 ft	45/60 ft (6)
<b>Transit-oriented development</b>	N.A.	N.A.	See <a href="#">17.50.340</a>	See <a href="#">17.50.340</a>	N.A.	N.A.	See <a href="#">17.50.340</a>
<b>Driveway access</b>	For parcels less than 200 feet in width (street frontage), only one driveway shall be permitted. To lessen the number of curb cuts and sloped depressions in the sidewalk, driveways shall be shared with adjacent properties wherever possible						
<b>Building entries</b>	For parcels with frontage on Colorado Boulevard, a building or storefront entry shall be oriented to Colorado Boulevard. A minimum of 50% percent of the street façade to a height of eight feet must be visually transparent window display. The Director may waive these requirements if they result in practical difficulties.						

TABLE 3-4 - EAST COLORADO SPECIFIC PLAN DEVELOPMENT STANDARDS

<u>Development feature</u>	<u>Requirement by Zoning District</u>						
	<u>ECSP- CG-1</u>	<u>ECSP- CG-2</u>	<u>ECSP- CG-3</u>	<u>ECSP- CL-3</u>	<u>ECSP- CG-4</u>	<u>ECSP- CG-5</u>	<u>ECSP- CG-6</u>
<b><u>Landscaping</u></b>	<u><a href="#">Chapter 17.44</a></u> (Landscaping)						
<b><u>Parking</u></b>	<u><a href="#">Chapter 17.46</a></u> (Parking and Loading)						
<b><u>Signs</u></b>	<u><a href="#">Chapter 17.48</a></u> (Signs)						
<b><u>Other applicable standards</u></b>	<u><a href="#">Chapter 17.40</a></u> (General Property Development and Use Standards)						

**Notes:**

(1) The required five-foot setback shall be used for expanded sidewalk treatment and/or pedestrian area (hardscape). Additional front or corner yard setbacks are allowed only to create space for streetside plazas, patios, and building entrances.

(2) The required five-foot setback shall be landscaped. Additional front or corner yard setbacks are allowed only to create space for streetside plazas, patios, and building entrances.

(3) Residential units are permitted only as part of a mixed-use project in which the residential and commercial uses are combined in a single building. The residential uses may be above the commercial uses or behind the commercial uses in compliance with [17.50.160](#).

(4) Within ¼ mile of the Allen Avenue and Sierra Madre Villa Light Rail platforms, the maximum residential density for mixed-use projects shall be 60 units per acre.

(5) The maximum density for multi-family residential uses (excluding mixed-use projects) shall be 48 units/acre. The applicable development standards shall be the urban housing provisions in [Section 17.50.350](#) and maximum allowable height shall be 45 feet.

(6) Within ¼ mile of the Allen Avenue and Sierra Madre Villa Light Rail Station Platforms the maximum height limit shall be 60 feet. For multi-family residential uses (excluding mixed-use projects), the maximum height limit shall be 45 feet.

(7) See [Chapter 17.43](#) regarding density bonus provisions.

(Ord. No. [7394](#), § 2(Exh. 1), 6-13-2022; Ord. 7169 § 8, 2009; Ord. 7099 § 12, (Exh. 9), 2007; Ord. 7057 § 7 (Exh. 2), 2006; Ord. 7035 § 4, (Exh. 3), 2006; Ord. 7277 § 5, 2016)

## **Chapter 17.30 - Central District Specific Plan**

### **17.30.060 - Scale Standards**

These standards are intended to:

- Implement the General Plan density (du/ac) and floor area ratio (FAR) values;
- Shape development in a manner that creates a defined public realm and appropriate scale of buildings for a visually appealing community;
- Reduce building massing through setback and stepback requirements that create appropriate transitions to residential neighborhoods;
- Support high-quality architecture and urban design through modulation requirements and a varied roof lines incentive;
- Require appropriate transitions to designated historic resources; and
- Support opportunities to increase housing near transit, and require various unit sizes to support individuals and families.

#### **A. Density.**

- 1. Residential Density.** Projects that include residential dwelling units shall not exceed the allowable dwelling units per acre (du/ac) per Figure CDSP-6.
  - a. Fractions shall be rounded to the nearest whole number; those at 0.50 may be rounded up.
  - b. For projects utilizing state density bonus, refer to Government Code 65915.
  - c. The maximum is based on total site area. If a street dedication or easement is required, density shall be calculated using the size of the lot prior to the street dedication or easement.
- 2. Unit Mix.** For projects with 50 dwelling units or more, inclusive of any density bonus, at least 15 percent of the total number of units shall have 3 bedrooms or more. Projects within designated historic districts and/or 100 percent single-room occupancy (SRO) projects are exempt.

Figure CDSP-6: Residential Density



## B. Intensity.

1. **Floor Area Ratio.** Projects that include non-residential space, including mixed-use, shall not exceed the allowable floor area ratio (FAR) per Figure CDSP-7.
  - a. In mixed-use projects, residential floor area is included in FAR.
  - b. Areas used exclusively for vehicle and bicycle parking and loading are excluded from FAR.
  - c. The maximum is based on total site area. If a street dedication or easement is required, FAR shall be calculated using the size of the lot prior to the street dedication or easement.

Figure CDSP-7: Floor Area Ratio



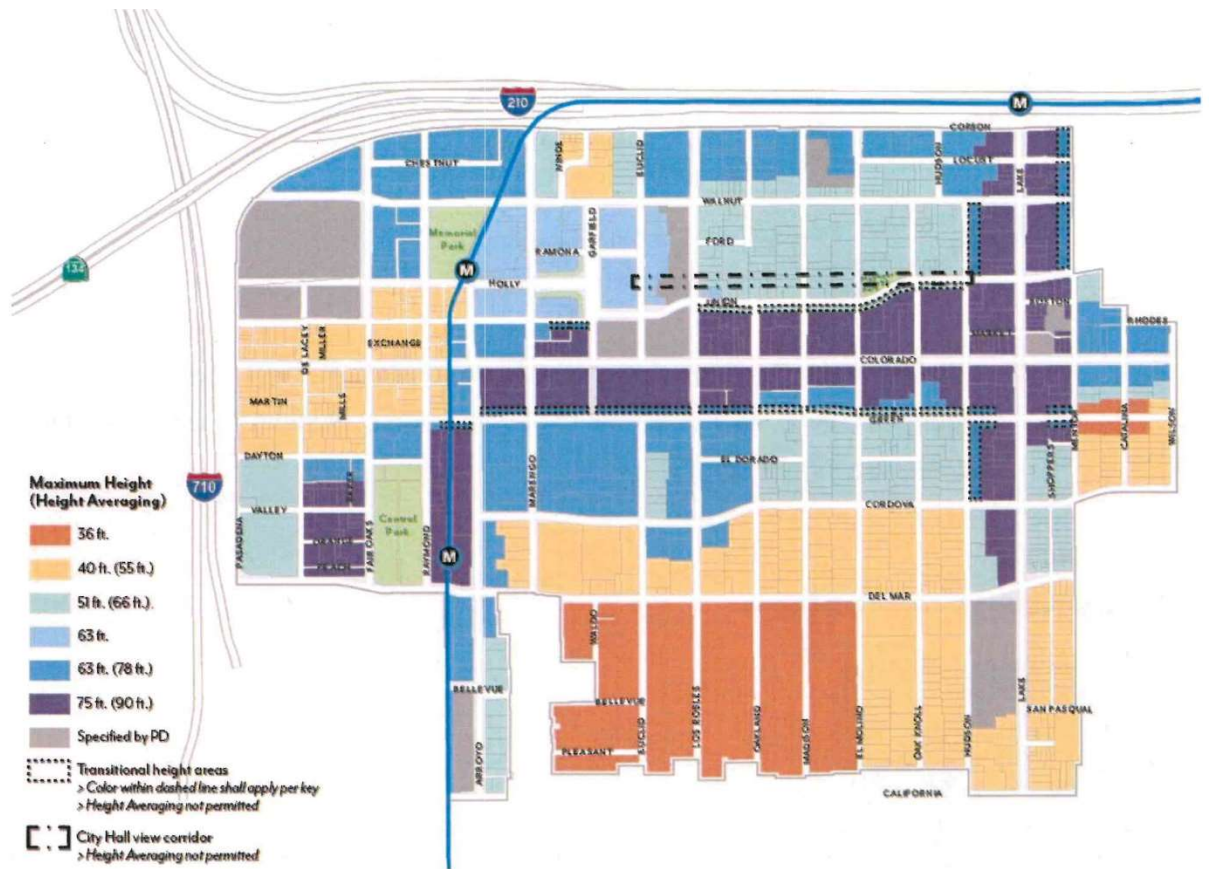
### C. Height.

#### 1. Building Height. Projects shall not exceed the height limits set in Figure CDSP-8.

- a. Height is measured per Section [17.40.060](#).
- b. Transitional height areas are height reductions along specific corridors for portions of parcels set in in Figure CDSP-8, and shall be measured as follows from the sidewalk line:
  - (1) 50 feet from the Green Street and Union Street.
  - (2) 100 feet from Hudson Avenue and Mentor Avenue.
- c. Exceptions allowed for Height Averaging per Section 17.30.060.C.2 and projecting features such as appurtenances and railings per Section [17.40.060](#).

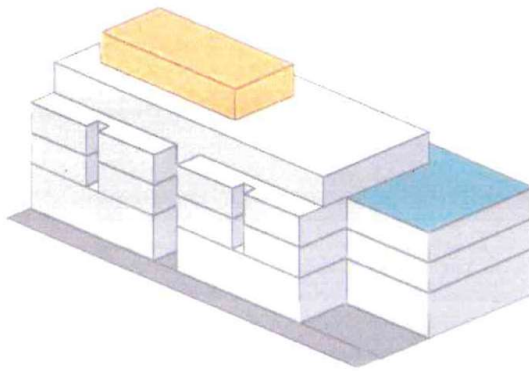


Figure CDSP-8: Building Height



2. **Height Averaging.** With approval of Design Commission, height limits may be exceeded for up to 30 percent of the building footprint to the maximum set in Figure CDSP-8, provided that the average height over the entire footprint does not exceed the allowable height; see Figure CDSP-9.
  - a. The intent is to counterbalance additional height with lower heights elsewhere on-site to achieve an economically-feasible development that protects view corridors and contributes to a more visually-compelling skyline.
  - b. Averaging is not applicable to other development standards relating to the building scale such as stepbacks. It may not be used in combination with a concession for building height when utilizing Section [17.43](#).

**Figure CDSP-9: Height Averaging**

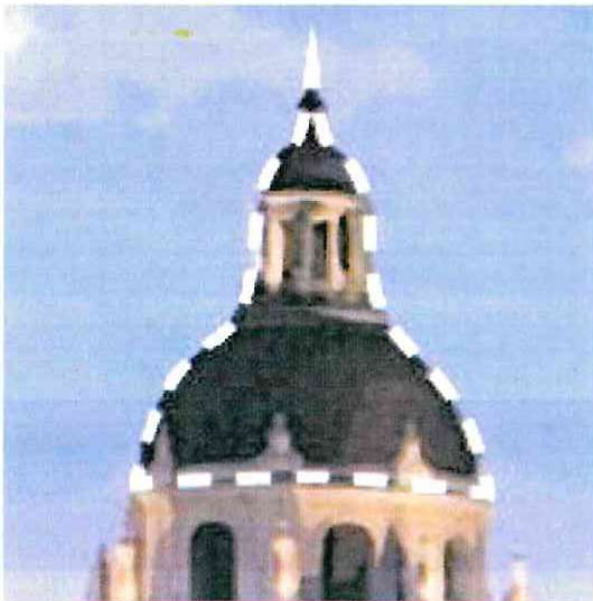


*A building may exceed its height limit for up to 30% of its footprint if another area is lowered so that the average height is at or below the height limit*

*Note: Diagrams used for illustrative purposes only.*

3. **City Hall View Corridor.** Projects shall not block the view of the City Hall dome, Figure CDSP-10, as visible from the intersection at Hudson Avenue and Union Street; see Figure CDSP-8.

**Figure CDSP-10: City Hall Dome**



4. **Streetwall Height.** Building shall meet or exceed the minimum streetwall height set in Table CDSP-3 for a minimum of 75 percent of building frontage, unless the overall building height is lower than the requirement; see Figure CDSP-11.

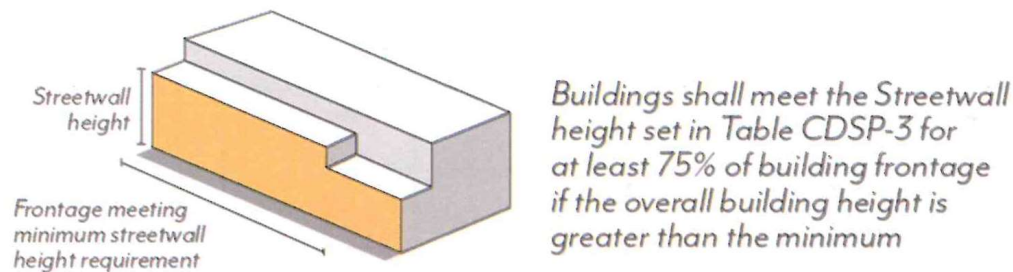
## Exhibit 4

- a. Streetwall is defined as any street-façade within 10 feet of the maximum setback and is not required to be continuous.
- b. Appurtenances shall not count toward streetwall height.

**Table CDSP-3: Streetwall Height**

Colorado Boulevard	25'
Lake Avenue	40' (north of Cordova) 25' (south of Cordova)
Walnut Street	25'

**Figure CDSP-11: Streetwall Height**



*Note: Diagrams used for illustrative purposes only.*

### **D. Setbacks.**

1. **Street Setbacks.** Buildings shall comply with the street setbacks set in Figure CDSP-12, except where modified for historic adjacency per Section 17.30.070.G. Setback ranges establish a minimum and maximum for the specified percentage of linear frontage, see Figure CDSP-13.
  - a. Street setbacks are measured from the sidewalk line; see Figure CDSP-3.
  - b. Minimum setbacks shall apply to all stories of a building; setbacks less than the minimum are prohibited. Maximum setbacks shall apply only to the ground floor and streetwalls, Section 17.30.070.D.4, where applicable.
  - c. Exceptions allowed per Section [17.40.160](#) (Table 4-1) and the following:

## Exhibit 4

- (1) Arcades and recessed ground floors up to 15 feet in depth, as well as parking entrances per Section [17.30.090](#), are allowed when a second story meets the specific setback; see Figure CDSP-14.
  - (2) The primary specified frontage percentage may be reduced for the provision of Publicly Accessible Open Space facing the street through the Design Review process with Design Commission approval.
- d. Residential units on the ground floor, where permitted, shall have a minimum setback of 5 feet. Where elevated between 4 and 6 feet above the sidewalk elevation, a minimum setback of 8 feet shall be required.
  - e. For buildings set back from the sidewalk line 5 feet or more, a percentage of the setback area shall be landscaped with trees, shrubs and/or groundcover, either in the form of in-ground landscaping or planters, see Table CDSP-4.

**Table CDSP-4: Landscaped Front Setback Percentages**

Frontages with shared entrances to internal circulation	50%
Frontages with individual residential unit entrances	30%
with a stoop taller than 30 inches	10%
Frontages with individual commercial tenant entrances.	30%
with outdoor dining	10%

- (1) Exceptions. Holly Street between Marengo and Garfield Avenues, and Garfield Avenue between Ramona and Union Streets are exempt from landscaping requirements.
- f. Features allowed within the street setback include: landscaping and planters, hardscape (e.g. stops, patios), shade structures per Section 17.30.070.D, arcades and galleries per Section 17.30.070.E, walls and fences per Section 17.30.070.F, seating and furniture, outdoor dining, and other open space amenities per review authority approval.

Figure CDSP-12: Street Setbacks

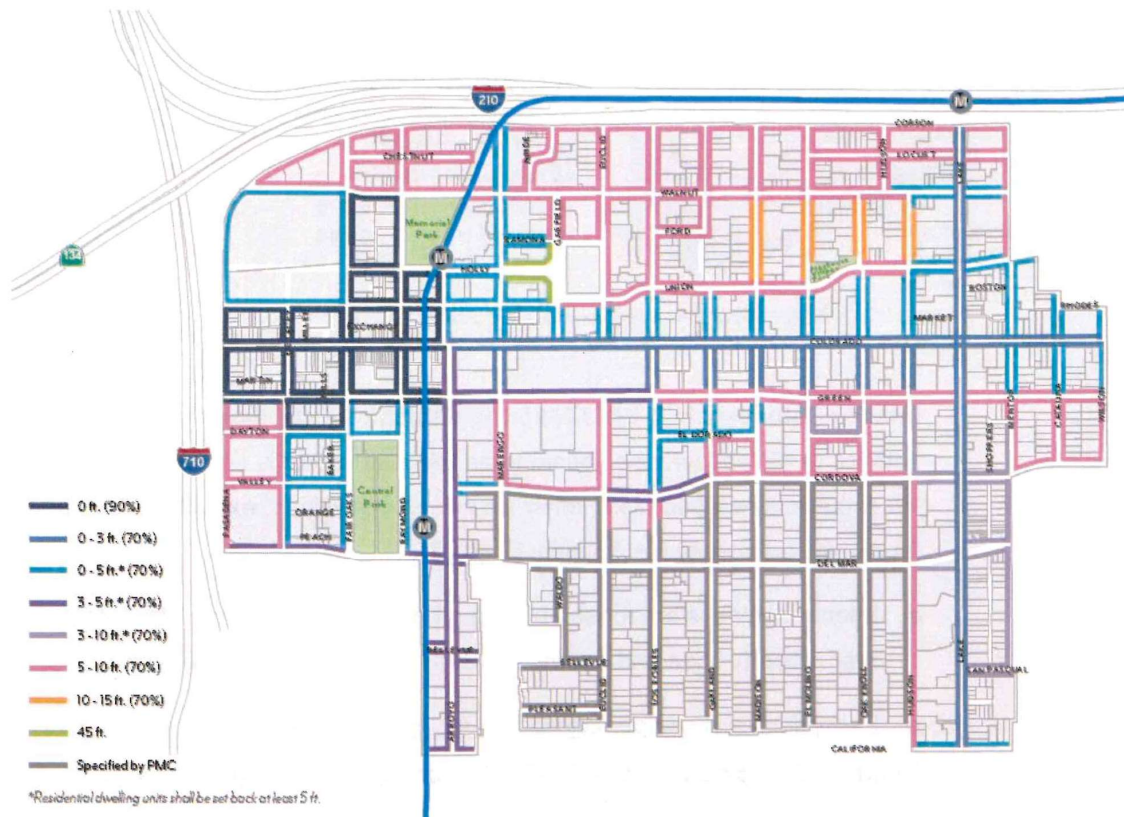
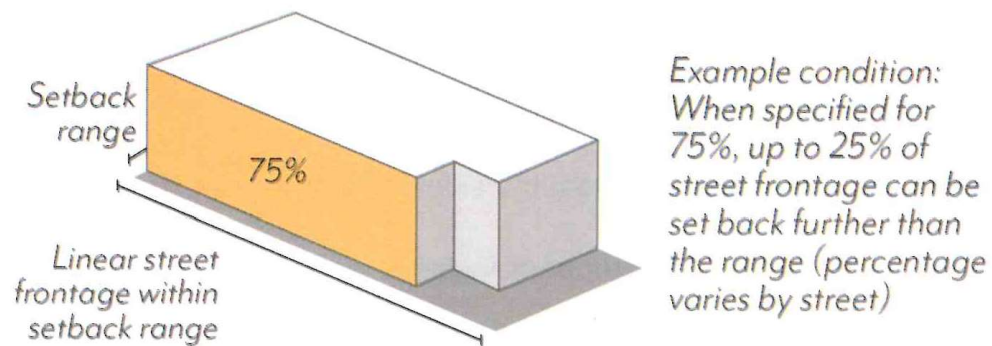
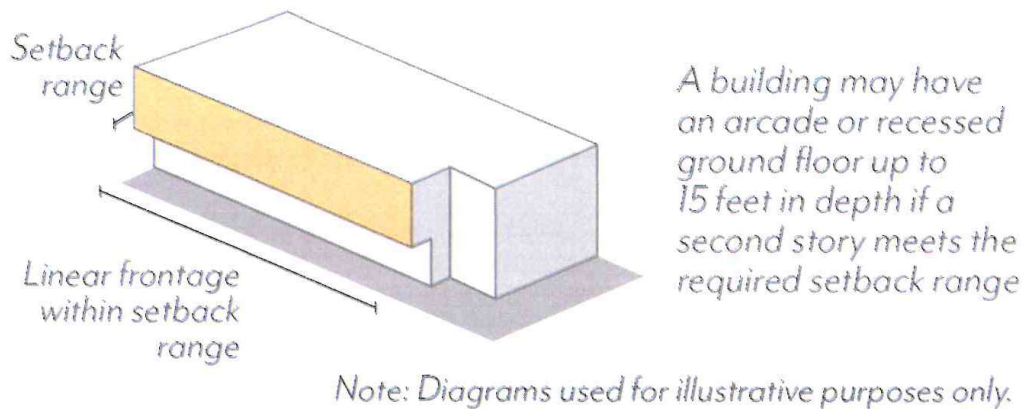


Figure CDSP-13: Street Setbacks Percentage





**Figure CDSP-14: Recessed Ground Floor**

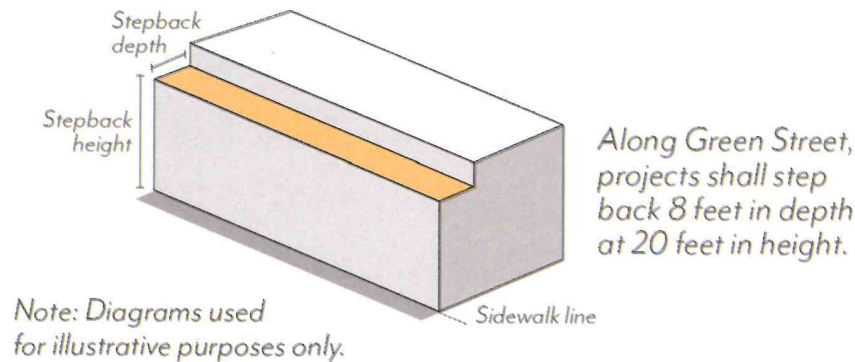


2. **Interior Setbacks.** In the MU-N zoning district, projects shall have a minimum setback of 15 feet where adjacent to an RM district that is outside of the CDSP. No setback is required along other interior property lines, except where modified for historic adjacency per Section 17.30.070.G.
  - a. Interior setbacks are those abutting other parcels along non-street side and rear property lines and are measured from the shared property line.
  - b. Exceptions allowed per Section [17.40.160](#) (Table 4-1).
3. **Building Separation.** In the CD-RM-87 zoning district, projects shall be separated from existing buildings on adjacent lots by a minimum of 10 feet above the first story.

## E. Stepbacks

1. **Street Stepbacks.** Along Green Street, buildings shall not exceed 20 feet in height before stepping back 8 feet in depth; see Figure CDSP-15.
  - a. Street stepbacks are measured from the sidewalk line.
  - b. Uses allowed within the street stepback include:
    - (1) Private Open Space (e.g. balconies, terraces);
    - (2) Shade structures, trellises, and similar;
    - (3) Green roofs and photovoltaic panels; and/or
    - (4) Other open space features per review authority approval.

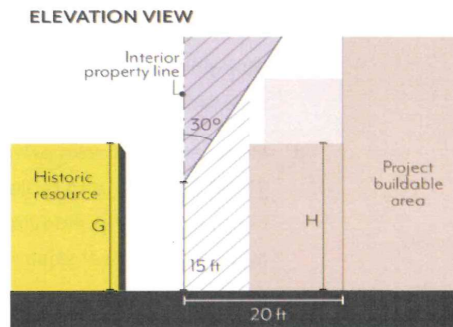
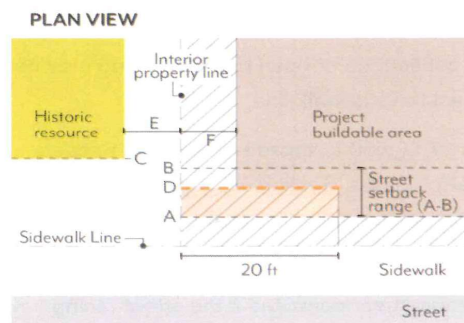
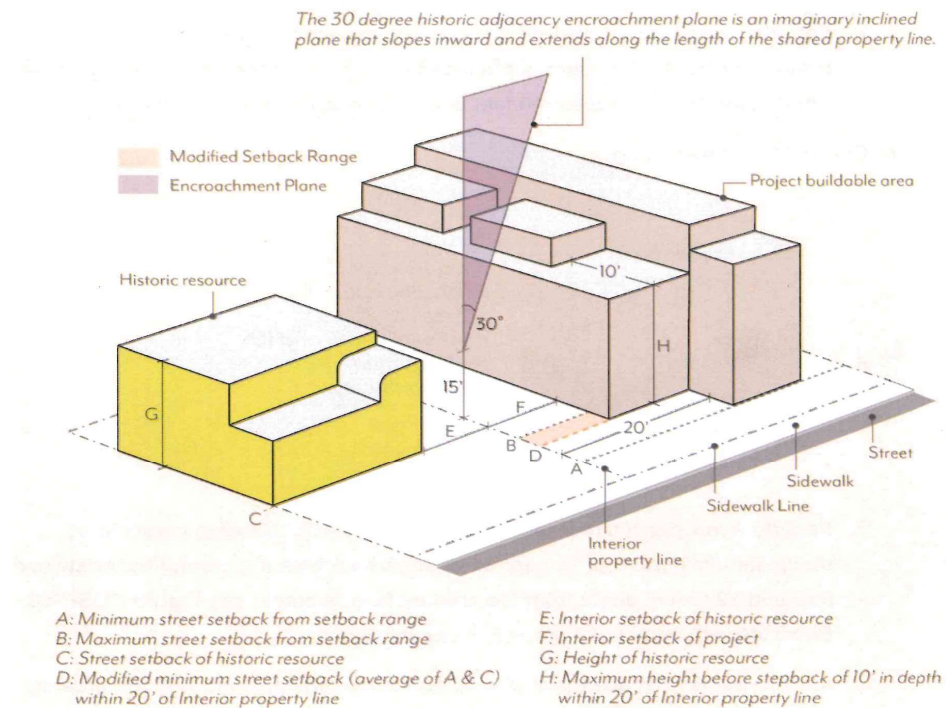
**Figure CDSP-15: Street Stepbacks**



**F. Historic Adjacency.**

1. **Landmark Properties.** Projects on parcels with a designated historic resource shall be subject to review for consistency with the Secretary of the Interior's Standards.
2. **Transition Massing.** Projects sharing a property line with a designated historic resource are subject to the following modified standards, illustrated in Figure CDSP-16.
  - a. **Street Setbacks.** The minimum street setback shall be an average of the minimum setback set in Figure CDSP-12 and that of the resource for a minimum of 20 feet from the shared property line. If located between two resources, the street setback shall be an average of the setbacks of the two resources.
  - b. **Interior Setbacks.** The minimum interior setback shall be equal to that of the historic resource or 15 feet, whichever is less. No setback is required where the resource is built to the shared property line.
  - c. **Streetwall Height.** A maximum streetwall height shall not exceed the height of the historic resource for a minimum of 20 feet from the shared property line. A stepback with a minimum depth of 10 feet is required above this height, measured from the modified minimum street setback.
  - d. **Interior Stepbacks.** Projects shall not be located within an encroachment plane sloping upward and inward at a 30-degree angle measured from the vertical, commencing 15 feet above the existing grade at the property line. This plane is not applicable if the resource is built to the shared property line.

Figure CDSP-16: Historic Adjacency



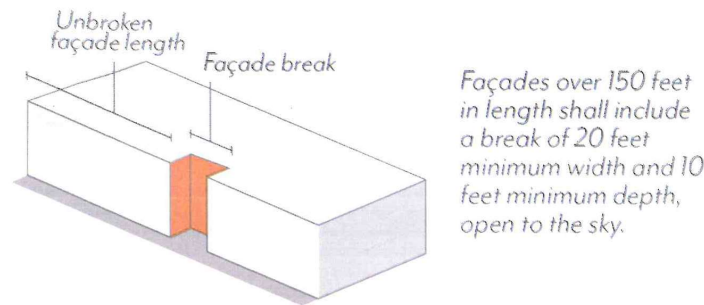
*Note: Diagrams used for illustrative purposes only.*

## G. Modulation

1. **Facade Length.** Each street-facing facade ~~exceeding 150 feet shall include a break of at least 10 percent of the facade length or 20 feet, whichever is greater~~ shall not exceed 150 feet in length unless there is a minimum break of 10 percent of the building length or 20 feet, whichever is greater. This break shall be at least 10 feet deep, open to the sky; see Figure CDSP-17.



**Figure CDSP-17: Façade Length**

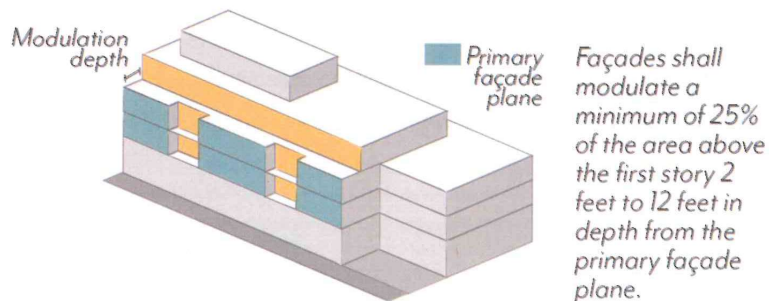


2. **Façade Area.** Each street-facing facade exceeding 50 feet in length shall modulate a minimum of 25 percent of the area above the first story. This modulation shall be between 2 feet and 12 feet in depth from the primary facade plane; see Figure ECSP-16. Buildings with a total of 2 stories or less are exempt.
  - a. The primary façade plane is defined as the vertical plane with the greatest surface area above the ground floor.
  - b. Planes that are separated by a gap of at least 20 feet in width and 2<sup>1</sup>/<sub>0</sub> feet in depth shall be considered separate façades for the purposes of this standard.
  - c. Modulation is not required by continuous or open to the sky, and may be recessed or projected, but not past the sidewalk line.
  - d. Required stepbacks per Section 17.30.060.F, façade breaks per Section 17.30.060.G1, and projected balconies per Section 17.30.070.G1 shall not count toward the modulation requirement; balconies that are recessed a minimum of 2 feet shall qualify.
  - e. Exception to the Façade Area requirement permitted if the street-facing façade meets all of the following standards:
    - (1) The maximum façade shall be 100 feet.
    - (2) All windows shall be recessed at least 4 inches.
    - (3) The façade shall use a textural material comprised of brick, stone, precast concrete, Venetian plaster, hand-toweled-stucco, or porcelain tiles at least 12 by 4 inches. Ceramic tiles, porcelain tiles less than 12 by 4 inches, standard stucco, or flat, polished a stone shall not qualify.

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- (4) The façade shall employ a tripartite division in which the façade is organized into three horizontal sections with a base, middle, and top.
  - a. The middle section shall be differentiated from both the base and the top through a change in façade plane of at least 4 inches, or a consistent horizontal band that projects at least 4 inches from the façade.
  - b. The top section shall use a cornice that is at least 1 foot in depth.

**Figure CDSP-18: Façade Area**



### 3. Alternative Compliance.

- a. **Eligibility.** Modulation standards may be reduced or otherwise modified through the Design Review if:
  - (1) A minimum of 90 percent of the provided parking is fully or partially subterranean;
  - (2) A minimum of one publicly accessible open space is provided at the ground level, visible and accessible from the sidewalk;
  - (3) No other concessions, waivers, or incentives have been requested, including those associated with Density Bonus per Section [17.43](#), unless the project is designed to achieve LEED Gold certification; and
  - (4) The review authority makes all of the following findings.
- b. **Required Findings:**
  - (1) The building design provides modulation on each street-facing façade in a manner consistent with the project's architectural style and/or immediate context, including adjacent historic resources.

## Exhibit 4

- (2) The building design does not cause an adverse impact on the quality of the ground floor and public realm.
- (3) The ground level open space is of adequate size and integrated with the building in a functional way that ensures the space will be actively utilized.
- (4) The modification will not be detrimental to the health, safety, and welfare of the public.
- (5) The building design is consistent with the objectives and policies of the General Plan and CDSP, as well as all other standards of the CDSP.

### 17.30.080 - Open Space

These standards are intended to:

- Provide a variety of open space types for gathering, recreation and respite that contribute to enhanced livability within an urban setting;
- Give residents access to light, air, and pleasant views from their living spaces;
- Improve building design and site planning through the integration of open space throughout the development; and
- Correlate open space requirements with number of residents and size of buildings.

#### A. Minimum Area

1. **Private and Common Open Space.** Projects shall provide the minimum area of Open Space based on use and size. Areas used regularly for parking, loading or storage shall not count towards minimum Open Space requirements.
  - a. **Residential.** Projects with dwelling units shall provide the minimum area of Open Space per Table CDSP-6 as a combination of Private and/or Common Open Space.
  - b. **Non-residential.** Projects with more than 40,000 square feet of non-residential floor area shall provide a minimum of 5 percent of the gross non-residential floor area as Common Open Space.
    - (1) Research and Development uses may reduce Open Space area requirements by a maximum of 60 percent. Research and Development projects (or the Research and Development portion of a project with multiple uses) shall exclude mechanical space from floor area for the required Open Space.

- c. **Mixed-use.** Projects shall comply with requirements applicable to each type of use.

**Table CDSP-6: Residential Open Space by Unit Type**

<b>Number of Bedrooms</b>	<b>0</b>	<b>1</b>	<b>2</b>	<b>3+</b>
Per Unit, sq ft	200	225	250	275

- 2. Publicly Accessible Open Space (PAOS).** Projects with more than 80,000 square feet of gross floor area (GFA) and with frontage identified on Figure CDSP-23 shall provide PAOS based on a percentage of GFA set in Table CDSP- 7.
- a. Exception: Projects with less than 80,000 square feet of GFA and selected for plaza development at the northwest corner of Lake Avenue and California Boulevard shown in Figure CDSP-23 shall provide a minimum of 400 square feet of PAOS as a corner plaza.
    - (1) For projects that provide at least 600 square feet of PAOS and which comply with all standards in Section 17.30.080.D, other development standards in the CDSP may be modified with review authority approval.
  - b. Research and Development uses may reduce PAOS area requirements by a maximum of 60 percent. Research and Development projects (or the Research and Development portion of a project with multiple uses) shall exclude mechanical space from floor area for the required PAOS.
  - c. PAOS shall be provided in addition to Private and Common Open Space requirements.
  - d. Projects shall comply with PAOS standards per Section 17.30.080.D and Paseo standards per Section 17.30.080.E where relevant.
    - (1) PAOS and Paseo standards may be modified through the Design Review process, if the review authority finds that the modified design continues to be accessible to the public, functional, and includes features such as landscaping, trees, and outdoor seating.

Figure CDSP-23: Publicly Accessible Open Space



Table CDSP-7: Publicly Accessible Open Space by Project Size &amp; Location

Project Size (GFA)	80,000—119,999 sq ft	120,000—159,999 sq ft	160,000—199,999 sq ft	200,000+ sq ft
Per Project, sq ft	2%	3%	4%	5%
Exception: Per Section 17.30.080.A.2.a, projects with less than 80,000 square feet of GFA and selected for plaza development at the northeast corner of Lake Avenue and California Boulevard shown in CDSP Figure-23 shall provide a minimum of 400 square feet of PAOS as a corner plaza.				

## B. Private Open Space.

1. **Dimensions.** A minimum area of 40 square feet with a minimum dimension of 5 feet in each direction shall be required for Private Open Space.
2. **Distribution.** A maximum of 40 percent of the required residential Open Space set in Table in CDSP-7 shall be Private Open Space.
  - a. All Private Open Space shall be outdoors.
  - b. Private Open Space may be located within a required setback.

**C. Common Open Space.**

1. **Dimensions.** A minimum area of 400 square feet with a minimum dimension of 15 feet in each direction shall be required for Common Open Space.
2. **Distribution.** A minimum of 60 percent of the required residential Open Space set in Table CDSP-7 shall be Common Open Space shared among tenants.
  - a. A minimum of 70 percent of Common Open Space shall be outdoors, and a minimum of 80 percent of outdoor Common Open Space shall be open to the sky.
  - b. A maximum of 30 percent of Common Open Space may be indoors. Indoor Common Open Space shall not include spaces used primarily for circulation.
3. **Access.** Common Open Spaces may be accessible to the public.
4. **Hardscape.** A maximum of 25 percent of Common Open Space may be paved in standard concrete. Remaining areas shall use one of the following enhanced paving techniques: brick, natural stone, unit concrete pavers, textured and colored concrete, concrete with exposed or special aggregate. Alternative paving may be allowed per review authority approval.
5. **Landscape.** A minimum of 25 percent of Common Open Space shall be planted area with a minimum dimension of 30 inches in length, and width, and depth. Landscaping shall comply with Section [17.44.050](#).
6. **Trees.** A minimum of one 24-inch box tree project or for every 500 square feet of outdoor Common Open Space, whichever is greater, shall be planted within the Common Open Space. For projects with 2 or more trees, a minimum of 50 percent of trees planted shall be shade trees.
7. **Water Features.** Fountains, reflecting pools, or other decorative water features shall not exceed 5 percent of the required Common Open Space. Swimming pools are not considered water features for the purposes of this standard.

**D. Publicly Accessible Open Space**

1. **Area.** Minimum PAOS requirements are set in Section 17.30.080.A.2. and Table CDSP-7, and may be contiguous or noncontiguous, subject to the dimension and elevation standards below.

## Exhibit 4

2. **Paseos.** Projects that are required to provide PAOS per Section 17.30.080.A.2 and located on parcels that include a paseo opportunity area on Figure CDSP- 23, shall be required to meet the minimum area requirement by providing a paseo, defined as a pedestrian passageway that connects a public street to another public street, alley, or internal public space.
  - a. Paseos shall meet the standards set in Section 17.30.080.E; design standards Section 17.30.080.D.4 through Section 17.30.080.D.12 shall not apply.
  - b. No additional paseo shall be required in opportunity areas where a paseo exists. The existing paseo shall be subject to standards in Section 17.30.080.E. The standards may be modified through the Design Review process, if the review authority finds that the modified design continues to be accessible to the public, functional, and includes features such as landscaping, trees, and outdoor seating.
3. **Plazas.** Projects selected for plaza development on Figure CDSP-23 shall meet the minimum area requirement by providing a corner plaza.
  - a. PAOS design standards shall apply.
4. **Dimensions.** A minimum area of 400 square feet with a minimum dimension of 20 feet in each direction is required for PAOS.
5. **Access.** A maximum of 20 percent of the PAOS may be used as outdoor dining for a restaurant subject to review authority approval; a minimum of 80 percent of the PAOS shall be accessible to the general public.
6. **Signage.** PAOS shall have signage visible from the adjacent sidewalk identifying the space as a publicly-accessible amenity and listing accessible hours.
7. **Hours.** At a minimum, PAOS shall be open to the general public from 8am to 8pm. Any gated ingress or egress points shall not be closed or locked during these hours.
8. **Elevation.** A minimum of 3,000 square feet of PAOS shall be at the sidewalk elevation. If less square footage is required, then all required PAOS shall be at the sidewalk elevation.
9. **Hardscape.** A maximum of 25 percent of PAOS shall be paved in standard concrete. Remaining areas shall use one of the following enhanced paving techniques: brick, natural stone, unit concrete pavers, textured and colored concrete, concrete with

## Exhibit 4

exposed or special aggregate. Alternative paving may be allowed per review authority approval.

10. **Seating.** Seating shall be provided at a minimum of 1 seat per 300 square feet of required PAOS. Fractions shall be rounded down to the nearest whole number.
  - a. Benches shall be calculated as 1 seat per 24 linear inches.
11. **Landscape.** A minimum of 25 percent of PAOS shall be planted area with a minimum dimension of 30 inches in length, width, and depth. Landscaping shall comply with Section [17.44](#).
12. **Trees.** A minimum of one 24-inch box tree per project or for every 750 square feet of PAOS, whichever is greater, shall be planted. For projects with 2 or more trees, a minimum 50 percent of trees planted shall be shade trees.
  - a. Trees planted in pots on the ground floor shall not be counted towards the tree requirement.
13. **Blank Walls.** PAOS shall adhere to the blank wall standards defined in Section 17.30.070.C, or provide one of the following mitigations:
  - a. Green wall, vines, or other vertical landscaping element that covers a minimum of 75 percent of non-conforming blank wall area.
  - b. Public art including, but not limited to, murals.
14. **Common Open Space Credit.** PAOS in excess of the minimum may count towards a maximum of 30 percent of the Common Open Space requirement at a 1:1 ratio.

### E. **Paseos.**

1. **Dimensions.** Paseos shall have an average width of 20 feet, minimum width of 15 feet, and be a minimum of 75 percent open to the sky. Paseos shall have a walk zone with a minimum width of:
  - a. 10 feet for commercial / mixed-use paseos.
  - b. 8 feet for residential-only paseos.
2. **Access.** Paseos shall be physically and visually accessible from the connecting public sidewalk.



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- a. Fences, walls, and/or entry gates are permitted; however, these features shall not block passage through the paseo during public hours.
  - b. Bollards (fixed or removable) shall be provided at all entry points of paseos to restrict vehicular access during public hours.
  - c. Emergency vehicular access shall be provided.
3. **Signage.** Paseos shall have signage visible from the adjacent sidewalk identifying the space as a publicly-accessible amenity and listing public hours. In paseos that have commercial frontages, a directory shall be provided at each entry. Specific sign guidelines shall be created for all properties with building façades immediately adjoining the paseos.
4. **Hours.** At a minimum, paseos shall be open to the general public from 8am to 8pm. Commercial loading shall be limited to non-public hours.
5. **Elevation.** Paseos shall be at ground level and ADA accessible.
6. **Programming.** A maximum of 10 percent of required paseo area may be used by adjacent restaurants or food sales uses as a space restricted to customers only. Any additional programming must be non-transactional and without financial barriers to entry.
  - a. Exception: Paseos may be closed to public access for private events no more than one day per month.
7. **Hardscape.** A maximum of 25 percent of paseos shall be paved in standard concrete. Remaining areas shall use one of the following enhanced paving techniques: brick, natural stone, unit concrete pavers, textured and colored concrete, concrete with exposed or special aggregate. Alternative paving may be allowed per review authority approval.
8. **Stormwater Management.** A minimum of 25 percent of the total paved area shall be permeable paving to allow for stormwater infiltration. Depending on soil and site conditions, infiltration and/or flow-through planters shall be installed to capture and treat 100 percent of the stormwater run-off on-site.
9. **Seating.** Seating shall be provided within the paseo at a minimum of 1 seat per 300 square feet of required space. Fractions shall be rounded down to the nearest whole number.

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10. **Landscape.** A minimum of 25 percent of paseo area shall be planted area a minimum of 30 inches in length, width, and depth. Landscaping shall comply with Section [17.44](#).
11. **Trees.** A minimum of one 24-inch box tree per project or per each 750 square feet of paseo area, whichever is greater, shall be planted. For projects with 2 or more trees, a minimum 50 percent of trees planted shall be shade trees.
  - a. Trees planted in pots, on the ground floor, shall not be counted towards the tree requirement.
12. **Blank Walls.** Paseos shall adhere to the blank wall standards defined in Section 17.30.070.C, or provide one of the following mitigations:
  - a. Green wall, vines, or other vertical landscaping element that covers a minimum of 75 percent of non-conforming blank wall area.
  - b. Public art including, but not limited to, murals.
13. **Common Open Space Credit.** When the area needed to facilitate the connection of a public street to another public street or alley and meet Section 17.30.080.E.1 is greater than the minimum PAOS requirement, the additional required paseo area may count towards the Common Open Space requirement at a 1:1 ratio.
  - a. Paseo area in excess of the minimum may count towards a maximum of 50 percent of the Common Open Space requirement at a 1:1 ratio.

### 17.30.090 - Parking

These standards are intended to:

- Reduce the visual impacts of parking;
- Regulate appropriate parking supply and location in a manner that prioritizes pedestrian access and multi-modal activity;
- Encourage change of use and adaptive reuse of existing buildings through parking reductions and exemptions;
- Promote a more efficient use of parking spaces through shared parking among multiple uses within a project; and
- Increase design standards for surface and structured parking.

## Exhibit 4

### A. Minimum Parking.

1. **Number of Spaces.** Projects shall provide off-street automobile parking spaces per Table CDSP-8 based on general use classifications, and subject to the standards of Section [17.46](#).
  - a. Where parking minimums in this Section conflict with state law, state law shall control.
  - b. For projects within one-half mile of a Metro station platform, reductions in parking and a maximum number of parking spaces shall apply per Section [17.50.340](#).
  - c. Bicycle parking shall be required per Section [17.46.320](#).

**Table CDSP-8: Minimum Parking by Land Use**

Use Classification <sup>1</sup>	Number of Spaces	Notes	
Residential (excluding SRO)	≤1-bedroom: 1 per unit ≥2-bedroom: 1.5 per unit Guest: 1 per 10 units	Plus 1 per 10 units for guests, which may be shared with commercial parking in mixed- use projects 2	No new parking required for:  • Projects within designated historic resources (excluding additions)
SRO	Section <a href="#">17.46.040</a>		• Changes of use in structures built prior to 1970
Live/Work Units	1.5 per unit		
Recreation, Education & Public Assembly	Section <a href="#">17.46.040</a>		
Office, Professional & Business Support	2 per 1,000 sf	No parking required for: - First 5,000 sf of project; and - First 500 sf of outdoor dining per tenant	
Retail Sales (including Restaurants)			
Services (excluding Lodging)			
Lodging	0.5 per room	Plus 5 per 1,000 sf of assembly, banquet or meeting space; no parking is required for first 15,000 sf	
Industry, Manufacturing & Processing	2 per 1,000 sf		
Transportation, Communications & Utility	Section <a href="#">17.46.040</a>		
Notes:			

<sup>1</sup> Use classifications correspond to general use categories in Table CDSP-1. The number of spaces listed above shall apply to all uses listed under these general categories, with the exception of specific uses where the parking requirement is lower per Section [17.46.040](#).

<sup>2</sup> No shared parking agreement is required; each guest space shall count as 1 commercial space.

2. **Shared Parking.** Parking may be shared among multiple uses per Section [17.46.050](#).
3. **Unbundled Parking.** For any building with new residential units, automobile parking spaces shall be leased or sold separately from the rental or purchase fees, such that renters or buyers have the option of renting or buying the unit at a lower price than if the parking was included.
  - a. For deed-restricted affordable units, one parking space shall be included in the base rent of each unit. The tenant may choose to receive the parking space or receive a rent discount equivalent to half the amount charged for monthly lease of a parking space. Tenants of affordable units shall not sublease their parking spaces.
  - b. Renters or buyers have the right of first refusal to parking built for their unit. Any remaining spaces may be leased to other users on a month-to-month basis. New occupants shall have the opportunity to lease or purchase parking built for their unit.
  - c. Unbundled parking is not required for a residential property or unit with an individual garage that is functionally a part of the property or unit (e.g., certain townhome and row houses).

**B. Vehicle Access.**

1. **Driveways.** For Projects with less than 200 feet of primary street frontage, a maximum of 1 two-lane driveway shall be permitted. For sites with more than 200 feet of primary street frontage, a maximum of 2 two-lane driveways shall be permitted.
  - a. Driveways are not permitted on primary frontages of less than 200 feet where there is access from a secondary street or alley.
  - b. The Zoning Administrator shall determine the primary frontage for purposes of compliance with this subsection.

## Exhibit 4

2. **Gates.** Controlled entrances to parking shall be located a minimum of 20 feet from the property line to allow for a queuing vehicle without blocking the public right-of-way.

- a. Gates at parking entrances shall be designed to conceal associated mechanical equipment from the public right-of-way in compliance with Section [17.40.150](#).

### C. Layout & Design.

1. **Surface Parking.** Parking lots shall comply with Section [17.46.230](#) with the following exemptions:

- a. Parking lots shall be set back a minimum of 30 feet from the primary frontage, a minimum of 10 feet from any secondary frontage, and a minimum of 5 feet from RM zoning.
- b. Parking shall be buffered by permitted non-parking uses or a landscaped setback adjacent to the sidewalk line, except for driveways or pedestrian access to the parking area.

- (1) Landscaped setbacks shall include a row of hedges or shrubs with a minimum height of 3 feet at the time of planting that form a continuous visual screen to block vehicle headlights.

2. **Entrances to Structured Parking.** For structured and subterranean parking, vehicular entrances shall employ the same materials and architectural styles as the primary building.

- a. Exterior buildings materials shall wrap into parking entrances/exists for a minimum of 20 feet from the building façade, except areas not visible from public streets.
- b. Entrances shall not be larger than the necessary clearance area.

3. **Structured Parking.** ~~Above-ground parking structures shall be buffered by permitted non-parking uses a minimum of 35 feet in depth adjacent to the sidewalk line, except for driveways or pedestrian access to the parking area.~~ Along primary frontages, all floors of parking structures shall be lined with building floor area (e.g. commercial or residential uses) or Publicly Accessible Open Space for a minimum of 35 feet in depth. Along secondary frontages, parking structures shall be set back a minimum of 5 feet. Pedestrian access and driveways in compliance with 17.31.100.B are excluded from this requirement.

## Exhibit 4

- a. Parking structure façades visible from public streets, excluding alleys, shall employ the same materials and architectural style as the primary building.
    - (1) Open areas on the façade shall be designed as windows or screen using heavy-gauge metal, precast concrete panels, laminated glass, green walls, photovoltaic panels or other material per review authority.
  - b. Vehicular ramps shall not be located within 10 feet of the sidewalk line, except at parking entrances/exits.
  - c. A parking structure shall not exceed the height of the tallest building it serves.
- 4. Underground Parking.** Subterranean parking shall be set back a minimum of 5 feet from Green Street and RM zoning. Otherwise, it may extend up to the property line.

## Chapter 17.31 - East Colorado Specific Plan 2022

### 17.31.040 Allowable Land Uses

- A. **Definitions.** Definitions of specific land uses are found in Section [17.80.020](#).
- B. **Permit Requirements.** Table ECSP-2 identifies the uses of land allowed, the land use permit required to establish each use, and limitations that may apply for a particular use.
- C. **Standards for Specific Land Uses.** Additional standards may apply to specific land uses; refer to the Section noted in Table ECSP-2.
  - 1. Section [17.50.160](#) shall not apply to Mixed-Use Projects.
  - 2. Section [17.50.350](#) shall not apply to Multi-Family Housing.
- D. **Ground Floor Frontages.** In Mixed-Use zoning districts, additional commercial requirements and residential unit restrictions on the ground floor shall apply per Section 17.31.080.A.
- E. **Major Construction.** For all non-residential uses with a gross floor area of 25,000 square feet or greater, a Conditional Use Permit shall be required per Section [17.61.050.J.2](#).
- F. **Prohibited Uses.** Those uses not listed in Table ECSP-2 are prohibited by this Specific Plan, except as otherwise provided by Section [17.21.030.A](#).
- G. **Nonconforming Uses.** Existing uses which are made nonconforming by this Specific Plan shall be subject to Section [17.71](#).
- H. **Initial Use of a Historic Resource.** Where prohibited by Table ECSP-2, the initial use of the designated historic resources, identified on Page 17 of the ECSP, may be permitted with a Conditional Use Permit.
- I. **Limited Hours of Operation.** Uses listed in Table ECSP-2 shall comply with limited hours of operation as required by [17.40.070](#).

**Table ECSP-2: Allowable Land Uses**

Symbol	Description	Section
P	Permitted use, Code Compliance Certificate required.	<a href="#">17.61.020</a>
MC	Conditional use, Minor Conditional Use Permit required.	<a href="#">17.61.050</a>
<u>AMC</u>	<u>Conditional use, Administrative Minor Conditional Use Permit required</u>	
C	Conditional use, Conditional Use Permit required.	
<u>AC</u>	<u>Conditional use, Administrative Conditional Use Permit required</u>	
E	Conditional use, Expressive Use Permit required.	<a href="#">17.61.060</a>
TUP	Temporary use, Temporary Use Permit required.	<a href="#">17.61.040</a>
—	Use not allowed.	
(L1)	Use is not permitted on the ground floor within 35 feet of the sidewalk line on Colorado Boulevard, Green Street, and Allen Avenue. Entries to upper floor or ground floor spaces behind the 35 feet are allowed.	

Exhibit 4

ZONING DISTRICT LAND USES AND PERMIT REQUIREMENTS				
Land Use <sup>1</sup>	Permit Requirement			Section/Notes
	EC-MU-C	EC-MU-G	EC-MU-N	
RESIDENTIAL USES				
Accessory Dwelling Unit	P	P	P	<a href="#">17.50.275</a>
Junior Accessory Dwelling Unit	P	P	P	<a href="#">17.50.275.E.</a>
Boarding Houses <sup>2</sup>	C	C	C	
Dormitories	P	P	P	
Fraternities/Sororities	P	P	P	
Home Occupations	P	P	P	<a href="#">17.50.110</a>
Mixed-Use Projects	P	P	P	
Multi-Family Housing	P	P	P	
Residential Accessory Uses and Structures	P	P	P	<a href="#">17.50.250</a>
Residential Care, General	P	P	P	
Residential Care, Limited	P	P	P	
Single-Room Occupancy	P	P	P	
Supportive Housing	P	P	P	
Transitional Housing <sup>3</sup>	P	P	P	
COMMERCIAL USES				
RECREATION, EDUCATION & PUBLIC ASSEMBLY USES				
Clubs, Lodges, Private Meeting Halls	C	C	C	
Colleges, Nontraditional Campus Setting	P	P	P	
Commercial Entertainment	E	E	E	<a href="#">17.50.130</a>
Commercial Recreation, Indoor	P	P	P	
Commercial Recreation, Outdoor	—	—	—	
Cultural Institutions	P	P	P	
Electronic Game Centers	P	P	P	<a href="#">17.50.100</a>
Park and Recreation Facilities	P	P	P	
Religious Facilities	C	C	C	<a href="#">17.50.230</a>
with Columbarium	MC	MC	MC	
with Temporary Homeless Shelter	MC	MC	MC	
with safe parking	MC	MC	MC	<a href="#">17.50.265</a>
Schools, Public and Private	—	C	C	<a href="#">17.50.270</a>



## Exhibit 4

Schools, Specialized Education and Training	P	P	P	
OFFICE, PROFESSIONAL & BUSINESS SUPPORT USES				
Automated Teller Machines (ATMs)	P	P	P	<a href="#">17.50.060</a>
Banks and Financial Services	P	P	P	
with Walk-Up Services	P	P	P	<a href="#">17.50.060</a>
Business Support Services	P	P	P	
Offices, Accessory	P(L1)	P(L1)	P(L1)	
Offices, Administrative Business Professional	P(L1)	P	P(L1)	
Offices, Government	P(L1)	P	P(L1)	
Offices, Medical	P	P	P	
Research and Development <sup>4</sup>	P	P	P	<a href="#">17.50.240</a>
Work/Live Units	—	P	P	<a href="#">17.50.370</a>
RETAIL SALES				
Alcohol Sales, Beer and Wine	C	C	C	<a href="#">17.50.040</a>
<u>Alcohol Sales, Beer and Wine at Restaurants (including fast food)</u>	<u>AC</u>	<u>AC</u>	<u>AC</u>	
Alcohol Sales, Full Alcohol	C	C	C	
<u>Alcohol Sales, Full Alcohol at Restaurants (including fast food)</u>	<u>AC</u>	<u>AC</u>	<u>AC</u>	
Animal Retail Sales	P	P	P	
Bars/Taverns	C	C	C	<a href="#">17.50.040</a> , <a href="#">17.61.050.J</a>
with Live Entertainment	C	C	C	<a href="#">17.50.130</a>
Building Materials and Supplies Sales	—	P	—	
Convenience Stores	P	P	P	
Food Sales	P	P	P	
Liquor Stores	C	C	C	<a href="#">17.61.050.J</a>
Restaurants, Fast Food	P	P	P	<a href="#">17.50.260</a>
Restaurants, Formula Fast Food	P	P	P	<a href="#">17.50.260</a>
Restaurants	P	P	P	<a href="#">17.50.260</a> , <a href="#">17.61.050.J</a>
with Limited Live Entertainment	P	P	P	
with Walk-Up Window <sup>5</sup>	MC	MC	MC	
Retail Sales	P	P	P	

## Exhibit 4

Significant Tobacco Retailers	C(L1)	C	C(L1)	<a href="#">17.50.330</a>
Vehicle Services, Sales/Leasing	—	C	—	<a href="#">17.50.360</a>
Vehicle Services, Sales/Leasing, Limited	—	C	—	
SERVICES				
Adult Day Care, General	P(L1) C(L1)	P C	P C	
Adult Day Care, Limited	C(L1) P(L1)	C P	C P	
Animal Services, Hospitals	—	P	—	<a href="#">17.50.050</a>
Catering Services	P(L1)	P	P	
Charitable Institutions	P	P	P	
Child Day Care Centers	P	P	P	<a href="#">17.50.080</a>
Child Day Care, Large	P	P	P	
Child Day Care, Small	P	P	P	
Drive-through Businesses, Non-restaurants <sup>4</sup>	—	C	—	<a href="#">17.50.090</a>
Drive-through Businesses, Restaurants <sup>4</sup>	—	C	—	
Emergency Shelters	MC	MC	MC	<a href="#">17.50.105</a>
Emergency Shelters, Limited	P	P	P	<a href="#">17.50.105</a>
Laboratories	—	P	P(L1)	
Life-Care Facilities	MC(L1)	MC	MC(L1)	<a href="#">17.50.120</a>
Lodging, Hotels and Motels	C	C	C	<a href="#">17.50.150</a>
Low Barrier Navigation Centers	P	P	P	<a href="#">17.50.153</a>
Massage Establishments	C	C	C	<a href="#">17.50.155</a>
Medical Services, Extended Care	—	MC	MC(L1)	
Mortuaries/Funeral Homes	—	MC	MC	
Neighborhood Gardens	P	P	P	
Personal Improvement Services	P	P	P	
Personal Services	P	P	P	
Printing and Publishing	P(L1)	P	P(L1)	
Printing and Publishing, Limited	P	P	P	
Public Safety Facilities	C	C	C	
Vehicle Services,	—	C	—	<a href="#">17.50.360</a>

Exhibit 4

Vehicle Equipment Repair				
<b>INDUSTRY, MANUFACTURING &amp; PROCESSING</b>				
Alcohol Beverage Manufacturing	—	C	—	<a href="#">17.50.040</a> , <a href="#">17.61.050.J</a>
with Accessory Tasting Room	—	C	—	
Custom Manufacturing/Artisan Production	P	P	P	
Industry, Restricted	—	MC	—	
Wholesaling, Distribution and Storage, Small-Scale	—	—	—	
<b>TRANSPORTATION, COMMUNICATIONS, AND UTILITY USES</b>				
Accessory Antenna Arrays	P	P	P	
Alternative Fuel/Recharging Facilities	—	P	—	
Commercial Off-Street Parking	MC	MC	MC	
Communications Facilities	C	C	C	
Transportation Terminals	C	C	C	
with safe parking	MC	MC	MC	<a href="#">17.50.265</a>
Utilities, Major	C	C	C	
Utilities, Minor	P	P	P	
Wireless Telecom Facilities, Major	C	C	C	<a href="#">17.50.310</a>
Wireless Telecom Facilities, Minor	MC	MC	MC	
Wireless Telecom Facilities, SCL	—	—	—	
<b>TEMPORARY USES</b>				
Filming, Long-term	C	C	C	
Filming, Short-term	P	P	P	
Personal Property Sales	P	P	P	<a href="#">17.50.190</a>
Seasonal Merchandise Sales	P	P	P	<a href="#">17.50.180</a>
Street Fairs	P	P	P	
Tents	TUP	TUP	TUP	<a href="#">17.50.320</a>
Other Temporary Uses	TUP	TUP	TUP	
<b>Notes:</b>				
1 See Section <a href="#">17.80.020</a> for definition of the listed land uses, except those listed in footnotes.				
2 Includes Co-living facilities, which may include more than one shared kitchen per building.				

## Exhibit 4

Separation requirements of Section [17.50.065](#) shall not apply.

- 3 The maximum interior or exterior area in which support services are offered or located shall not exceed 250 square feet.
- 4 Queuing lanes for vehicles shall not be located within 15 feet of Colorado Boulevard; this area may be used for landscaping, outdoor dining, or access driveways.
- 5 Minor Conditional Use Permit not required if Walk-Up Window complies with Section [17.50.260](#).

### 17.31.070 - Scale Standards

These standards are intended to:

- Implement the General Plan density (du/ac) and floor area ratio (FAR) values;
- Shape development in a manner that creates a defined public realm and appropriate scale of buildings for a visually appealing community;
- Reduce building massing through setback and stepback requirements that create appropriate transitions to residential neighborhoods;
- Support high-quality architecture and urban design through modulation requirements and a varied roof lines incentive; and
- Require appropriate transitions to designated historic resources.

#### A. Density

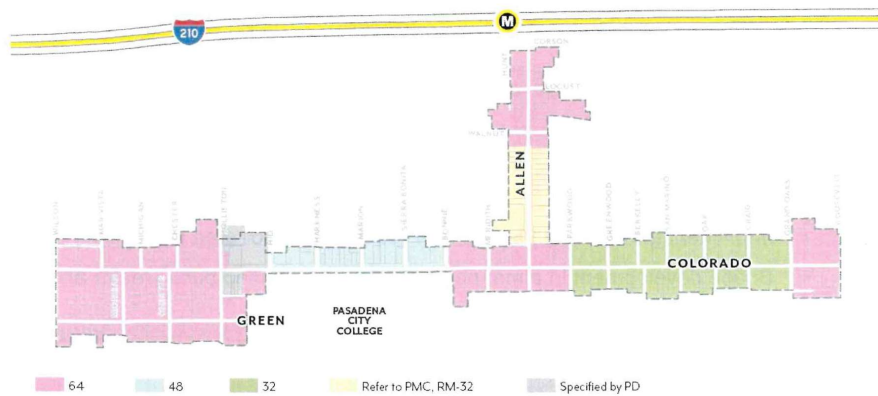
1. **Residential Density.** Projects that include residential dwelling units shall not exceed the allowable dwelling units per acre (du/ac) per Figure ECSP-5.

- a. Fractions shall be rounded to the nearest whole number; those at 0.50 may be rounded up.
- b. For projects utilizing state density bonus, refer to Government Code 65915.
- c. The maximum is based on total site area. If a street dedication or easement is required, density shall be calculated using the size of the lot prior to the street dedication or easement.

2. **Unit Mix.** For projects west of Hill Avenue with 50 dwelling units or more, inclusive of any density bonus, at least 20 percent of the total number of units shall have a minimum of 3 bedrooms.

- a. Fractions shall be rounded to the nearest whole number; those at 0.50 shall be rounded up.

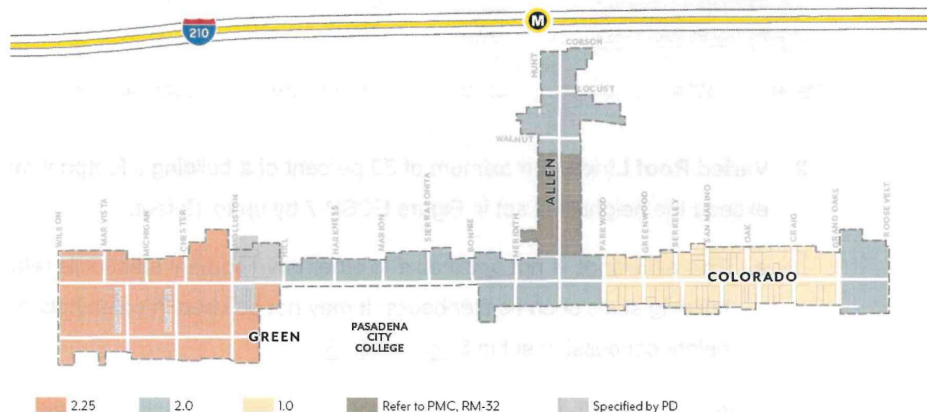
**Figure ECSP-5: Residential Density**



**B. Intensity**

1. **Floor Area Ratio.** Projects that include non-residential space, including mixed-use, shall not exceed the allowable floor area ratio (FAR) per Figure ECSP-6.
  - a. In mixed-use projects, residential floor area is included in FAR.
  - b. Areas used exclusively for vehicle and bicycle parking and loading are excluded from FAR.
  - c. The maximum is based on total site area. If a street dedication or easement is required, FAR shall be calculated using the size of the lot prior to the street dedication or easement.

**Figure ECSP-6: Floor Area Ratio**

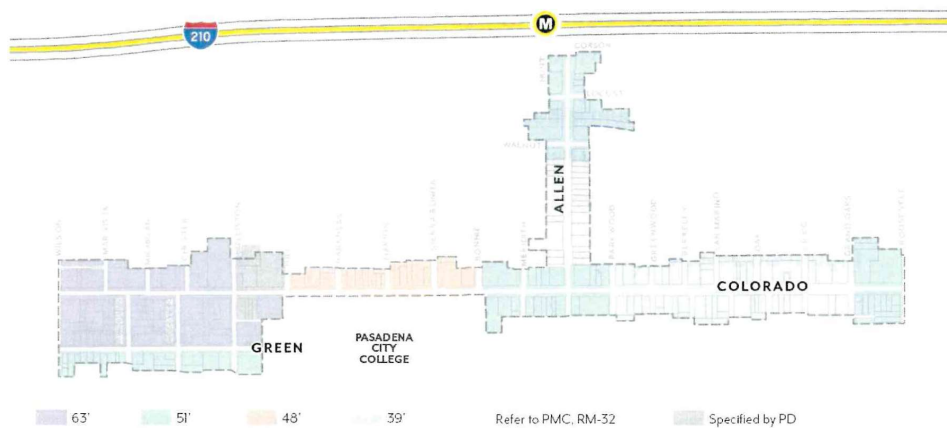


## C. Height

### 1. Building Height. Projects shall not exceed the height limits set in Figure ECSP-7.

- a. Height is measured per Section [17.40.060](#).
- b. Maximum height for massing adjacent to street or interior property lines may be limited by required stepbacks; see Section 17.31.070.E.
- c. Exceptions allowed for Varied Roof Lines (Section 17.31.070.C.2) and projecting features such as appurtenances and railings per Section [17.40.060](#).

**Figure ECSP-7: Building Height**



### 2. Varied Roof Lines. A maximum of 30 percent of a building's footprint may exceed the height limit set in Figure ECSP-7 by up to 12 feet.

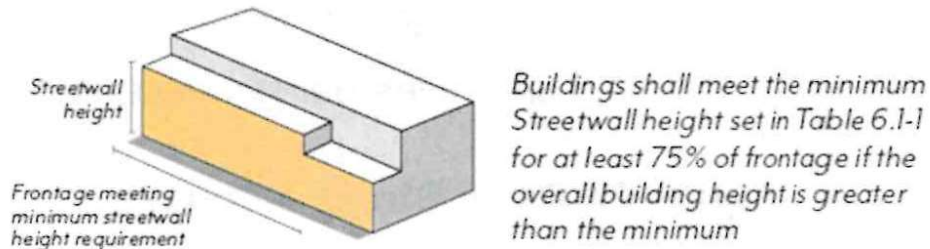
- a. This allowance is not applicable to other development standards relating to building scale such as stepbacks. It may not be used in combination with the height concession set in Section [17.43](#).

### 3. Streetwall Height. Buildings shall meet or exceed the minimum streetwall height set in Table ECSP-4 for a minimum of 75 percent of building frontage, unless the overall building height is lower than the requirement; see Figure ECSP-8.

- a. Streetwall is defined as any street-facing façade within 10 feet of the maximum setback and is not required to be continuous.
- b. Appurtenances shall not count toward streetwall height.

**Table ECSP-4: Streetwall Height**

Allen Avenue, north of Walnut	35' min.
Colorado Boulevard	25' min.

**Figure ECSP-8: Streetwall Height**

*Note: Diagrams used for illustrative purposes only.*

#### **D. Setbacks**

1. **Street Setbacks.** Buildings shall comply with the street setbacks set in Figure ECSP-9. Setback ranges establish a minimum and maximum for the specific percentage of linear frontage; see Figure ECSP-10.
  - a. Street setbacks are measured from the sidewalk line; see Figure ECSP-3.
  - b. Minimum setbacks shall apply to all stories of a building; setbacks less than the minimum are prohibited. Maximum setbacks shall apply only to the ground floor and Streetwalls (Section 17.31.070.C.3), where applicable.
  - c. Residential units on the ground floor shall have a minimum setback of 5 feet. Where elevated between 4 and 6 feet above sidewalk elevation, a minimum setback of 8 feet shall be required.
  - d. Exceptions allowed per Section [17.40.160](#) (Table 4-1) and the following:
    - (1) Arcades and recessed ground floors up to 15 feet in depth, as well as parking entrances per Section 17.31.100.B, are allowed when a second story or roof meets the setback range; see Figure ECSP-11.

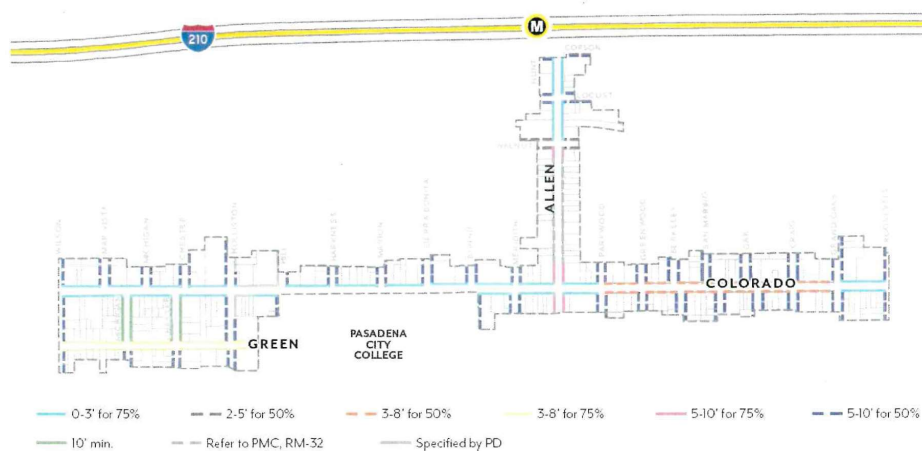
## Exhibit 4

- (2) The ~~primary~~ specified frontage percentage may be reduced for the provision of Publicly Accessible Open Space facing the street through the Design Review process with Design Commission approval.
- (3) For Restaurants in EC-MU-G, the primary frontage percentage may be reduced to 40 percent if an additional 10 percent is provided as a solid wall of 36 to 48 inches enclosing outdoor dining.
- e. Features allowed within the street setback include: landscaping and planters, hardscape (e.g. stoops, patios), shade structures per Section 17.31.080.D, arcades and galleries per Section 17.31.080.E, exterior features per Section 17.31.080.F, walls and fences per Section 17.31.080.G, seating and furniture, outdoor dining, and other open space amenities per review authority approval.
- f. For portions of buildings set back from the sidewalk line 5 feet or more, a percentage of the setback area shall be landscaped with trees, shrubs, and/or groundcover, either in the form of in-ground landscaping or planters.

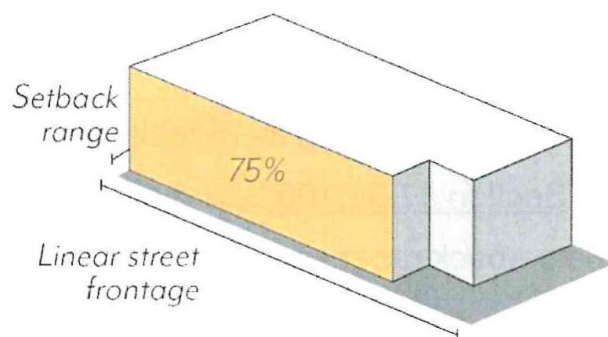
<u>Frontages with shared entrances to internal circulation</u>	<u>50%</u>
<u>Frontages with individual residential unit entrances</u>	<u>30%</u>
<u>with a stoop taller than 30 inches</u>	<u>10%</u>
<u>Frontages with individual commercial tenant entrance</u>	<u>30%</u>
<u>with outdoor dining</u>	<u>10%</u>



**Figure ECSP-9: Street Setbacks**



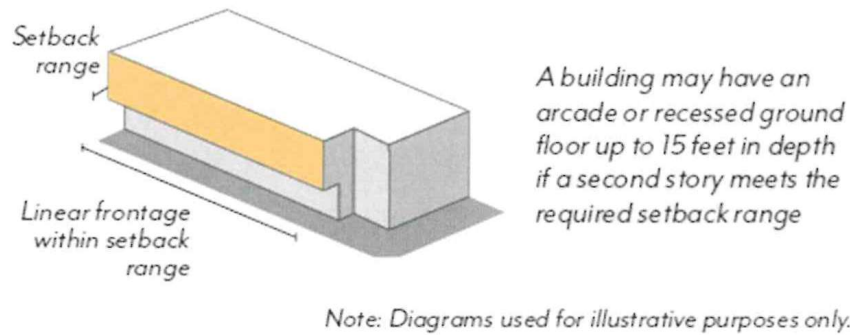
**Figure ECSP-10: Street Setbacks Percentage**



*Example condition: When specified for 75%, up to 25% of street frontage can be set back further than the range (percentage varies by street)*

*Note: Diagrams used for illustrative purposes only.*

**Figure ECSP-11: Recessed Ground Floor**



2. **Interior Setbacks.** Buildings shall be setback a minimum of 15 feet from an interior property line that is adjacent to a PS or RM zoning district.
  - a. Interior setbacks are those abutting other parcels along non-street side and rear property lines and are measured from the shared property line.
  - b. Exceptions allowed per Section [17.40.160](#) (Table 4-1).

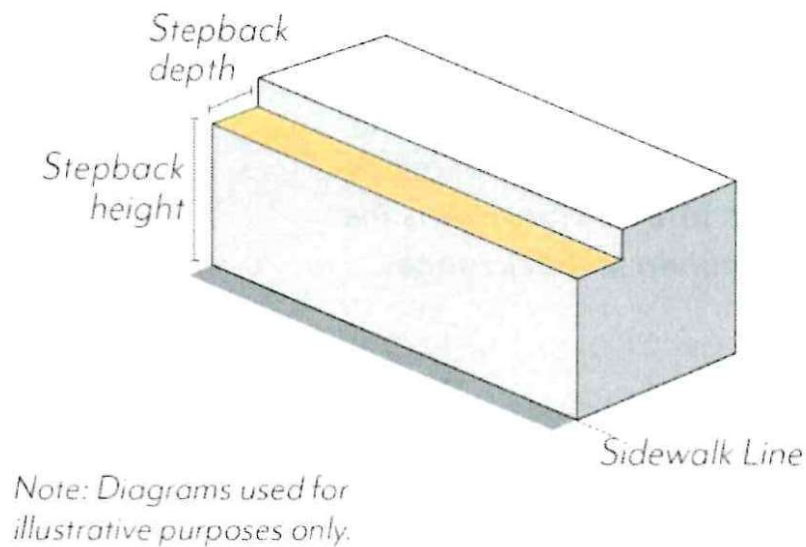
## E. Stepbacks

1. **Street Stepbacks.** Buildings shall not exceed the height specified in Table ECSP-5 before stepping back the specified depth; see Figure ECSP-12.
  - a. Street stepbacks are measured from the sidewalk line.
  - b. Uses allowed within the street stepback include: private open space (e.g. balconies, terraces), shade structures, trellises, and similar, green roofs and photovoltaic panels, and other open space features per review authority approval.

**Table ECSP-5: Street Stepbacks**

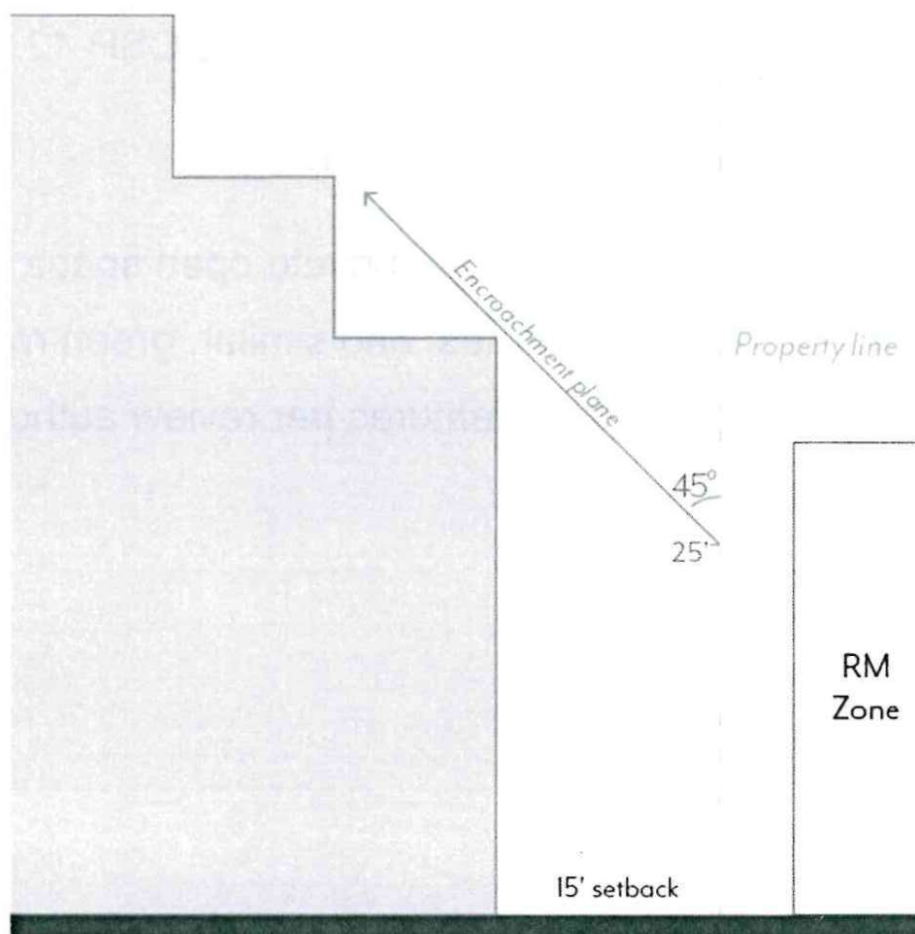
Project type	Depth	Height
Colorado Boulevard	15'	51'
Green Street	8'	20'
	50'	51'
All other streets	8'	45'

**Figure ECSP-12: Street Stepbacks**



- 2. Interior Stepbacks.** Adjacent to RM zoning districts, buildings shall not be located within the encroachment plane sloping upward and inward at a 45-degree angle measured from the vertical, commencing 25 feet above the existing grade along the shared property line; see Figure ECSP-13.
  - a. Exceptions allowed per Section [17.40.160](#) (Table 4-2.1).

**Figure ECSP-13: Interior Stepbacks Adjacent to RM Zoning Districts**

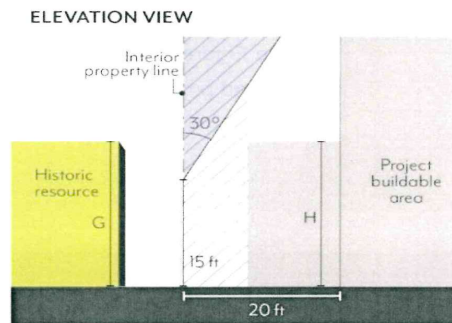
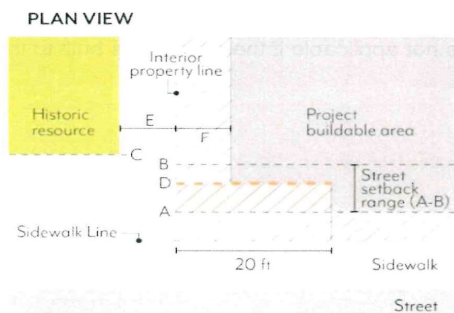
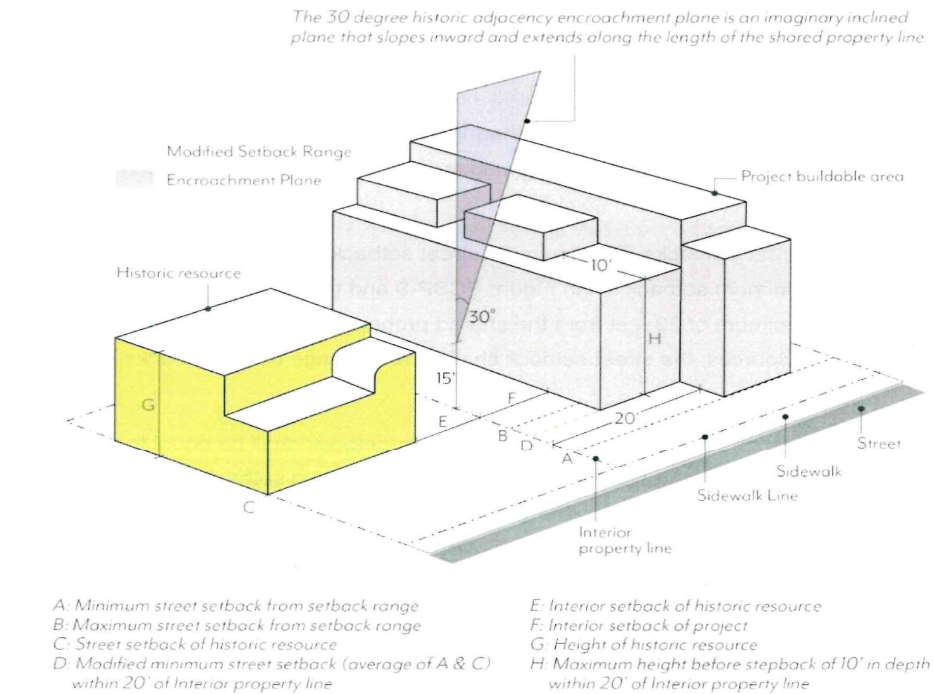


#### **F. Historic Adjacency**

1. **Landmark Properties.** Projects on parcels with a designated historic resource shall be subject to review for consistency with the Secretary of the Interior's Standards.
2. **Transition Massing.** Projects sharing a property line with a designated historic resource are subject to the following modified standards, illustrated in Figure ECSP-14.
  - a. **Street Setbacks.** The minimum street setback shall be an average of the minimum setback set in Figure ECSP-9 and that of the resource for a minimum of 20 feet from the shared property line. If located between two resources, the street setback shall be an average of the setbacks of the two resources.

## Exhibit 4

- b. Interior Setbacks.** The minimum interior setback shall be equal to that of the historic resource or 15 feet, whichever is less. No setback is required where the resource is built to the shared property line.
- c. Streetwall Height.** A maximum streetwall height shall not exceed the height of the historic resource for a minimum of 20 feet from the shared property line. A stepback with a minimum depth of 10 feet is required above this height, measured from the modified minimum street setback.
- d. Interior Stepbacks.** Projects shall not be located within an encroachment plane sloping upward and inward at a 30-degree angle measured from the vertical, commencing 15 feet above the existing grade at the property line; see Figure ECSP-14. This plane is not applicable if the resource is built to the shared property line.

**Figure ECSP-14: Historic Adjacency**

*Note: Diagrams used for illustrative purposes only*

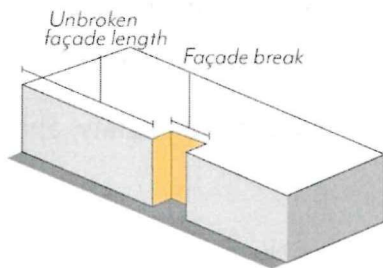
## G. Modulation

1. **Facade Length.** Each street-facing facade ~~exceeding 150 feet shall include a break of at least 10 percent of the facade length or 20 feet, whichever is greater~~ shall not exceed 150 feet in length unless there is a minimum break of 10 percent of the building length or 20 feet, whichever is greater. This break shall be at least 10 feet deep, open to the sky; see Figure ECSP-15.

## Exhibit 4

- 2. Façade Area.** Each street-facing facade exceeding 50 feet in length shall modulate a minimum of 25 percent of the area above the first story. This modulation shall be between 2 feet and 12 feet in depth from the primary facade plane; see Figure ECSP-16. Buildings with a total of 2 stories or less are exempt.
- a. The primary façade plane is defined as the vertical plane with the greatest surface area above the ground floor.
  - b. Planes that are separated by a break of at least 20 feet in width and 10 feet in depth shall be considered separate façades for the purposes of this standard.
  - bc. Modulation is not required to be continuous or open to the sky, and may be recessed or projected, but not past the sidewalk line.
  - ed. Required setbacks (Section 17.31.070.E), required façade breaks (Section 17.31.070.G.1), and projected balconies (Section 17.31.080.G.1) shall not count toward the modulation requirement; balconies that are recessed a minimum of 2 feet shall qualify.

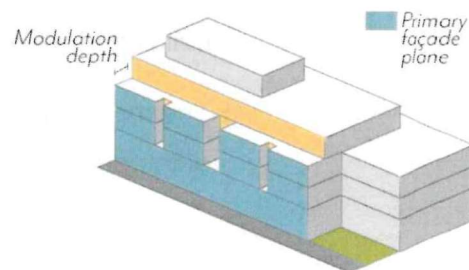
**Figure ECSP-15: Façade Length**



*Façades over the specified length shall include a break at least 20 feet wide and 10 feet deep, open to the sky.*

*Note: Diagrams used for illustrative purposes only.*

**Figure ECSP-16: Façade Area**



*Façades shall modulate a minimum of 25% of the area above the ground floor between 2 and 12 feet in depth.*

*Note: Diagrams used for illustrative purposes only.*

## 3. Alternative Compliance

- a. **Eligibility.** Modulation standards may be reduced or otherwise modified through the Design Review process if:
  - (1) A minimum of 90% of the provided parking is fully or partially subterranean;
  - (2) A minimum of one publicly accessible open space is provided at the ground level, visible and accessible from the sidewalk;

## Exhibit 4

- (3) No other concessions, waivers, or incentives have been requested, including those associated with Section [17.43](#) (Density Bonus), unless the project is designed to achieve LEED Gold certification; and
- (4) The review authority makes all of the following findings.

### b. **Required Findings.**

- (1) The building design provides modulation on each street-facing façade in a manner consistent with the project's architectural style and/or immediate context, including adjacent historic resources.
- (2) The building design does not cause an adverse impact on the quality of the ground floor and public realm.
- (3) The ground level open space is of adequate size and integrated with the building in a functional way that ensures the space will be actively utilized.
- (4) The modification will not be detrimental to the health, safety, and welfare of the public.
- (5) The building design is consistent with the objectives and policies of the General Plan and ECSP, as well as all other standards of the ECSP.

## 17.31.080 – Frontage

These standards are intended to:

- Prioritize pedestrian access by ensuring doorways are open to a public sidewalk or public open space;
- Increase visibility into ground floor uses to create visual interest for pedestrians;
- Promote shade through arcades and shade structures;
- Support a consistent character when different uses are allowed on the ground floor within the same block; and
- Limit blank walls on the ground floor to enhance visual interest and pedestrian comfort.

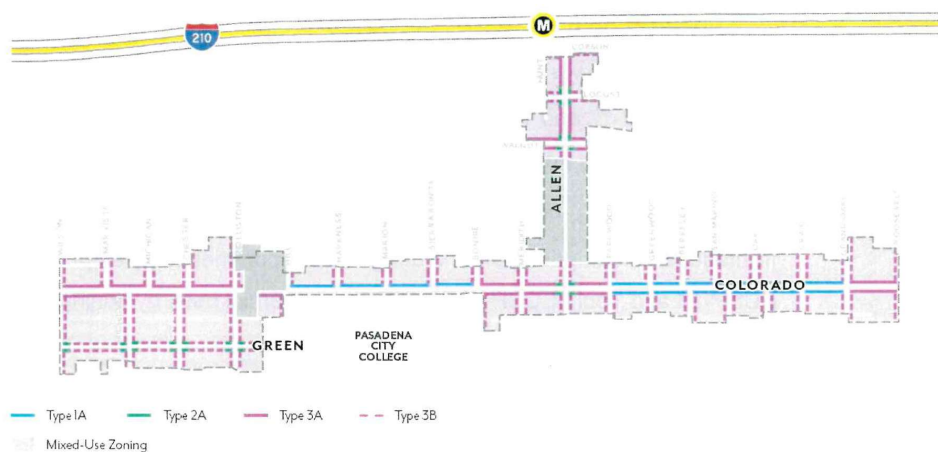
**A. Ground Floor Frontages.** In Mixed-Use zoning districts, ground floor use requirements are regulated by frontage type per Figure ECSP-17 and Table ECSP-6. All use requirements are regulated as a percentage of the building frontage; see Figure ECSP-18.



## Exhibit 4

- 1. Commercial Uses.** Frontage types require a minimum amount of the building frontage to be comprised of, and designed for, commercial uses per Figure ECSP-17 and Table ECSP-6. Permitted commercial uses by zoning district are found in Table ECSP-2.
  - a. Entrances to non-ground floor uses, and/or entrances to uses prohibited within 35 feet of the sidewalk, shall not qualify toward the minimum commercial use percentage.
  - b. Commercial uses shall have an average interior depth of at least 35 feet and a minimum depth of 20 feet, measured wall-to-wall.
  - c. For Type 2A commercial corners, a minimum of 40 feet of commercial frontage along the designated street is required, measured from the perpendicular building frontage closest to the corner.
    - (1) For corners with public open space, this commercial frontage may front the open space rather than the street.
- 2. Residential Uses.** Frontage types set limitations on ground floor residential uses facing the street per Figure ECSP-17 and Table ECSP-6. Permitted residential uses by zoning district are found in Table ECSP-2.
  - a. Type A: Residential units on the ground floor shall be prohibited within 35 feet of the sidewalk line, inclusive of setbacks, per Table ECSP-6.
  - b. Type B: Residential units on the ground floor shall be permitted with direct access to the street and a minimum setback of 5 feet.
  - c. Residential common space on the ground floor shall be permitted per Table ECSP-2.

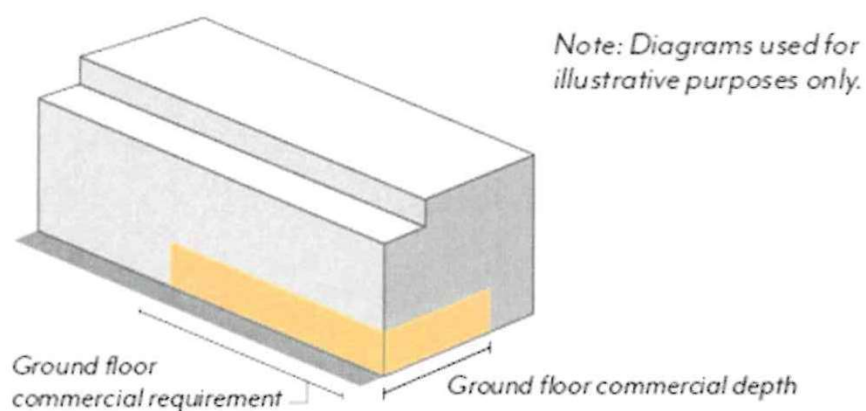
**Figure ECSP-17: Ground Floor Frontage Types**



**Table ECSP-6: Ground Floor Frontage Types**

Type	Commercial	Residential Common Space	Residential Dwelling Units
1A	70% min.	30% max.	Prohibited within 35' of sidewalk line
2A	Required at corner for 40' min.	N/A	
3A	Allowed, no percentage requirements		
3B	Allowed, no percentage requirements		

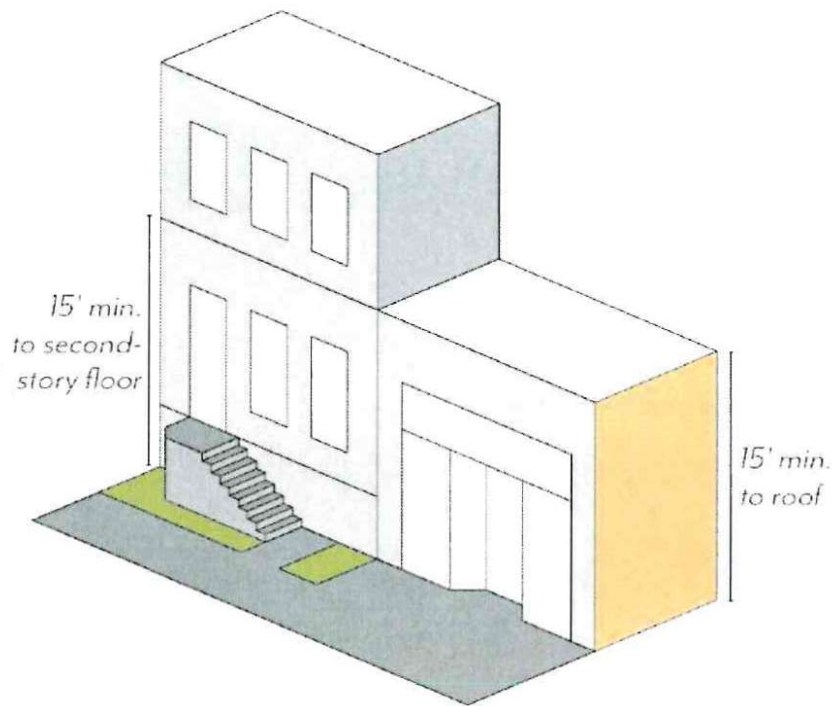
**Figure ECSP-18: Ground Floor Commercial Uses**



## **B. Ground Floor Design**

- 1. Entrances.** A minimum of one primary entrance shall be located on the primary frontage of each building and open onto a sidewalk or other public space.
  - a. Primary entrances shall be distinguished by architectural features or overhead projections, such as an awning or canopy.
  - b. All entrances shall be recessed a minimum of 30 inches from the sidewalk line.
- 2. Minimum Height.** Buildings shall have a minimum ground floor height of 15 feet, measured from sidewalk elevation closest to the primary entrance to the second story floor or roof of a one-story building; see Figure ECSP-19.
  - a. Exception. Ground floor residential uses with a setback of 10 feet or greater shall have a minimum ground floor height of 12 feet.
  - ~~ab.~~ For non-residential and residential common space uses, the primary entrance of the first habitable floor shall be located at existing grade along the sidewalk line.
  - ~~bc.~~ For residential units, the first habitable floor shall be located between 6 feet above and 2 feet below sidewalk elevation.

**Figure ECSP-19: Ground Floor Height**



*Ground floor height is measured from sidewalk elevation. Ground floor residential units may be sunken or elevated but the second story must start at least 15 feet above sidewalk elevation.*

*Note: Diagrams used for illustrative purposes only.*

### **C. Transparency**

- 1. Windows & Doors.** Street-facing facades shall incorporate glass providing views into work, display, sales, lobby, or similar active areas. The minimum transparency requirement is 70 percent for ground floors and 30 percent for the overall façade. For residential units, transparency requirements are reduced to 15 percent.
  - a. For non-residential and residential common space uses, ground floor transparency is measured as the percentage of building frontage that consists of transparent openings between a height of 2 feet and 10 feet above sidewalk elevation.
  - b. All other transparency is measured as the percentage of building frontage area, viewed in elevation.

## Exhibit 4

- c. Windows shall be recessed by a minimum of 2 ~~3~~ inches from the façade, measured from the outside wall to the frame of the window (mullion, muntin or similar element).;  
~~f-Flush windows may~~ shall be allowed-permitted where exterior shading devices cover a minimum of 25 percent of the window surface area or per review authority approval.
  - d. The use of color-tinted, mirrored, or highly reflective glass is prohibited.
  - e. Blinds, drapes, posters, and shelving for product displays visible to the public right-of-way shall obscure a maximum of 10 percent of the transparent areas of each respective storefront or 50 percent for medical office uses.
2. **Blank Walls.** Windowless expanses of walls shall not exceed 20 feet in length.
3. **Security Bars.** Any exterior or interior security bars shall be designed to be fully hidden from view during business hours with devices such as concealed side pockets and ceiling cavities.

### D. Shade Structures

- ~~1. **Shading.** For projects on the north side of Colorado Boulevard west of Parkwood Avenue, shade structures (e.g. awnings and canopies) are required and shall project a minimum of 7 feet, up to a maximum of 10 feet, into the public right of way for a minimum of 70 percent of the building frontage. For all other frontages, shade structures are not required but may project up to two-thirds of the sidewalk width.~~
- ~~a. Shade structures shall allow a minimum of 8 feet of vertical clearance from sidewalk elevation.~~
  - ~~b. Shade structures shall not conflict with existing trees; exceptions to the depth requirement shall be subject to review authority approval.~~
  - ~~c. Where an arcade or recessed ground floor provides a minimum of 5 feet of unobstructed pedestrian clearance, shade structures are not required.~~
1. **Awnings & Canopies.** Any ground floor shading shall project a minimum of 3 feet from the façade with a minimum of 8 feet of vertical clearance from sidewalk elevation.
- a. Shade structures shall not conflict with existing trees; exceptions to the depth requirement shall be subject to review authority approval.

**2. Colorado Boulevard.** For projects on the north side of Colorado Boulevard, shade structures are required and shall project a minimum of 7 feet, up to a maximum of 10 feet, into the public right-of-way for a minimum of 70 percent of the building frontage.

a. Where an arcade or recessed ground floor provides a minimum of 5 feet of unobstructed pedestrian clearance, shade structures are not required.

## **E. Arcades & Galleries**

**1. Arcades.** Any arcades shall be located behind the minimum setback.

- a. Arcades shall be a minimum of 8 feet from back of column to building façade.
- b. The distance between columns shall be equal to or greater than the arcade depth dimension, as measured from the column center.
- c. The façade shall meet the ground floor transparency set in Section 17.31.080.C
- d. Uses allowed within arcades include: pedestrian travel, seating/street furniture, outdoor dining, landscape planters, and/or bicycle parking.

**2. Galleries.** Any galleries shall be located behind the minimum setback.

- a. Galleries shall be limited to one-story in height and 50 percent of the building frontage.
- b. Galleries shall allow a minimum of 10 feet of vertical clearance from sidewalk elevation.

## **F. Exterior Features**

**1. Façade Lighting.** Lighting shall be located on façades facing streets and public open spaces at a frequency of every 30 feet or less.

- a. Façade lighting shall be full cutoff (directing light downward and outward).
- b. Fixtures shall be located between 8 and 15 feet above the sidewalk elevation, and shall not project more than 30 inches from the façade.
- c. For buildings with ground floor residential units, façade lighting shall be designed to be operable by the adjacent tenant.
- d. Façade lighting shall not be required on buildings located on designated historic resources and districts.

**FG. Walls & Fences**

1. **Walls & Fences.** Walls and fences shall be subject to Section [17.40.180](#) with the following exceptions for those located within the street setback.
  - a. Walls and fences shall have a maximum height of 48 inches above sidewalk elevation.
  - b. Walls and fences taller than 30 inches shall be a minimum of 50 percent transparent and set back a minimum of 18 inches from the sidewalk line, separated by a planted area. Walls and fences 30 inches or less in height do not have a transparency or setback requirement.
  - c. Walls and fences used to enclose outdoor dining may be located at the sidewalk line and are not required to provide a planted area if the wall or fence is 36 inches or less and more than 50 percent transparent.
  - d. Guardrails may exceed the maximum height to the extent required by the Building Code. The guardrail shall be a minimum of 50 percent transparent.
2. **Stoops & Patios.** ~~Walls along the side of a stoop, patio or entry to a residential dwelling unit shall be set back a minimum of 18 inches from the sidewalk line, separated by planted area.~~ The side of a patio or stoop (when parallel to a sidewalk) taller than 30 inches in height shall be set back a minimum of 18 inches from the sidewalk line, separated by planted area.

**GH. Balconies & Roof Decks**

1. **Balconies.** Balconies may project a maximum of 4 feet from the building façade but shall not extend beyond the sidewalk line or within 6 feet of any interior property line.
2. **Roof Decks.** ~~Roof decks shall be set back a minimum of 5 feet from the building edge on all sides.~~ The sum of all roof decks on a single building shall not exceed a maximum coverage of ~~50~~ 60 percent of the roof area.
  - a. Roof deck railings above the top floor shall be placed behind a parapet wall of at least the same height or set back a minimum of 5 feet from the façade. For buildings employing Varied Roof Lines, the uppermost story shall be defined per the discretion of the Director.

## Exhibit 4

### 17.31.090 - Open Space

These standards are intended to:

- Provide a variety of open space types for gathering, recreation and respite that contribute to enhanced livability within an urban setting;
- Give residents access to light, air, and pleasant views from their living spaces;
- Improve building design and site planning through the integration of open space throughout the development; and
- Correlate open space requirements with number of residents and size of buildings.

#### A. Minimum Area.

**1. Private and Common Open Space.** Projects shall provide the minimum area of Open Space based on use and size. Areas used regularly for parking, loading or storage shall not count towards minimum Open Space requirements.

**a. Residential.** Projects with dwelling units shall provide the minimum area of Open Space per Table ECSP-7 as a combination of Private and/or Common Open Space.

**b. Non-residential.** Projects with more than 40,000 square feet of non-residential floor area shall provide a minimum of 5 percent of the gross non-residential floor area as Common Open Space.

(1) Research and Development uses may reduce Common Open Space area requirements by a maximum of 60 percent. Research and Development projects (or the Research and Development portion of a project with multiple uses) shall exclude mechanical space from floor area for required Open Space.

**c. Mixed-use.** Projects shall comply with requirements applicable to each type of use above.

**Table ECSP-7: Residential Open Space by Unit Type**

Number of Bedrooms	0	1	2	3+
Per Unit, sq ft	200	225	250	275

**2. Publicly Accessible Open Space (PAOS).** Projects with more than 80,000 square feet of gross floor area (GFA) shall provide a minimum area of PAOS, calculated as a percentage of GFA, as set in Table ECSP-8.



## Exhibit 4

- a. PAOS shall be provided in addition to Private and Common Open Space requirements.
  - ~~(1) Research and Development uses may reduce PAOS area requirements by a maximum of 60 percent. Research and Development projects (or the Research and Development portion of a project with multiple uses) shall exclude mechanical space from floor area for required PAOS.~~
- b. Projects shall comply with PAOS standards per Section 17.31.090.D and Paseo standards per Section 17.31.090.E where relevant.
  - (1) PAOS and Paseo standards may be modified through the Design Review process, if the review authority finds that the modified design continues to be accessible to the public, functional, and includes features such as landscaping, trees, and outdoor seating.
- c. Research and Development uses may reduce PAOS area requirements by a maximum of 60 percent. Research and Development projects (or the Research and Development portion of a project with multiple uses) shall exclude mechanical space from floor area for required PAOS.

**Table ECSP-8: Publicly Accessible Open Space**

Project Size (GFA)	80,000—119,999 sq ft	120,000+ sq ft	160,000—199,999 sq ft	200,000+ sq ft
Per Project, sq ft	2%	3%	4%	5%

### **B. Private Open Space.**

**1. Dimensions.** A minimum area of 40 square feet with a minimum dimension of 5 feet in each direction is required for Private Open Space.

**2. Distribution.** A maximum of 40 percent of the required residential Open Space set in Table ECSP-7 shall be Private Open Space.

- a. All Private Open Space shall be outdoors.
- b. Private Open Space may be located within a required setback.

### **C. Common Open Space.**

**1. Dimensions.** A minimum area of 400 square feet with a minimum dimension of 15 feet in each direction is required for Common Open Space.

## Exhibit 4

2. **Distribution.** A minimum of 60 percent of the required residential Open Space set in Table ECSP-7 shall be Common Open Space shared among tenants.
  - a. A minimum of 70 percent of Common Open Space shall be outdoors, and a minimum of 80 percent of outdoor Common Open Space shall be open to the sky.
  - b. A maximum of 30 percent of Common Open Space may be indoors. Indoor Common Open Space shall not include spaces used primarily for circulation.
3. **Access.** Common Open Spaces may be accessible to the public.
4. **Hardscape.** A maximum of 25 percent of Common Open Space may be paved in standard concrete. Remaining areas shall use one of the following enhanced paving techniques: brick, natural stone, unit concrete pavers, textured and colored concrete, concrete with exposed or special aggregate. Alternative paving may be allowed per review authority approval.
5. **Landscape.** A minimum of 25 percent of Common Open Space shall be planted area with a minimum dimension of 30 inches in length, and width, ~~and depth~~. Landscaping shall comply with Section [17.44.050](#).
6. **Trees.** A minimum of one 24-inch box tree per project or for every 500 square feet of outdoor Common Open Space, whichever is greater, shall be planted within the Common Open Space. For projects with 2 or more trees, a minimum of 50 percent of trees planted shall be shade trees.
7. **Water Features.** A maximum of 5 percent of the required Common Open Space shall be fountains, reflecting pools, or other decorative water features. Swimming pools are not considered water features for the purposes of this standard.

### D. Publicly Accessible Open Space.

1. **Area.** Minimum area requirements are set in Section 17.31.090.A.2 and Table ECSP-8, and may be contiguous or noncontiguous, subject to the dimension and elevation standards below.
2. **Paseos.** Projects that are required to provide PAOS per Section 17.31.090.A.2 and located on parcels that include a paseo opportunity area on Figure ECSP-20, as defined as a pedestrian passageway that connects a public street to another public street, alley, or internal public space.

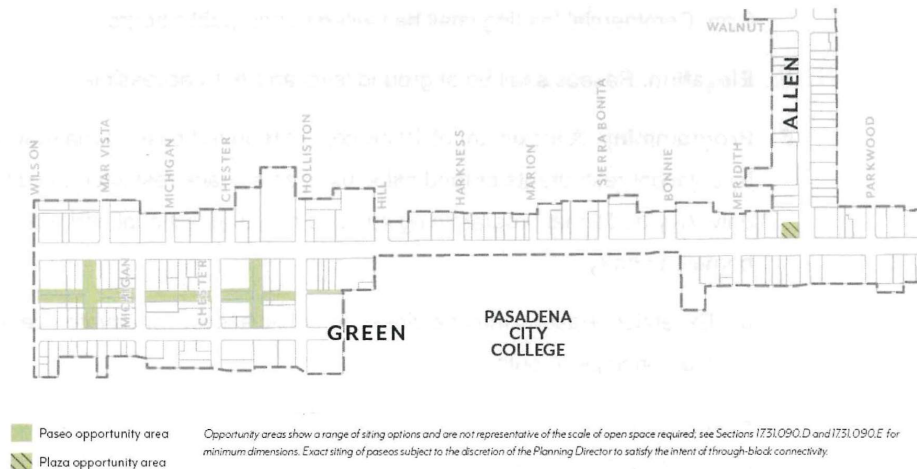
## Exhibit 4

- a. Paseos shall meet the standards set in Section 17.31.090.E; design standards Section 17.31.090.D through Section 17.31.090.D.12 shall not apply.
  - b. In opportunity areas where a paseo has already been provided by previous development, additional paseos shall not be required.
3. **Plazas.** Projects that are required to provide PAOS per Section 17.31.090.A.2 and located on parcels that include a plaza opportunity location on Figure ECSP-20, shall be required to meet the minimum area requirement by providing a plaza.
  - a. PAOS design standards shall apply.
4. **Dimensions.** A minimum area of 400 square feet with a minimum dimension of 20 feet in each direction is required for PAOS.
5. **Access.** A maximum of 20 percent of the PAOS may be used as outdoor dining for a restaurant; a minimum of 80 percent of the PAOS shall be accessible to the general public.
6. **Signage.** PAOS shall have signage visible from the adjacent sidewalk identifying the space as a publicly-accessible amenity and listing accessible hours.
7. **Hours.** At a minimum, PAOS shall be open to the general public from 8am to 8pm. Any gated ingress or egress points shall not be closed or locked during these hours.
8. **Elevation.** A minimum of 3,000 square feet of PAOS shall be at sidewalk elevation. If less square footage is required, then all required PAOS shall be at sidewalk elevation.
9. **Hardscape.** A maximum of 25 percent of PAOS shall be paved in standard concrete. Remaining areas shall use one of the following enhanced paving techniques: brick, natural stone, unit concrete pavers, textured and colored concrete, concrete with exposed or special aggregate. Alternative paving may be allowed per review authority approval.
10. **Seating.** Seating shall be provided at a minimum of 1 seat per 300 square feet of required PAOS. Fractions shall be rounded down to the nearest whole number.
  - a. Benches shall be calculated as 1 seat per 24 linear inches.
11. **Landscape.** A minimum of 25 percent of PAOS shall be planted area with a minimum dimension of 30 inches in length, width, and depth. Landscaping shall comply with Section [17.44](#).

## Exhibit 4

12. **Trees.** A minimum of one 24-inch box tree per project or for every 750 square feet of PAOS, whichever is greater, shall be planted. For projects with 2 or more trees, a minimum 50 percent of trees planted shall be shade trees.
13. **Common Open Space Credit.** PAOS in excess of the minimum may count towards a maximum of 30 percent of the Common Open Space requirement at a 1:1 ratio.

**Figure ECSP-20: Required Publicly Accessible Open Space**



### E. **Paseos.**

1. **Dimensions.** Paseos shall have an average width of 25 feet, minimum width of 15 feet, and be a minimum of 75 percent open to the sky. Paseos shall have a walk zone with a minimum width of:
  - a. 10 feet for commercial/mixed-use paseos.
  - b. 8 feet for residential-only paseos.
2. **Access.** Paseos shall be physically and visually accessible from the connecting public sidewalk.
  - a. Fences, walls, and/or entry gates are permitted; however, these features shall not block passage through the paseo during public hours.
  - b. Bollards (fixed or removable) shall be provided at all entry points of paseos to restrict vehicular access during public hours.
  - c. Emergency vehicular access shall be provided.

## Exhibit 4

3. **Signage.** Paseos shall have signage visible from the adjacent sidewalk identifying the space as a publicly-accessible amenity and listing public hours. In paseos that have commercial frontages, a directory signage shall be provided at each entry the all paseos. Specific sign guidelines shall be created for all properties with building facades immediately adjoining the paseos.
4. **Hours.** At a minimum, paseos shall be open to the general public from 8am to 8pm. Commercial loading shall be limited to non-public hours.
5. **Elevation.** Paseos shall be at ground level and ADA accessible.
6. **Programming.** A maximum of 10 percent of required paseo area may be used by adjacent restaurants or food sales uses as a space restricted to customers only. Any additional programming must be non-transactional and without financial barriers to entry.
  - a. Exception: Paseos may be closed to public access for private events no more than once per month.
7. **Hardscape.** A maximum of 25 percent of paseos shall be paved in standard concrete. Remaining areas shall use one of the following enhanced paving techniques: brick, natural stone, unit concrete pavers, textured and colored concrete, concrete with exposed or special aggregate. Alternative paving may be allowed per review authority approval.
8. **Stormwater Management.** A minimum of 25 percent of the total paved area shall be permeable paving to allow for stormwater infiltration. Depending on soil and site conditions, infiltration and/or flow-through planters shall be installed to capture and treat 100 percent of the stormwater run-off on-site.
9. **Seating.** Seating shall be provided within the paseo at a minimum of 1 seat per 300 square feet of required space. Fractions shall be rounded down to the nearest whole number.
10. **Landscape.** A minimum of 25 percent of paseo area shall be planted area a minimum of 30 inches in length, width, and depth. Landscaping shall comply with Section [17.44](#).
11. **Trees.** A minimum of one 24-inch box tree per project or per each 750 square feet of paseo area, whichever is greater, shall be planted. For projects with 2 or more trees, a minimum 50 percent of trees planted shall be shade trees.

## Exhibit 4

12. **Blank Walls.** Paseos shall adhere to the blank wall standards defined in Section 17.31.080.C, or provide one of the following mitigations:

- a. Green wall, vines, or other vertical landscaping element that covers a minimum of 75 percent of non-conforming blank wall area.
- b. Public art including, but not limited to, murals.

### 17.31.100 - Parking Standards

These standards are intended to:

- Reduce the visual impacts of parking;
- Regulate appropriate parking supply and location in a manner that prioritizes pedestrian access and multi-modal activity;
- Encourage change of use and adaptive reuse of existing buildings through parking reductions and exemptions;
- Promote a more efficient use of parking spaces through shared parking among multiple uses within a project; and
- Increase design standards for parking structures through ensuring habitable floor areas between parking and street frontage and screening.

#### A. Minimum Parking

1. **Number of Spaces.** Projects shall provide off-street automobile parking spaces per Table ECSP-9 based on general use classifications and subject to the standards of Section [17.46](#).

a. ~~Reductions in parking requirements shall apply for properties within half mile of Allen and Lake stations per PMC 17.50.340. Where parking minimums in this Section conflict with state law, state law shall control.~~

b. ~~For projects within one-half mile of a Metro station, a maximum number of parking spaces shall apply per Section 17.50.340.~~

~~bc.~~ Bicycle parking shall be required per Section [17.46.320](#).

**Table ECSP-9: Minimum Parking**

Use Classification <sup>1</sup>	Number of Spaces	Exceptions
Residential	≥ 1-bed: 1 per unit ≤2-bed: 1.5 per unit Guest: 1 per 10 units	Guest parking may be shared with commercial parking in mixed-use projects <sup>2</sup>
Recreation, Education & Public Assembly	Section <a href="#">17.46.040</a>	

## Exhibit 4

Office, Professional & Business Support <sup>3</sup>	2 per 1,000 sq ft in EC-MU-C; 3 per 1,000 sq ft elsewhere	No parking required for: •First 5,000 sq ft of a project •First 500 sq ft of outdoor dining (per tenant)
Retail Sales (including Restaurants)		
Services		
Industry, Manufacturing & Processing	2 per 1,000 sq ft	Recycling Centers: plus 1 space per bin
Transportation, Communications & Utility	Section <a href="#">17.46.040</a>	
<b>Other Exceptions</b>		
No new parking required for: • Projects within designated historic resources (excluding additions) • Changes of use in College District		
<b>Notes:</b> 1 Use classifications correspond to general use categories in Table ECSP-2. The number of spaces listed above shall apply to all uses listed under these general categories, with the exception of specific uses where the parking requirement is lower per Section <a href="#">17.46.040</a> . 2 No shared parking agreement is required; each guest space shall count as 1 commercial space. 3 The number of spaces for Research and Development land uses shall be 2 per 1,000 sq ft regardless of zoning district.		

2. **Shared Parking.** Parking may be shared among multiple uses per Section [17.46.050](#).
3. **Unbundled Parking.** For any building with new residential units, automobile parking spaces shall be leased or sold separately from the rental or purchase fees, such that renters or buyers have the option of renting or buying the unit at a lower price than if the parking was included.
  - a. For deed-restricted affordable units, one parking space shall be included in the base rent of each unit. The tenant may choose to receive the parking space or receive a rent discount equivalent to half the amount charged for monthly lease of a parking space. Tenants of affordable units shall not sublease their parking spaces.
  - b. Renters or buyers have the right of first refusal to parking built for their unit. Any remaining spaces may be leased to other users on a month-to-month basis. New occupants shall have the opportunity to lease or purchase parking built for their unit.
  - c. Unbundled parking is not required for a residential property or unit with an individual garage that is functionally a part of the property or unit (e.g., certain townhome and row houses).

**B. Vehicle Access.**

1. **Driveways.** For Projects with less than 200 feet of primary street frontage, a maximum of 1 two-lane driveway shall be permitted. For sites with more than 200 feet of primary street frontage, a maximum of 2 two-lane driveways shall be permitted.
  - a. Driveways are not permitted on primary frontages of less than 200 feet where there is access from a secondary street or alley.
  - b. The Zoning Administrator shall determine the primary frontage.

**C. Layout & Design.**

1. **Surface Parking.** Parking lots shall be set back a minimum of 30 feet from the primary frontage, a minimum of 10 feet from any secondary frontage, and a minimum of 5 feet from RM zoning. Parking shall be buffered by habitable floor area or landscaping, except for access and driveways, and comply with Section [17.46.230](#).
  - a. Landscaping used as a parking buffer shall be located in the required parking setback and shall include hedges or shrubs a minimum of 3 feet in height at the time of planting that form a continuous visual screen.
2. **Structured Parking.** ~~Above ground parking structures shall be buffered by permitted non-parking uses a minimum of 35 feet in depth adjacent to the sidewalk line, except for driveways or pedestrian access to the parking area. Along primary frontages, all floors of parking structures shall be lined with building floor area (e.g. commercial or residential uses) or Publicly Accessible Open Space for a minimum of 35 feet in depth. Along secondary frontages, parking structures shall be set back a minimum of 5 feet. Pedestrian access and driveways in compliance with 17.31.100.B are excluded from this requirement.~~
  - a. Parking structure facades visible from public streets, excluding alleys, shall use materials and design at least comparable to and integrated with the building architecture.
3. **Underground Parking.** Subterranean parking shall be set back a minimum of 5 feet from Green Street and RM zoning. Otherwise, it may extend up to the property line.



## **Chapter 17.35 - South Fair Oaks Specific Plan**

### **17.35.060 - Scale Standards**

These standards are intended to:

- Implement the General Plan density (du/ac) and floor area ratio (FAR) values;
- Shape development in a manner that creates a defined public realm and appropriate scale of buildings for a visually appealing community;
- Reduce building massing through setback and stepback requirements that create appropriate transitions to residential neighborhoods;
- Support high-quality architecture and urban design through modulation requirements and a varied roof lines incentive; and
- Require appropriate transitions to designated historic resources.

#### **A. Density.**

- 1. Residential Density.** Projects that include residential dwelling units shall not exceed the allowable dwelling units per acre (du/ac) per Figure SFOSP-6.
  - a. Fractions shall be rounded to the nearest whole number; those at 0.50 may be rounded up.
  - b. For projects utilizing state density bonus, refer to Government Code 65915.
  - c. The maximum is based on total site area. If a street dedication or easement is required, density shall be calculated using the size of the lot prior to the street dedication or easement.

**Figure SFOSP-6: Residential Density**



**B. Intensity.**

1. **Floor Area Ratio.** Projects that include non-residential space, including mixed-use, shall not exceed the allowable floor area ratio (FAR) per Figure SFOSP-7.
  - a. In mixed-use projects, residential floor area is included in FAR.
  - b. Areas used exclusively for vehicle and bicycle parking and loading are excluded from FAR.
  - c. The maximum is based on total site area. If a street dedication or easement is required, FAR shall be calculated using the size of the lot prior to the street dedication or easement.

**Figure SFOSP-7: Floor Area Ratio**



### C. Height.

1. **Building Height.** Projects shall not exceed the height limits set in Figure SFOSP-8.

- a. Height is measured per Section [17.40.060](#). An additional 12 feet shall be permitted for projects that are classified as Commercial Uses on Table SFOSP-1, up to a maximum height of 63 feet (75 feet with height averaging).
- c. Exceptions allowed for Height Averaging (Section 17.35.060.C.2) and projecting features such as appurtenances and railings per Section [17.40.060](#).

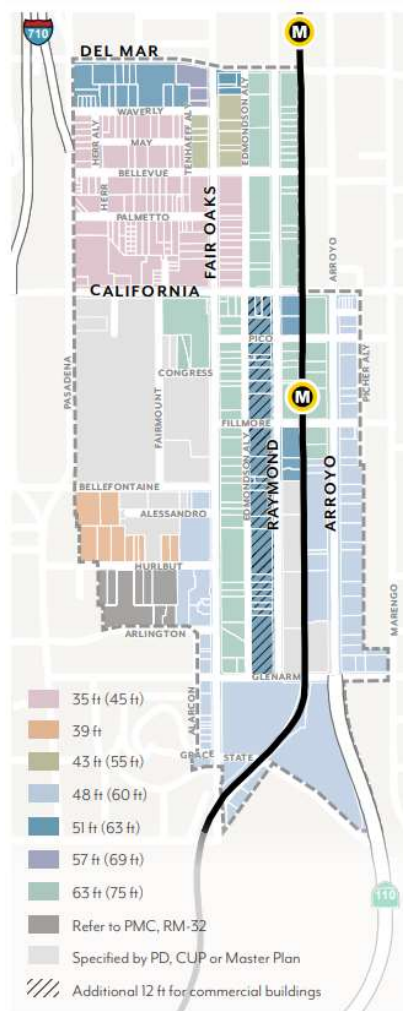
2. **Height Averaging.** With approval of Design Commission, up to 30 percent of a building's footprint may exceed the height limit to the maximum set in parenthesis in Figure

## Exhibit 4

SFOSP-8, provided that the average height over the entire footprint does not exceed the allowable height; see Figure SFOSP-9.

- a. The intent is to counterbalance additional height with lower heights elsewhere to achieve an economically-feasible development that protects view corridors and contributes to a more visually-compelling skyline.
- b. This allowance may be used with Section 17.35.060.C.1.b but is not applicable to other development standards relating to building scale such as stepbacks. It may not be used in combination with a concession for building height when utilizing Section [17.43](#).

**Figure SFOSP-8: Building Height**



**Figure SFOSP-9: Height Averaging**



## D. Setbacks

1. **Street Setbacks.** Buildings shall comply with the street setbacks set in Figure SFOSP-10. Setback ranges establish a minimum and maximum for the specified percentage of linear frontage.
  - a. Street setbacks are measured from the sidewalk line; see Figure SFOSP-3.
  - b. Minimum setbacks shall apply to all stories of a building; setbacks less than the minimum are prohibited. Maximum setbacks shall apply only to the ground floor.
  - c. Where ground floor residential units are elevated between 4 and 6 feet above sidewalk elevation, a minimum setback of 8 feet shall be required.

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- d. Exceptions allowed per Section [17.40.160](#) (Table 4-1) and the following:
- (1) Arcades and recessed ground floors up to 15 feet in depth, as well as parking entrances per Section 17.35.090.B, are allowed when a second story meets the specified setback; see Figure SFOSP-8.
  - (2) The specified frontage percentage may be reduced for the provision of Publicly Accessible Open Space facing the street through the Design Review process.
- e. Features allowed within the street setback include: Landscaping and planters, hardscape (e.g. stoops, patios), shade structures per Section 17.35.070.D, arcades and galleries per Section 17.35.070.E, walls and fences per Section 17.35.070.F, seating and furniture, outdoor dining, and other open space amenities per review authority approval.

**Figure SFOSP-10: Street Setbacks**



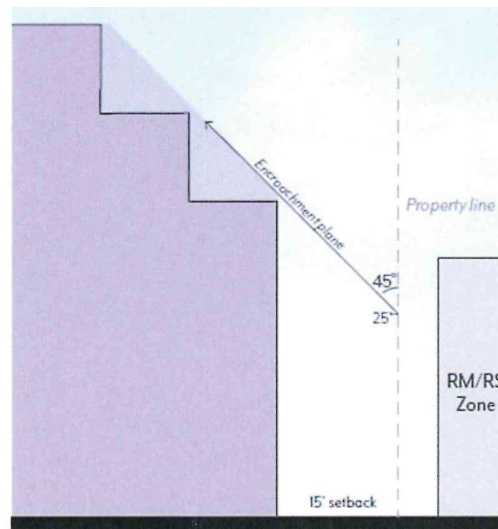
## Exhibit 4

2. **Interior Setbacks.** Buildings shall be set back a minimum of 15 feet from an interior property line that is adjacent to a PS, RM or RS zoning district. No setback is required when adjacent to other districts or alleys.
  - a. Interior setbacks are those abutting other parcels along non-street side and rear property lines and are measured from the shared property line.
  - b. Exceptions allowed per Section [17.40.160](#) (Table 4-1)

### E. Stepbacks.

1. **Interior Stepbacks.** Adjacent to RM/RS zoning, districts, buildings shall not be located within the encroachment plane sloping upward and inward at a 45-degree angle measured from the vertical, commencing 25 feet above the existing grade along the shared property line; see Figure SFOSP-11.
  - a. Exceptions allowed per Section [17.40.160](#) (Table 4-2.1).

**Figure SFOSP-11: Interior Stepbacks Adjacent to RM/RS Zoning Districts**



### F. Historic Adjacency.

1. **Landmark Properties.** Projects on parcels with a designated historic resource shall be subject to review for consistency with the Secretary of the Interior's Standards.
2. **Transition Massing.** Projects sharing a property line with a designated historic resource are subject to the following modified standards, illustrated in Figure SFOSP-12.

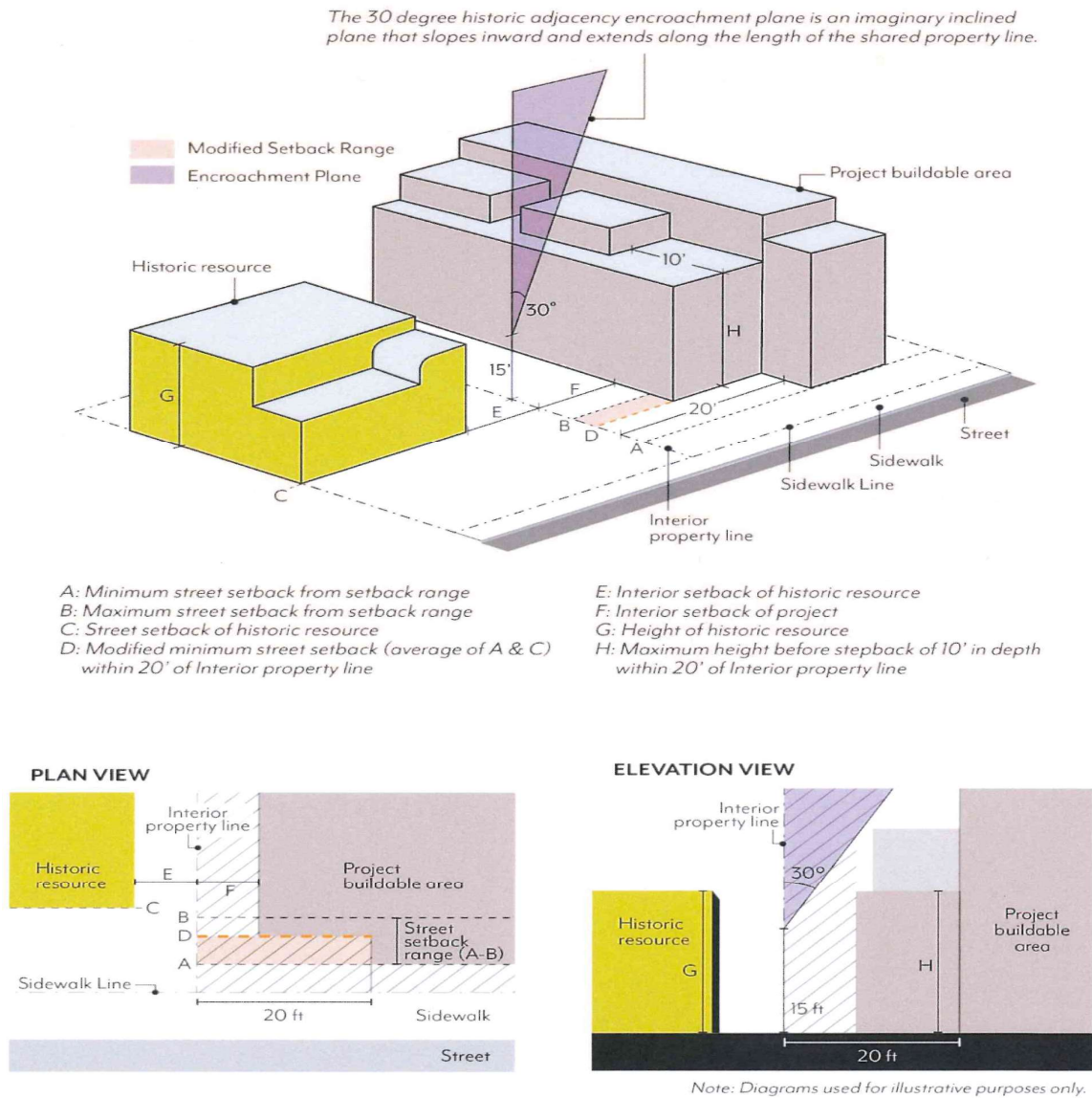
## Exhibit 4

- a. **Street Setbacks.** The minimum street setback shall be an average of the minimum setback set in Figure SFOSP-10 and that of the resource for a minimum of 20 feet from the shared property line. If located between two resources, the street setback shall be an average of the setbacks of the two resources.
- b. **Interior Setbacks.** The minimum interior setback shall be equal to that of the historic resource or 15 feet, whichever is less. No setback is required where the resource is built to the shared property line.
- c. **Streetwall Height:** A maximum streetwall height shall not exceed the height of the historic resource for a minimum of 20 feet from the shared property line. A stepback with a minimum depth of 10 feet is required above this height, measured from the modified minimum street setback.
- d. **Interior Stepbacks.** Projects shall not be located within an encroachment plane sloping upward and inward at a 30-degree angle measured from the vertical, commencing 15 feet above the existing grade at the property line; see Figure SFOSP-12. This plane is not applicable if the resource is built to the shared property line.



## Exhibit 4

**Figure SFOSP-12: Historic Adjacency**



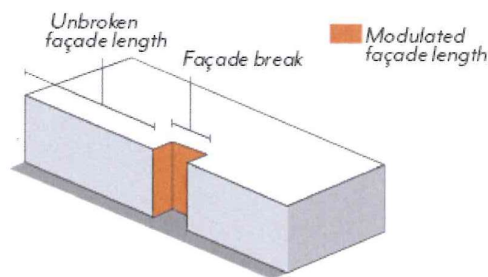
## G. Modulation

- 1. Façade Length.** Each street-facing facade ~~exceeding 150 feet shall include a break of at least 10 percent of the facade length or 20 feet, whichever is greater~~ shall not exceed 150 feet in length unless there is a minimum break of 10 percent of the building length or 20 feet, whichever is greater. This break shall be at least 10 feet deep, open to the sky; see Figure SFOSP-13.

## Exhibit 4

- 2. Façade Area.** Each street-facing facade exceeding 50 feet in length shall modulate a minimum of 25 percent of the area above the ~~ground floor~~ first story. ~~between~~ This modulation shall be a minimum of 2 feet and a maximum of 12 feet in depth from the primary facade plane; see Figure ECSP-16. Buildings with a total of 2 stories or less are exempt.
- a. The primary façade plane is defined as the vertical plane with the greatest surface area above the ground floor.
  - b. Planes that are separated by a break of at least 20 feet in width and 10 feet in depth shall be considered separate façades for the purposes of this standard.
  - ~~b.c.~~ Modulation is not required to be continuous or open to the sky, and may be recessed or projected, but not past the sidewalk line.
  - ed. Required setbacks (Section 17.35.060.E), façade breaks (Section 17.35.060.G.1), and projected balconies (Section 17.35.070.G.1) shall not count toward the modulation requirement; balconies that are recessed a minimum of 2 feet shall qualify.

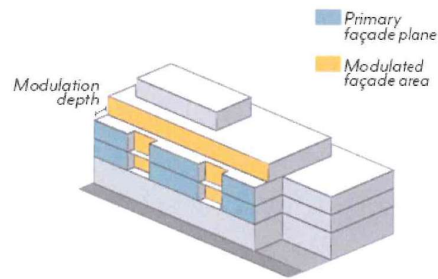
**Figure SFOSP-13: Façade Length**



*Façades over 150 feet in length shall include a break at least 10% of the façade length or 20 feet wide (whichever is greater), and 10 feet deep, open to the sky.*

*Note: Diagrams used for illustrative purposes only.*

**Figure SFOSP-14: Façade Area**



*Façades shall modulate a minimum of 25% of the area above the ground floor 2 to 12 feet in depth from the primary façade plane.*

*Note: Diagrams used for illustrative purposes only.*

### 3. Alternative Compliance.

- a. Eligibility. Modulation standards may be reduced or otherwise modified through the Design Review process if:
  - (1) A minimum of 90 percent of the provided parking is fully or partially subterranean;
  - (2) A minimum of one publicly accessible open space is provided at the ground level, visible and accessible from the sidewalk;
  - (3) No other concessions, waivers, or incentives have been requested, including those associated with Section [17.43](#) (Density Bonus), unless the project is designed to achieve LEED Gold certification; and
  - (4) The review authority makes all of the following findings.
- b. Required Findings
  - (1) The building design provides modulation on each street-facing façade in a manner consistent with the project's architectural style and/or immediate context, including adjacent historic resources.
  - (2) The building design does not cause an adverse impact on the quality of the ground floor and public realm.
  - (3) The ground level open space is of adequate size and integrated with the building in a functional way that ensures the space will be actively utilized.

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- (4) The modification will not be detrimental to the health, safety, and welfare of the public.
- (5) The building design is consistent with the objectives and policies of the General Plan and SFOSP, as well as all other standards of the SFOSP.

### 17.35.070 – Frontage

These standards are intended to:

- Promote an active, accessible, and attractive pedestrian environment at the ground level;
- Activate the pedestrian street experience through design and use standards;
- Enable flexibility and adaptability over time through quality design; and
- Support a livable urban setting comprised of a range of uses in a comfortable pedestrian environment.

**A. Ground Floor Frontages.** In Mixed-Use zoning districts, ground floor use requirements are regulated by frontage type per Figure SFOSP-15 and Table SFOSP-3. All use requirements are regulated as a percentage of the building frontage; see Figure SFOSP-16.

**1. Commercial Uses.** Frontage types shall require a minimum amount of the building frontage to be comprised of, and designed for, commercial uses per Figure SFOSP-15 and Table SFOSP-3. Permitted commercial uses by zoning district are found in Table SFOSP-1.

- a. Entrances to non-ground floor uses, and/or entrances to uses prohibited within 35 feet of the sidewalk, shall not qualify toward the minimum commercial use percentage.
- b. Commercial uses shall have an average interior depth of at least 35 feet and a minimum depth of 20 feet, measured wall-to-wall.

**2. Residential Uses.** Frontage Types 1 and 2 per Table SFOSP-3 and Figure SFOSP-15 set limitations on ground floor residential uses facing the street. Permitted residential uses by zoning district are found in Table SFOSP-1.

- a. Type A: Residential units on the ground floor shall be prohibited within 35 feet of the sidewalk line, inclusive of setbacks, per Table SFOSP-3; see Figure SFOSP-17.
- b. Type B: Residential units on the ground floor shall be permitted with direct access to the street and a minimum setback of 5 feet.

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- c. Residential common space on the ground floor shall be permitted per Table SFOSP-3.

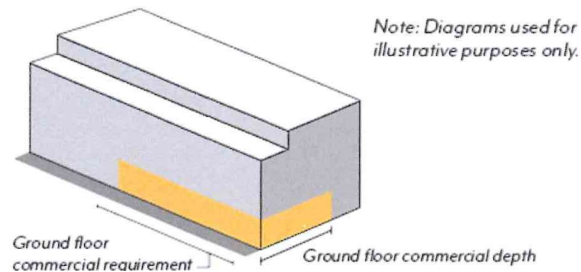
**Figure SFOSP-15: Ground Floor Frontage Types**



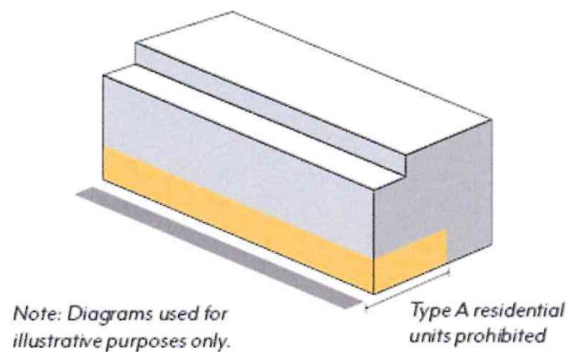
**Table SFOSP-3: Allowable Ground Floor Building Frontages in Mixed-Use Zones**

Type	Commercial Uses	Residential Common Space	Residential Dwelling Units
1A	80% min.	20% max.	Prohibited within 35' of sidewalk line
2A	20% min.	80% max	
2B	20% min	80% max	
3B	Allowed, no percentage requirements		

**Figure SFOSP-16: Ground Floor Commercial Uses**



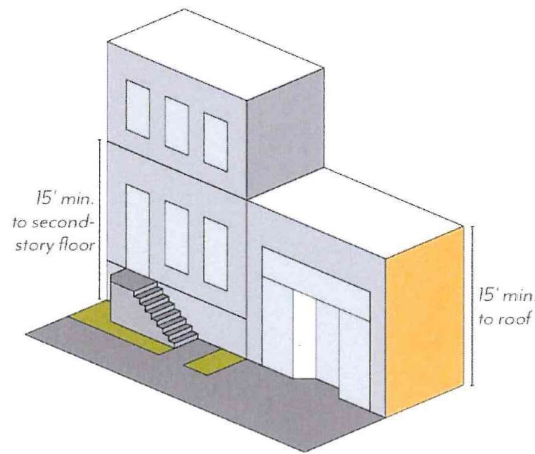
**Figure SFOSP-17: Ground Floor Residential Units**



**B. Ground Floor Design.**

1. **Entrances.** A minimum of one primary entrance shall be located on the primary frontage of each building and open onto a sidewalk or other public space.
  - a. Primary entrances shall be distinguished by architectural features or overhead projections, such as an awning or canopy.
  - b. All entrances shall be recessed a minimum of 30 inches from the sidewalk line.
2. **Minimum Height.** Buildings shall have a minimum ground floor height of 15 feet, measured from sidewalk elevation closest to the primary entrance to the second story floor or roof of a one-story building; see Figure SFOSP-18.
  - a. For non-residential and residential common space uses, the primary entrance of the first habitable floor shall be located at existing grade along the sidewalk line.
  - b. For residential units, the first habitable floor shall be located between 6 feet above and 2 feet below sidewalk elevation.

**Figure SFOSP-18: Ground Floor Height**



Ground floor height is measured from sidewalk elevation. Ground floor residential units may be sunken or elevated but the second story must start at least 15 feet above sidewalk elevation.

*Note: Diagrams used for illustrative purposes only.*

### **C. Transparency**

- 1. Windows & Doors.** Street-facing facades shall incorporate glass providing views into work, display, sales, lobby, or similar active areas. The minimum transparency requirement is 70 percent for ground floors and 30 percent for the overall façade. For residential units, transparency requirements are reduced to 15 percent.
  - a. For non-residential and residential common space uses, ground floor transparency is measured as the percentage of building frontage that consists of transparent openings between a height of 2 feet and 10 feet above sidewalk elevation.
  - b. All other transparency is measured as the percentage of building frontage area, viewed in elevation.
  - c. Windows shall be recessed by a minimum of 2 3 inches from the façade, measured from the outside wall to the frame of the window (mullion, muntin or similar element); ~~f-Flush windows may~~ shall be allowed-permitted where exterior shading devices cover a minimum of 25 percent of the window surface area or per review authority approval.
  - d. The use of color-tinted, mirrored, or highly reflective glass is prohibited.

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- e. Blinds, drapes, posters, and shelving for product displays visible to the public right-of-way shall obscure a maximum of 10 percent of the transparent areas of each respective storefront or 50 percent for medical office uses.

**Table SFOSP-4: Transparency for Non-Residential and Residential Common Space**

Transparency	CG, CL, MU	CF, IF
Ground Floor	60%	30%
Overall Façade	30%	15%

**Table SFOSP-5: Transparency for Residential Units**

Transparency	All Zones
Ground Floor	15%
Overall Façade	15%

2. **Blank Walls.** Windowless expanses of walls shall not exceed 20 feet in length.
3. **Security Bars.** Any exterior or interior security bars shall be designed to be fully hidden from view during business hours with devices such as concealed side pockets and ceiling cavities.

### **D. Shade Structures.**

1. **Shading.** Shade structures may project up to two-thirds of the sidewalk width.
  - a. Shade structures shall allow a minimum of 8 feet of vertical clearance from sidewalk elevation.
  - b. Shade structures shall not conflict with existing trees; exceptions to the depth requirement shall be subject to review authority approval.

### **E. Arcades & Galleries**

1. **Arcades.** Any arcades shall be located behind the minimum setback.
  - a. Arcades shall be a minimum of 8 feet from back of column to building façade.
  - b. The distance between columns shall be equal to or greater than the arcade depth dimension, as measured from the column center.
  - c. The façade shall meet the ground floor transparency set in Section 17.35.070.C
  - d. Uses allowed within arcades include: pedestrian travel, seating/street furniture, outdoor dining, landscape planters, and/or bicycle parking.
2. **Galleries.** Any galleries shall be located behind the minimum setback.



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- a. Galleries shall be limited to one-story in height and 50 percent of the building frontage.
- ab. Galleries shall allow a minimum of 10 feet of vertical clearance from sidewalk elevation.

### **F. Exterior Features**

1. **Façade Lighting.** Lighting shall be located on façades facing streets and public open spaces at a frequency of every 30 feet or less.
  - a. Façade lighting shall be full cutoff (directing light downward and outward).
  - b. Fixtures shall be located between 8 and 15 feet above the sidewalk elevation, and shall not project more than 30 inches from the façade.
  - c. For buildings with ground floor residential uses, façade lighting shall be designed to be operable by the adjacent tenant.

### **FG. Walls & Fences**

1. **Walls & Fences.** Walls and fences shall be subject to Section [17.40.180](#) with the following exceptions for those located within the street setback.
  - a. Walls and fences shall have a maximum height of 48 inches above sidewalk elevation.
  - b. Walls and fences taller than 30 inches shall be a minimum of 50 percent transparent and set back a minimum of 18 inches from the sidewalk line, separated by a planted area. Walls and fences 30 inches or less in height do not have a transparency or setback requirement.
  - c. Walls and fences used to enclose outdoor dining may be located at the sidewalk line and are not required to provide a planted area if the wall or fence is 36 inches or less and more than 50 percent transparent.
  - d. Guardrails may exceed the maximum height to the extent required by the Building Code. The guardrail shall be a minimum of 50 percent transparent.
2. **Stoops & Patios.** ~~Walls along the side of a stoop, patio or entry to a residential dwelling unit shall be set back a minimum of 18 inches from the sidewalk line, separated by planted area.~~ The side of a patio or stoop (when parallel to a sidewalk)

taller than 30 inches in height shall be set back a minimum of 18 inches from the sidewalk line, separated by planted area.

**GH. Balconies & Roof Decks**

1. **Balconies.** Balconies may project a maximum of 4 feet from the building façade but shall not extend beyond the sidewalk line or within 6 feet of any interior property line.
2. **Roof Decks.** ~~Roof decks shall be set back a minimum of 5 feet from the building edge on all sides.~~ The sum of all roof decks on a single building shall not exceed a maximum coverage of ~~560~~ 60 percent of the roof area.
  - a. Roof deck railings above the top floor shall be placed behind a parapet wall of at least the same height or set back a minimum of 5 feet from the façade. For buildings employing Varied Roof Lines, the uppermost story shall be defined per the discretion of the Director.

17.35.080 - Open Space

These standards are intended to:

- Provide a variety of open space types for gathering, recreation and respite that contribute to enhanced livability within an urban setting;
- Give residents access to light, air, and pleasant views from their living spaces;
- Improve building design and site planning through the integration of open space throughout the development; and
- Correlate open space requirements with number of residents and size of buildings.

**A. Minimum Open Space.**

1. **Private and Common Open Space.** Projects shall provide the minimum area of Open Space based on use and size. Areas used regularly for parking, loading or storage shall not count towards minimum Open Space requirements.
  - a. **Residential.** Projects with dwelling units shall provide the minimum area of Open Space per Table SFOSP-6 as a combination of Private and/or Common Open Space

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- b. **Non-residential.** Projects with more than 40,000 square feet of non-residential floor area shall provide a minimum of 5 percent of the gross non-residential floor area as Common Open Space.
- (1) Research and Development uses may reduce Common Open Space area requirements by a maximum of 60 percent. Research and Development projects (or the Research and Development portion of a project with multiple uses) shall exclude mechanical space from floor area for required Open Space
- c. **Mixed-use.** Projects shall comply with requirements applicable to each type of use.

**Table SFOSP-6: Residential Open Space by Unit Type**

<b>Number of Bedrooms</b>	<b>0</b>	<b>1</b>	<b>2</b>	<b>3+</b>
Per Unit, sq ft	200	225	250	275

- 2. Publicly Accessible Open Space (PAOS).** Projects with more than 60,000 square feet of gross floor area (GFA) shall provide a minimum area of PAOS, calculated as a percentage of GFA, as set in Table SFOSP-7.

- a. PAOS shall be provided in addition to Private and Common Open Space requirements.
- (1) Research and Development uses may reduce PAOS requirements by a maximum of 60 percent. Research and Development projects (or the Research and Development portion of a project with multiple uses) shall exclude mechanical space from floor area for required PAOS.
- b. Projects shall comply with PAOS standards per Section 17.35.080.D and Paseo standards per Section 17.35.080.E where relevant.
- (1) PAOS and Paseo standards may be modified through the Design Review process, if the review authority finds that the modified design continues to be accessible to the public, functional, and includes features such as landscaping, trees, and outdoor seating.
- c. Research and Development uses may reduce Common Open Space area requirements by a maximum of 60 percent. Research and Development projects (or the Research and Development portion of a project with multiple uses) shall exclude mechanical space from floor area for required Open Space.

**Table SFOSP-7: Publicly Accessible Open Space by Project Size & Location**

<b>Project Size (GFA)</b>	<b>60,000-119,999 sq ft</b>	<b>120,000-159,999 sq ft</b>	<b>160,000-199,999 sq ft</b>	<b>200,000+ sq ft</b>
Projects within 500 feet of a Metro station platform	4%		5%	
Projects outside 500 feet of a Metro station platform	2%	3%	4%	5%

**B. Private Open Space.**

1. **Dimensions.** A minimum area of 40 square feet with a minimum dimension of 5 feet in each direction shall be required for Private Open Space.
2. **Distribution.** A maximum of 40 percent of the required residential Open Space set in Table SFOSP-6 shall be Private Open Space.
  - a. All Private Open Space shall be outdoors.
  - b. Private Open Space may be located within a required setback

**C. Common Open Space.**

1. **Dimensions.** A minimum area of 400 square feet with a minimum dimension of 15 feet in each direction shall be required for Common Open Space.
2. **Distribution.** A minimum of 60 percent of the required residential Open Space set in Table SFOSP-6 shall be Common Open Space shared among tenants.
  - a. A minimum of 70 percent of Common Open Space shall be outdoors, and a minimum of 80 percent of outdoor Common Open Space shall be open to the sky.
  - b. A maximum of 30 percent of Common Open Space may be indoors. Indoor Common Open Space shall not include spaces used primarily for circulation.
3. **Access.** Common Open Spaces may be accessible to the public.
4. **Hardscape.** A maximum of 25 percent of Common Open Space may be paved in standard concrete. Remaining areas shall use one of the following enhanced paving techniques: brick, natural stone, unit concrete pavers, textured and colored concrete, concrete with exposed or special aggregate. Alternative paving may be allowed per review authority approval.

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5. **Landscape.** A minimum of 25 percent of Common Open Space shall be planted area with a minimum dimension of 30 inches in length, width, and depth. Landscaping shall comply with Section [17.44](#).
6. **Trees.** A minimum of one 24-inch box tree per project or for every 750 square feet of outdoor Common Open Space, whichever is greater, shall be planted within the Common Open Space. For projects with 2 or more trees, a minimum of 50 percent of trees planted shall be shade trees.
  - a. Trees planted in pots, on the ground floor, shall not be counted towards the tree requirement.
7. **Water Features.** A maximum of 5 percent of the required Common Open Space shall be fountains, reflecting pools, or other decorative water features. Swimming pools are not considered water features for the purposes of this standard.

### D. Publicly Accessible Open Space (PAOS)

1. **Area.** Minimum PAOS requirements are set in Section 17.35.080.A.2 and Table SFOSP-7, and may be contiguous or noncontiguous, subject to the dimension and elevation standards below.
2. **Paseos.** Projects that are required to provide PAOS per Section 17.35.080.A.2 and located on parcels that include a paseo opportunity area on Figure SFOSP-19, shall be required to meet the minimum area requirement by providing a paseo, defined as a pedestrian passageway that connects a public street to another public street, alley, or internal public space.
  - a. Paseos shall meet the standards set in Section 17.35.080.E; design standards Section 17.35.080.D.4 through Section 17.35.080.D.12 shall not apply.
  - b. No additional paseo shall be required in opportunity areas where a paseo exists. The existing paseo shall be subject to standards in Section 17.35.080.E. The standards may be modified through the Design Review process, if the review authority finds that the modified design continues to be accessible to the public, functional, and includes features such as landscaping, trees, and outdoor seating.
3. **Plazas.** Projects that are required to provide PAOS per Section 17.35.080.A.2 and located on parcels that include a plaza opportunity location on Figure SFOSP-19,

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shall be required to meet the minimum area requirement by providing a corner plaza per Figure SFOSP-19.

- a. PAOS design standards shall apply.
4. **Dimensions.** A minimum area of 400 square feet with a minimum dimension of 20 feet in each direction is required for PAOS.
5. **Access.** A maximum of 20 percent of the PAOS may be used as outdoor dining for a restaurant subject to review authority approval; a minimum of 80 percent of the PAOS shall be accessible to the general public.
6. **Signage.** PAOS shall have signage visible from the adjacent sidewalk identifying the space as a publicly-accessible amenity and listing accessible hours.
7. **Hours.** At a minimum, PAOS shall be open to the general public from 8am to 8pm. Any gated ingress or egress points shall not be closed or locked during these hours.
8. **Elevation.** A minimum of 3,000 square feet of PAOS shall be at sidewalk elevation. If less square footage is required, then all required PAOS shall be at sidewalk elevation.
9. **Hardscape.** A maximum of 25 percent of PAOS shall be paved in standard concrete. Remaining areas shall use one of the following enhanced paving techniques: brick, natural stone, unit concrete pavers, textured and colored concrete, concrete with exposed or special aggregate. Alternative paving may be allowed per review authority approval.
10. **Seating.** Seating shall be provided at a minimum of 1 seat per 300 square feet of required PAOS. Fractions shall be rounded down to the nearest whole number.
  - a. Benches shall be calculated as 1 seat per 24 linear inches.
11. **Landscape.** A minimum of 25 percent of PAOS shall be planted area with a minimum dimension of 30 inches in length, and width, ~~and depth~~. Landscaping shall comply with Section [17.44](#).
12. **Trees.** A minimum of one 24-inch box tree per project or for every 750 square feet of PAOS, whichever is greater, shall be planted. For projects with 2 or more trees, a minimum 50 percent of trees planted shall be shade trees.

13. **Common Open Space Credit.** PAOS in excess of the minimum may count towards a maximum of 30 percent of the Common Open Space requirement at a 1:1 ratio.

**Figure SFOSP-19: Required Publicly Accessible Open Space**



Opportunity areas show a range of siting options and are not representative of the scale of open space required. Refer to Section 17.35.080 for minimum dimensions. Exact siting and shape of paseos and plazas are subject to the discretion of the Planning Director. Paseos shall satisfy the intent of through-block connectivity.

#### E. Paseos.

1. **Dimensions.** Paseos shall have an average width of 20 feet, minimum width of 15 feet, and be a minimum of 75 percent open to the sky. Paseos shall have a walk zone with a minimum width of:
  - a. 10 feet for commercial/mixed-use paseos.
  - b. 8 feet for residential-only paseos.
2. **Access.** Paseos shall be physically and visually accessible from the connecting public sidewalk.
  - a. Fences, walls, and/or entry gates are permitted; however, these features shall not block passage through the paseo during public hours.
  - b. Bollards (fixed or removable) shall be provided at all entry points of paseos to restrict vehicular access during public hours.

- c. Emergency vehicular access shall be provided.
- 3. **Signage.** Paseos shall have signage visible from the adjacent sidewalk identifying the space as a publicly-accessible amenity and listing public hours. In paseos that have commercial frontages, a directory shall be provided at each entry. Specific sign guidelines shall be created for all properties with building facades immediately adjoining the paseos.
- 4. **Hours.** At a minimum, paseos shall be open to the general public from 8am to 8pm. Commercial loading shall be limited to non-public hours.
- 5. **Elevation.** Paseos shall be at ground level and ADA accessible.
- 6. **Programming.** A maximum of 10 percent of required paseo area may be used by adjacent restaurants or food sales uses as a space restricted to customers only. Any additional programming must be non-transactional and without financial barriers to entry.
  - a. Exception: Paseos may be closed to public access for private events no more than once per month.
- 7. **Hardscape.** A maximum of 25 percent of paseos shall be paved in standard concrete. Remaining areas shall use one of the following enhanced paving techniques: brick, natural stone, unit concrete pavers, textured and colored concrete, concrete with exposed or special aggregate. Alternative paving may be allowed per review authority approval.
- 8. **Stormwater Management.** A minimum of 25 percent of the total paved area shall be permeable paving to allow for stormwater infiltration. Depending on soil and site conditions, infiltration and/or flow-through planters shall be installed to capture and treat 100 percent of the stormwater run-off on-site.
- 9. **Seating.** Seating shall be provided within the paseo at a minimum of 1 seat per 300 square feet of required space. Fractions shall be rounded down to the nearest whole number.
- 10. **Landscape.** A minimum of 25 percent of paseo area shall be planted area a minimum of 30 inches in length, width, and depth. Landscaping shall comply with Section [17.44](#).



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11. **Trees.** A minimum of one 24-inch box tree per project or per each 750 square feet of paseo area, whichever is greater, shall be planted. For projects with 2 or more trees, a minimum 50 percent of trees planted shall be shade trees.
  - a. Trees planted in pots, on the ground floor, shall not be counted towards the tree requirement.
12. **Blank Walls.** Paseos shall adhere to the blank wall standards defined in Section 17.35.070.C, or provide one of the following mitigations:
  - a. Green wall, vines, or other vertical landscaping element that covers a minimum of 75 percent of non-conforming blank wall area.
  - b. Public art including, but not limited to, murals.

### 17.35.090 – Parking

These standards are intended to:

- Reduce the visual impacts of parking;
- Regulate appropriate parking supply and location in a manner that prioritizes pedestrian access and multi-modal activity;
- Encourage change of use and adaptive reuse of existing buildings through parking reductions and exemptions;
- Promote a more efficient use of parking spaces through shared parking among multiple uses within a project; and
- Increase design standards for parking structures through ensuring habitable floor area and screening between parking and street frontage.

#### A. Minimum Parking

1. **Number of Spaces.** Projects shall provide off-street automobile parking spaces per Table SFOSP-9 based on general use classifications, and subject to the standards of Section [17.46](#).
  - a. For projects within one-half mile of a Metro station, reductions in parking and a maximum number of parking spaces shall apply per Section [17.50.340](#).
  - b. For projects within 500 feet of a Metro station, projects may be permitted up to a 30 percent reduction in the number of parking spaces.

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- c. Bicycle parking shall be required per Section [17.46.320](#).

**Table SFOSP-9: Minimum Parking by Land Use**

Use Classification <sup>1</sup>	Number of Spaces	Exceptions
Residential	≤1-bed: 1 per unit ≥2-bed: 1.5 per unit Guest: 1 per 10 units	Guest parking may be shared with commercial parking in mixed-use projects <sup>2</sup>
Live/Work Units	1.5 per unit	
Recreation, Education & Public Assembly	Section <a href="#">17.46.040</a>	
Office, Professional & Business Support	2 per 1,000 sf	No parking required for: - First 5,000 sf of project; and - First 500 sf of outdoor dining per tenant
Retail Sales (including Restaurants)		
Services (excluding Lodging)		
Lodging	0.5 per room	No parking is required for first 15,000 sf of banquet space
Industry, Manufacturing & Processing	2 per 1,000 sf	Recycling Centers: plus 1 space per bin
Transportation, Communications & Utility	Section <a href="#">17.46.040</a>	
<b>Other Exceptions</b>		
No new parking required for:		
<ul style="list-style-type: none"> <li>• Projects within designated historic resources (excluding additions)</li> <li>• Changes of use in structures built prior to 1970</li> </ul>		
<b>Notes:</b>		
<sup>1</sup> Use classifications correspond to general use categories in Table SFOSP-2. The number of spaces listed above shall apply to all uses listed under these general categories, with the exception of specific uses where the parking requirement is lower per Section <a href="#">17.46.040</a> .		
<sup>2</sup> No share parking agreement is required; each guest space shall count as 1 commercial space.		

- 2. Shared Parking.** Parking may be shared among multiple uses per Section [17.46.050](#).
- 3. Unbundled Parking.** For any building with new residential units, automobile parking spaces shall be leased or sold separately from the rental or purchase fees, such that renters or buyers have the option of renting or buying the unit at a lower price than if the parking was included.

## Exhibit 4

- a. For deed-restricted affordable units, one parking space shall be included in the base rent of each unit. The tenant may choose to receive the parking space or receive a rent discount equivalent to half the amount charged for monthly lease of a parking space. Tenants of affordable units shall not sublease their parking spaces.
- b. Renters or buyers have the right of first refusal to parking built for their unit. Any remaining spaces may be leased to other users on a month-to-month basis. New occupants shall have the opportunity to lease or purchase parking built for their unit.
- c. Unbundled parking is not required for a residential property or unit with an individual garage that is functionally a part of the property or unit (e.g., certain townhome and row houses).

### **B. Vehicle Access.**

1. **Driveways.** For Projects with less than 200 feet of primary street frontage, a maximum of 1 two-lane driveway shall be permitted. For sites with more than 200 feet of primary street frontage, a maximum of 2 two-lane driveways shall be permitted.
  - a. Driveways are not permitted on primary frontages of less than 200 feet where there is access from a secondary street or alley.
  - b. The Zoning Administrator shall determine the primary frontage.

### **C. Layout & Design**

1. **Surface Parking.** Parking lots shall comply with Section [17.46.230](#) with the following exceptions:
  - a. Parking lots shall be set back a minimum of 30 feet from the primary frontage, 10 feet from any secondary frontage, and 5 feet from RM/RS zoning districts.
  - b. Parking shall be buffered by permitted non-parking uses or a landscaped setback adjacent to the sidewalk line, except for driveways or pedestrian access to the parking area.
    - a. Landscaped setbacks shall include hedges or shrubs with a minimum height of 3 feet at the time of planting that form a continuous visual screen to block vehicle headlights.
  - c. Landscaped area with a minimum dimension of 5 feet in each direction shall be provided within the parking area as a percentage of parking lot area as follows:

## Exhibit 4

- 10 to 20 parking spaces: a minimum of 5 percent
  - More than 20: a minimum of 10 percent
- d. A minimum of one tree of at least 24 gallons in size for every four vehicle parking spaces shall be planted and evenly distributed throughout the parking lot, so that a tree is located within 10 feet of any parking space.
- a. Exceptions to tree planting requirements allowed only for those parking spaces fully covered by solar energy systems.
- 2. Structured Parking.** ~~Multiple stories of above ground parking structures shall be buffered by permitted non-parking uses a minimum of 35 feet in depth adjacent to the sidewalk line, except for driveways or pedestrian access to the parking area. Along primary frontages, all floors of parking structures shall be lined with building floor area (e.g. commercial or residential uses) or Publicly Accessible Open Space for a minimum of 35 feet in depth. Pedestrian access and driveways in compliance with 17.35.100.B are excluded from this requirement.~~
- a. Parking structure facades visible from public streets, excluding alleys, shall use materials and design at least comparable to and integrated with the building architecture.
- 3. Underground Parking.** Subterranean parking shall be set back a minimum of 5 feet from all street property lines (excluding alleys) and RM/RS zoning districts. Otherwise, it may extend up to the property line.

## **Chapter 17.37 - Lincoln Avenue Specific Plan**

### **17.37.070 - Scale Standards**

#### **17.37.070 Scale Standards**

These standards are intended to:

- Implement the General Plan density (du/ac) and floor area ratio (FAR) values;
- Shape development in a manner that creates a defined public realm and appropriate scale of buildings for a visually appealing community;
- Reduce building massing through setback and stepback requirements that create appropriate transitions to residential neighborhoods;
- Support high-quality architecture and urban design through modulation requirements and variation in façade length; and
- Require appropriate transitions to designated historic resources.

#### **A. Density.**

- 1. Residential Density.** Projects that include residential dwelling units shall not exceed the allowable dwelling units per acre (du/ac) per Figure LASP-5.
  - a. Fractions shall be rounded to the nearest whole number; those at 0.50 shall be rounded up.
  - b. For projects utilizing state density bonus, refer to Government Code 65915.
  - c. The maximum is based on total site area. If a street dedication or easement is required, density shall be calculated using the size of the lot prior to the street dedication or easement.

#### **B. Intensity.**

- 1. Floor Area Ratio.** Projects that include non-residential space, including mixed-use, shall not exceed the allowable floor area ratio (FAR) per Figure LASP-6.
  - a. In mixed-use projects, residential floor area is included in FAR.
  - b. Areas used exclusively for vehicle and bicycle parking and loading are excluded from FAR.
  - c. The maximum is based on total site area. If a street dedication or easement is required, FAR shall be calculated using the size of the lot prior to the street dedication or easement.

**Figure LASP-5: Residential Density**



**Figure LASP-6: Floor Area Ratio**



**C. Height.**

1. **Building Height.** Projects shall not exceed the height limits set in Figure LASP-7.

- a. Height is measured per Section [17.40.060](#).
- b. Maximum height for massing adjacent to street or interior property lines may be limited by required stepbacks; see Section 17.37.070.E.
- c. Exceptions allowed for projecting features such as appurtenances and railings per Section [17.40.060](#).

## D. Setbacks

1. **Street Setbacks.** Buildings shall comply with the street setbacks set in Figure LASP-8. Setback ranges establish a minimum and maximum for the specified percentage of linear street frontage; see Figure LASP-9.

- a. Street setbacks are measured from the sidewalk line; see Figure LASP-3.
- b. Minimum setbacks shall apply to all stories of a building; setbacks less than the minimum are prohibited. Maximum setbacks shall apply only to the ground floor.
- c. Residential units on the ground floor shall have a minimum setback of 5 feet. Where elevated between 4 and 6 feet above sidewalk elevation, a minimum setback of 8 feet shall be required.
- d. Exceptions allowed per Section [17.40.160](#) (Table 4-1) and the following: Arcades and recessed ground floors up to 15 feet in depth, as well as parking entrances per Section 17.37.100.B, are allowed when a second story meets the specified setback.
- e. For portions of buildings set back from the sidewalk line 5 feet or more, a percentage of the setback area shall be landscaped with trees, shrubs, and/or groundcover, either in the form of in-ground landscaping or planters.

<u>Frontages with shared entrances to internal circulation</u>	<u>50%</u>
<u>Frontages with individual residential unit entrances</u>	<u>30%</u>
<u>with a stoop taller than 30 inches</u>	<u>10%</u>
<u>Frontages with individual commercial tenant entrance</u>	<u>30%</u>
<u>with outdoor dining</u>	<u>10%</u>

- ef. Features allowed within the street setback include: Landscaping and planters, hardscape (e.g. stoops, patios), shade structures per Section [17.37.080.D](#), arcades and galleries per Section 17.37.080.E, walls and fences per Section 17.37.080.G, seating and furniture, outdoor dining, and other open space amenities per review authority approval.

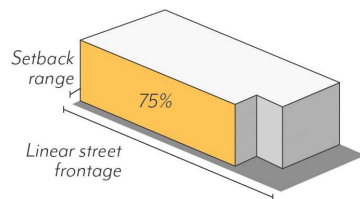
**Figure LASP-7: Building Height**



**Figure LASP-8: Street Setbacks**



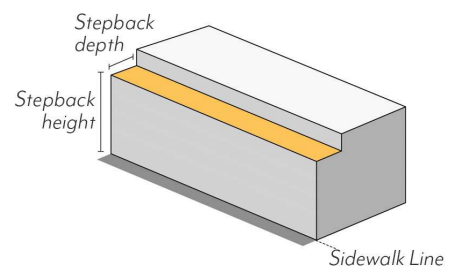
**Figure LASP-9: Street Setbacks Percentage**



Example condition: When specified for 75%, up to 25% of street frontage can be set back further than the range (percentage varies by street)

Note: Diagrams used for illustrative purposes only.

**Figure LASP-10: Street Stepbacks**



Note: Diagrams used for illustrative purposes only.



**2. Interior Setbacks.** Buildings shall comply with the interior setbacks set in Table LASP-4 based on project type when adjacent to residential zoning districts. No setback is required when adjacent to other districts.

- a. Interior setbacks are those abutting other parcels (non-street side and rear) and are measured from the shared property line.
- b. Exceptions allowed per Section [17.40.160](#) (Table 4-1).

**Table LASP-4: Interior Setbacks Adjacent to RM/RS**

Project type	CG, CL, CF	MU-N	RM-16
Mixed-use	15' min.	15' min.	N/A
Nonresidential	15' min.	15' min.	N/A
Residential	N/A	5' min.	5' min.

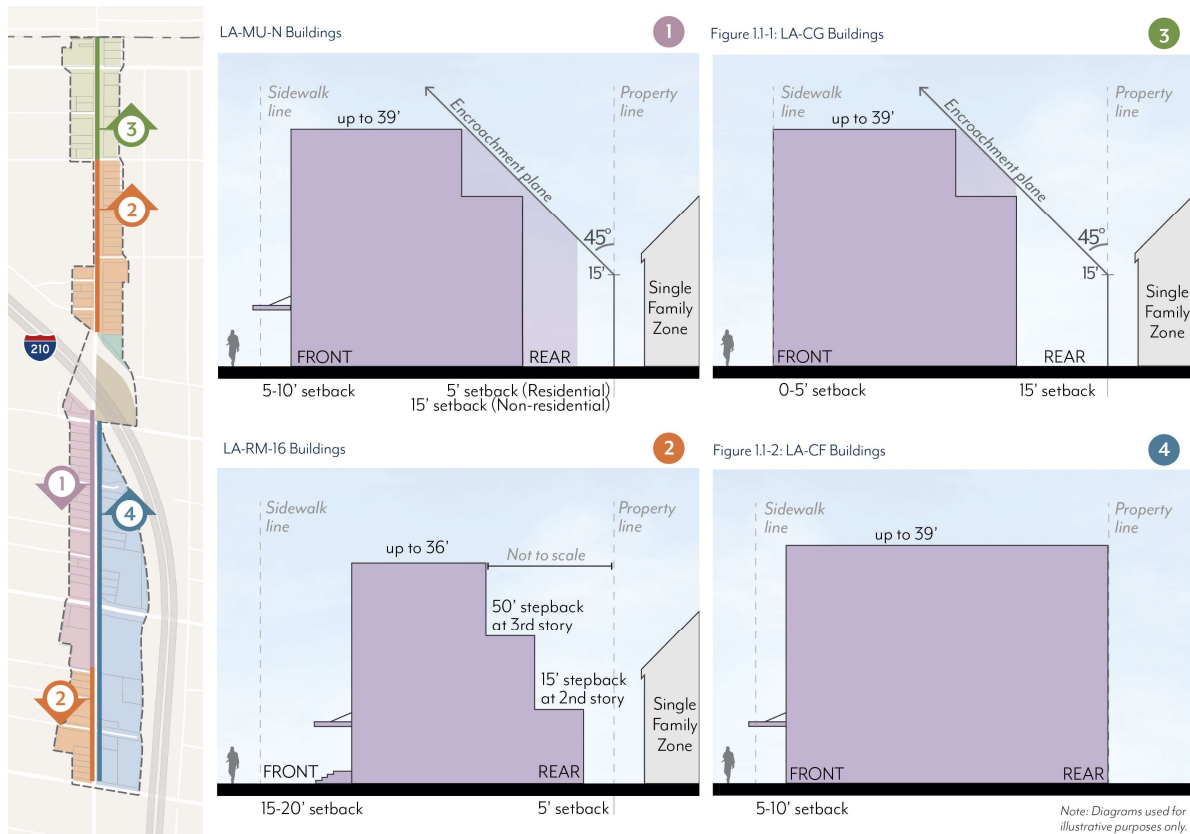
**E. Stepbacks.**

**1. Street Stepbacks.** Buildings utilizing a height concession per Section [17.43](#) shall provide a minimum stepback depth of 10 feet by a height of 36 feet along street frontages; see Figure LASP-10.

- a. Street stepbacks are those abutting public right-of-way and are measured from the sidewalk line.
- b. Uses allowed within the street stepback include: Private open space (e.g. terraces), shade structures (e.g. trellises), green roofs and photovoltaic panels, and other open space features per review authority approval.

**2. Interior Stepbacks.** Adjacent to RS zoning districts, buildings shall comply with the stepbacks below. Interior stepbacks are not required along other property lines.

- a. In all zones except LA-RM-16, projects shall not be located within the encroachment plane sloping upward and inward at a 45-degree angle measured from the vertical, commencing 15 feet above the existing grade along the shared property line; see Figure LASP-11.
- b. In LA-RM-16, projects shall step back a minimum of 15 feet at the second story and 50 feet at the third story, measured from the shared property line; see Figure LASP-11.
- c. Exceptions allowed per Section [17.40.160](#) (Table 4-2.1).

**Figure LASP-11: Setbacks and Stepbacks****F. Historic Adjacency.**

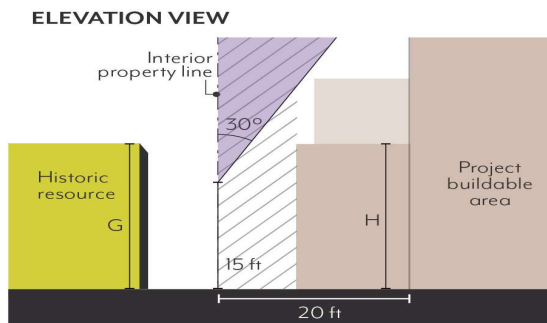
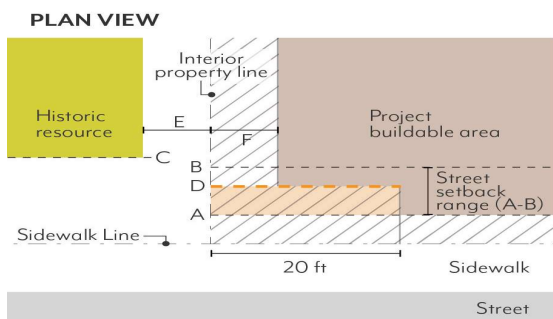
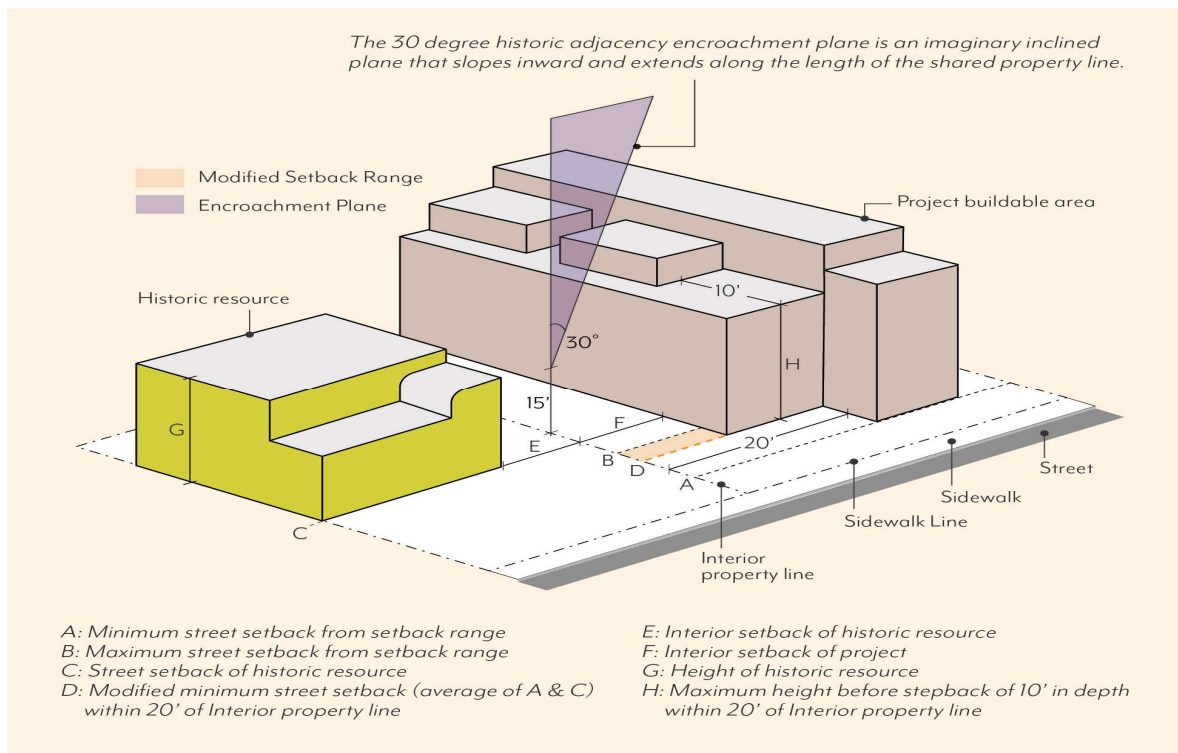
1. **Landmark Properties.** Projects on parcels with a historic resource shall be subject to review for consistency with the Secretary of the Interior's Standards.
2. **Transition Massing.** Projects sharing a property line with a designated historic resource are subject to the following modified standards, illustrated in Figure LASP-12.
  - a. **Street Setbacks.** The minimum street setback shall be an average of the minimum setback set in Figure LASP-9 and the established setback of the resource for a minimum of 20 feet from the shared property line. If located between two resources, the street setbacks shall be an average of the setbacks of the two resources for the full street frontage.
  - b. **Interior Setbacks.** The minimum interior setback shall be equal to that of the historic resource or 15 feet, whichever is less. No setback is required where the resource is built to the shared property line.
  - c. **Street Stepbacks.** A maximum streetwall height shall not exceed the height of the historic resource for a minimum of 20 feet from the shared property line. A

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stepback with a minimum depth of 10 feet is required above this height, measured from the modified minimum street setback.

- d. Interior Stepbacks. Projects shall not be located within an encroachment plane sloping upward and inward at a 30-degree angle measured from the vertical, commencing 15 feet above the existing grade at the property line; see Figure LASP-12. This plane is not applicable if the resource is built to the shared property line.

**Figure LASP-12: Historic Adjacency**



*Note: Diagrams used for illustrative purposes only.*

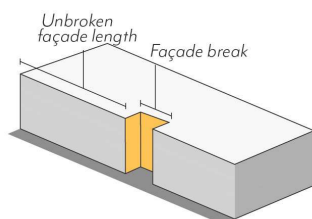
**G. Modulation.**

1. **Façade Length.** ~~Each street-facing façade exceeding the length set in Table LASP-5 shall include a minimum break of 10 percent of the façade length or 20 feet, whichever is greater.~~ In mixed-use districts, street-facing façades shall not exceed 150 feet in length unless there is a minimum break of 10 percent of the building length or 20 feet, whichever is greater. This break shall be a minimum of 10 feet deep, open to the sky; see Figure LASP-13. Projects in CF are exempt.

**Table LASP-5: Modulation**

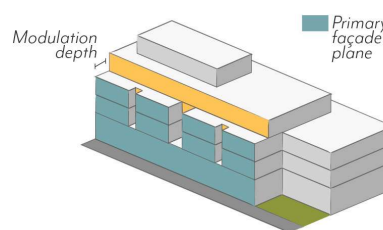
Façade	CG	CL	CF	MU-N
Length	100'	75'	150'	150'
Area	25%	25%	25%	25%

2. **Façade Area.** Each street-facing façade exceeding 50 feet in length shall modulate a minimum of 25 percent of the area above the ground floor between 2 feet and 12 feet in depth from the primary façade plane; see Figure LASP-14. Buildings with a total of 2 stories or less are exempt.
- The primary façade plane is defined as the vertical plane with the greatest surface area above the ground floor.
  - Planes that are separated by a façade break (Section 17.37.070.G.1) shall be considered separate façades for the purposes of this standard.
  - ~~bc.~~ Modulation is not required to be continuous or open to the sky, and may be recessed or projected, but not beyond the sidewalk line.
  - ~~ed.~~ Required setbacks (Section 17.37.070.E), façade breaks (Section 17.37.070.G.1), and projected balconies (Section 17.37.080.H.1) shall not count toward the modulation requirement; balconies that are recessed a minimum of 2 feet shall qualify.

**Figure LASP-13: Façade Length**

Façades over the specified length shall include a break at least 20 feet wide and 10 feet deep, open to the sky.

Note: Diagrams used for illustrative purposes only.

**Figure LASP-14: Façade Area**

Façades shall modulate a minimum of 25% of the area above the ground floor between 2 and 12 feet in depth.

Note: Diagrams used for illustrative purposes only.

### 3. **Alternative Compliance.**

- a. Eligibility. Modulation standards may be reduced or otherwise modified through the Design Review process if:
  - (1) A minimum of 90% of the provided parking is fully or partially subterranean;
  - (2) A minimum of one publicly accessible open space is provided at the ground level, visible and accessible from the sidewalk;
  - (3) No other concessions, waivers, or incentives have been requested, including those associated with Section [17.43](#) (Density Bonus), unless the project is designed to achieve LEED Gold certification; and
  - (4) The review authority makes all of the following findings.
- b. Required Findings.
  - (1) The building design provides modulation on each street-facing façade in a manner consistent with the project's architectural style and/or immediate context, including adjacent historic resources.
  - (2) The building design does not cause an adverse impact on the quality of the ground floor and public realm.
  - (3) The ground level open space is of adequate size and integrated with the building in a functional way that ensures the space will be actively utilized.
  - (4) The modification will not be detrimental to the health, safety, and welfare of the public.
  - (5) The building design is consistent with the objectives and policies of the General Plan and LASP, as well as all other standards of the LASP.

#### 17.37.080 - Frontage Standards

These standards are intended to:

- Prioritize pedestrian access by ensuring doorways are open to a public sidewalk or public open space;
- Increase visibility into ground floor uses to create visual interest for pedestrians;
- Promote shade through arcades and shade structures;
- Support a consistent character when different uses are allowed on the ground floor within the same block;

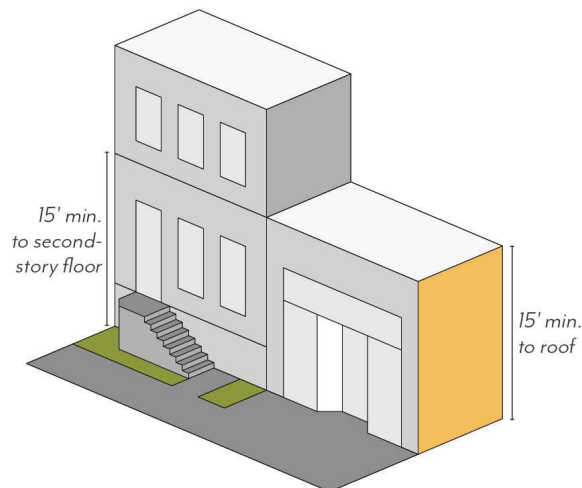
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- Promote consistent ground floor heights when residential and commercial uses are present within the same zone; and
- Limit blank walls on the ground floor to enhance visual interest and pedestrian comfort.

### A. Ground Floor.

1. **Height.** Buildings facing Lincoln Avenue shall have a minimum ground floor height of 15 feet, measured from the sidewalk elevation to second-story floor or roof of a one-story building; see Figure LASP-15.
  - a. Exception: Ground floor residential uses with a setback of 10 feet or greater shall have a minimum ground floor height of 12 feet.
  - ab. For residential units, the first habitable floor shall be located between 6 feet above and 2 feet below sidewalk elevation.
2. **Depth.** Commercial uses shall have an average interior depth of at least 35 feet and a minimum depth of 20 feet, measured wall-to-wall.

**Figure LASP-15: Ground Floor Height**



Ground floor height is measured from sidewalk elevation. Ground floor residential units may be sunken or elevated but the second story must start at least 15 feet above sidewalk elevation.

*Note: Diagrams used for illustrative purposes only.*

**B. Entrances.**

1. **Location.** A minimum of one primary entrance shall be located on the primary frontage of each building and open onto a sidewalk or public space.
  - a. In LA-CG, entrances shall be recessed a minimum of 30 inches from the ground floor building façade along Lincoln Avenue. On other streets, entrances shall be recessed a minimum of 30 inches from the sidewalk line.
  - b. Primary entrances shall be distinguished by architectural features or overhead projections, such as an awning or canopy.
  - c. For non-residential uses, primary entrances shall be located at sidewalk elevation.
  - d. Exception allowed for residential courtyard buildings with unit entrances off the courtyard. Courtyards shall be entered from the street through an architecturally defined entry (covered or open to the sky) or portico.

**C. Transparency.**

1. **Windows & Doors.** Minimum transparency for street-facing façades is set in Tables LASP-6 and LASP-7 based on use.
  - a. For non-residential and residential common space uses, ground floor transparency is measured as the percentage of building frontage that consists of transparent openings between a height of 2 feet and 10 feet above sidewalk elevation.
  - b. All other transparency is measured as the percentage of façade building frontage area, viewed in elevation and excluding any coverage of shading devices.
  - c. Windows shall be recessed by a minimum of 2 3 inches from the façade, measured from the outside wall to the frame of the window (mullion, muntin or similar element).; ~~f~~ Flush windows may shall be allowed-permitted where exterior shading devices cover a minimum of 25 percent of the window surface area or per review authority approval.
  - d. The use of tinted, mirrored or highly reflective glazing is prohibited.
  - e. Street-facing transparency blocked by walls and fences over 42 inches shall not count towards required transparency
  - ef. Blinds, drapes, posters, and shelving for product displays visible to the public right-of-way shall may obscure a maximum of 10 percent of the transparent areas of each respective storefront or 50 percent for medical office uses.

**Table LASP-6: Transparency for Non-Residential and Residential Common Space**

Transparency	CG	CL	CF	MU-N
Ground Floor	70%	30%	30%	70%
Overall Façade	30%	15%	15%	30%

**Table LASP-7: Transparency for Residential Units**

Transparency	CG	CL	CF	MU-N
Ground Floor	N/A			15%
Overall Façade	N/A			15%

2. **Blank Walls.** Windowless expanses of street-facing walls shall not exceed 20 feet in length.
3. **Security Bars.** Any exterior or interior security bars shall be designed to be fully hidden from view during business hours with devices such as concealed side pockets and ceiling cavities.

#### **D. Shade Structures.**

1. **Shading.** Shade structures may project up to two-thirds of the sidewalk width. In LA-CG along Lincoln Avenue, shade structures (e.g. awnings and canopies) are required, subject to a Public Works permit, and shall project a minimum of 5 feet and up to a maximum of 10 feet into the public right-of-way for a minimum of 50 percent of the building frontage.
  - a. Shade structures shall allow a minimum of 8 feet of vertical clearance from sidewalk elevation and shall not conflict with existing trees.
  - b. Shade structures are not required where an arcade or recessed ground floor provides a minimum of 5 feet of unobstructed pedestrian clearance.

#### **E. Arcades & Galleries.**

1. **Arcades.** Any arcades shall be located behind the minimum setback.
  - a. Arcades shall be a minimum of 8 feet from back of column to building façade.
  - b. The distance between columns shall be equal to or greater than the arcade depth dimension, as measured from the column center.
  - c. The façade shall meet the ground floor transparency set in Section 17.31.080.C
  - d. Uses allowed within arcades include: pedestrian travel, seating/street furniture, outdoor dining, landscape planters, and/or bicycle parking.
2. **Galleries.** Any galleries shall be located behind the minimum setback



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- a. Galleries shall be limited to one-story and 50 percent of the building frontage
- b. Galleries shall allow a minimum of 10 feet of vertical clearance from sidewalk elevation.

### F. ~~Lighting.~~ Exterior Fixtures

1. ~~Fixtures.~~ **Façade Lighting.** In LA-CG, pedestrian-scale lighting, such as sconces and goose-neck fixtures, shall be located on the building frontage a minimum of every 30 feet along Lincoln Avenue.
  - a. Façade lighting shall be full cutoff (directing light downward and outward).
  - b. Fixtures shall be ~~placed~~ located between 8 and 15 feet above sidewalk elevation, and shall not project more than 30 inches from the façade.
  - ~~b.c.~~ Lighting shall be static; flashing, pulsating or other dynamic lighting is not permitted.

### G. Walls & Fences.

1. **LA-CG, -CL, -MU-N and -RM-16 Zones.** Walls, fences, raised planters, screening and similar structures (walls/fences) shall be permitted within the required street setback subject to the following conditions. All other walls and fences shall be subject to Section [17.40.180](#).
  - a. Maximum height shall not exceed 42 inches.
  - b. Walls/fences taller than 30 inches shall be a minimum of 50 percent transparent.
  - c. A minimum 24 inch setback from the sidewalk line is required, separated by planted area; retaining walls with a maximum height of 30 inches are exempt from this requirement.
  - d. ~~Stoops and Patios. Walls along the side of a stoop, patio or entry to a residential dwelling unit shall be set back a minimum of 12 inches from the sidewalk line, separated by planted area.~~ The side of a patio or stoop (when parallel to a sidewalk) taller than 30 inches in height shall be set back a minimum of 18 inches from the sidewalk line, separated by planted area.
2. **LA-CF Zone.** Walls/fences located in front of a structure shall be subject to Section 17.37.080.G.1. Walls/fences not located in front of a structure, but along a street frontage, shall be permitted subject to the following conditions:
  - a. A minimum of 5 foot setback from the sidewalk line shall be required, separated by planted area.

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- b. Maximum height shall not exceed 96 inches.
  - (1) Portions of walls/fences greater than 60 inches in height shall be a minimum of 50 percent transparent; portions 60 inches in height or lower are permitted to be solid walls.
  - (2) Solid walls/fences integrated with the building architecture may be permitted to match the height of the ground floor, with a maximum length of 20 feet. Landscaping shall be provided between the solid wall/fence and the sidewalk line, with the exception for building/property entrances.

### 3. Exceptions.

- a. Exceptions to wall/fence height allowed for guardrails, which may exceed the maximum height to the extent required by the Building Code. The guardrail shall be a minimum of 50 percent transparent.
- b. Exceptions to required wall/fence setback allowed for outdoor dining, which may be enclosed by a wall, fence, or similar structure up to a maximum of 42 inches in height located at the sidewalk line.

## H. Balconies & Roof Decks.

1. **Balconies.** Balconies may project a maximum of 4 feet into a street setback but shall not extend beyond the sidewalk line or within 6 feet of any interior property line. Balconies shall not project from a building façade within 50 feet of an RS zoning district.
2. **Roof Decks.** Roof decks shall be ~~set back 5 feet from the building edge on all sides,~~ and shall not be located within 50 feet of an RS zoning district. The sum of all roof decks shall not exceed a maximum coverage of ~~40~~50 percent of the roof area.

## 17.37.090 - Open Space Standards

These standards are intended to:

- Provide a variety of open space types for gathering, recreation and respite that contribute to enhanced livability within an urban setting;
- Give residents access to natural light and fresh air in and around their living spaces;
- Improve building design and site planning through the integration of open space throughout the development; and
- Correlate open space requirements with number of residents and size of buildings.

**A. Minimum Area.**

1. **Private and Common Open Space.** Projects shall provide the minimum area of Open Space based on use and size. Areas used regularly for parking, loading or storage shall not count towards minimum Open Space requirements.
  - a. Residential. Projects with dwelling units shall provide the minimum area of Open Space per Table LASP-8 as a combination of Private and/or Common Open Space.
  - b. Non-residential. Projects with more than 40,000 square feet of non-residential floor area shall provide a minimum of 5 percent of the gross non-residential floor area as Common Open Space.
    - (1) Research and Development uses may reduce Common Open Space area requirements by a maximum of 60 percent. Research and Development projects (or the Research and Development portion of a project with multiple uses) shall exclude mechanical space from floor area for required Open Space.
  - c. Mixed-use. Projects shall comply with requirements applicable to each type of use.

**Table LASP-8: Residential Open Space**

Number of Bedrooms	0	1	2	3+
Per Unit, sq ft	200	225	250	275

2. **Publicly Accessible Open Space.** In LA-CF, projects with more than 80,000 square feet of floor area shall provide a percentage of gross floor area as Publicly Accessible Open Space, as set in Table LASP-9.
  - a. Publicly Accessible Open Space shall be provided in addition to Private and Common Open Space requirements.
    - (1) ~~Research and Development uses may reduce PAOS requirements by a maximum of 60 percent. Research and Development projects (or the Research and Development portion of a project with multiple uses) shall exclude mechanical space from floor area for required PAOS.~~
  - b. Projects shall comply with PAOS standards per 17.37.090.D where relevant.

(1) PAOS standards may be modified through the Design Review process, if the review authority finds that the modified design continues to be accessible to the public, functional, and includes features such as landscaping, trees, and outdoor seating.

c. Research and Development uses may reduce PAOS requirements by a maximum of 60 percent. Research and Development projects (or the Research and Development portion of a project with multiple uses) shall exclude mechanical space from floor area for required PAOS.

**Table LASP-9: Publicly Accessible Open Space**

Project Size (GFA)	80,000—119,999 sq ft	120,000+ sq ft
Per Project, sq ft	2%	3%

**B. Private Open Space.**

1. **Dimensions.** A minimum area of 40 square feet with a minimum dimension of 5 feet in each direction shall be required for Private Open Space.
2. **Distribution.** A maximum of 40 percent of the required residential Open Space set in LASP-8 shall be Private Open Space.
  - a. All Private Open Space shall be outdoors.
  - b. Private Open Space may be located within a required setback.

**C. Common Open Space**

1. **Dimensions.** A minimum area of 400 square feet with a minimum dimension of 15 feet in each direction is required for Common Open Space.
2. **Distribution.** A minimum of 60 percent of the required residential Open Space set in Table LASP-8 shall be Common Open Space shared among tenants.
  - a. A minimum of 70 percent of Common Open Space shall be outdoors, and a minimum of 80 percent of outdoor Common Open Space shall be open to the sky.
  - b. A maximum of 30 percent of Common Open Space may be indoors. Indoor Common Open Space shall not include spaces used primarily for circulation.
3. **Landscape.** A minimum of 25 percent of Common Open Space shall be planted area with a minimum dimension of 30 inches in ~~each direction~~ length and width. Landscaping shall comply with Section [17.44.050](#).
4. **Trees.** A minimum of one 24-inch box tree per project or for every 500 square feet of outdoor Common Open Space, whichever is greater, shall be planted within the

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Common Open Space. For projects with 2 or more trees, a minimum of 50 percent of trees planted shall be shade trees.

5. **Hardscape.** A maximum of 25 percent of Common Open Space may be paved in standard concrete. Remaining areas shall use one of the following enhanced paving techniques: Brick, natural stone, unit concrete pavers, textured and colored concrete, concrete with exposed or special aggregate. Alternative paving may be allowed per review authority approval.
6. **Water Features.** A maximum of 5 percent of the required Common Open Space shall be fountains, reflecting pools, or other decorative water features. Swimming pools are not considered water features for the purposes of this standard.
7. **Access.** Common Open Spaces may be accessible to the public if desired by the property owner.

### D. Publicly Accessible Open Space.

1. **Area.** Minimum area requirements are set in Section 17.37.090.A.2, and may be contiguous or noncontiguous, subject to the dimension and elevation standards below.
2. **Dimensions.** A minimum area of 400 square feet with a minimum dimension of 20 feet in each direction is required for Publicly Accessible Open Space.
3. **Access.** A minimum of 50 percent of the Publicly Accessible Open Space shall be accessible to the general public and shall not be restricted to patrons of a particular business.
4. **Signage.** Publicly Accessible Open Space shall have signage visible from the adjacent sidewalk identifying the space as a publicly-accessible amenity and listing accessible hours.
5. **Hours.** At a minimum, PAOS shall be open to the general public from 8am to 8pm. Any gated ingress or egress points shall not be closed or locked during these hours.
6. **Elevation.** A minimum of 3,000 square feet of Publicly Accessible Open Space shall be at sidewalk elevation. If less square footage is required, then all required Publicly Accessible Open Space shall be at sidewalk elevation.
7. **Hardscape.** A maximum of 25 percent of Publicly Accessible Open Space shall be paved in standard concrete.

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- a. Remaining areas shall use one of the following enhanced paving techniques: Brick, natural stone, unit concrete pavers, textured and colored concrete, and concrete with exposed or special aggregate. Alternative paving may be allowed per review authority approval.
- 8. Seating.** Seating shall be provided at a minimum of 1 seat per 300 square feet of required Publicly Accessible Open Space.
  - a. Benches shall be calculated as 1 seat per 24 linear inches.
  - b. Fractions shall be rounded down to the nearest whole number.
- 9. Landscape.** A minimum of 25 percent of Publicly Accessible Open Space shall be planted area with a minimum dimension of 30 inches in length, width, and depth. Landscaping shall comply with Section [17.44](#).
- 10. Trees.** A minimum of one 24-inch box tree per project or for every 750 square feet of Publicly Accessible Open Space, whichever is greater, shall be planted. For projects with 2 or more trees, a minimum 50 percent of trees planted shall be shade trees.
- 11. Common Open Space Credit.** Publicly Accessible Open Space in excess of the minimum may count towards a maximum of 30 percent of the Common Open Space requirement at a 1:1 ratio.

### 17.37.100 - Parking Standards

These standards are intended to:

- Reduce the visual impacts of parking;
- Regulate appropriate parking supply and location in a manner that prioritizes pedestrian access and multi-modal activity;
- Encourage change of use and adaptive reuse of existing buildings through parking reductions and exemptions;
- Promote a more efficient use of space through shared parking among multiple uses; and
- Increase design standards for parking structures by ensuring habitable floor area and screening between parking and street frontage.

#### **A. Minimum Parking**

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**1. Number of Spaces.** Projects shall provide off-street automobile parking spaces per Table LASP-10 based on general use classifications.

a. Where parking minimums in this Section conflict with state law, state law shall control.

b. Bicycle parking shall be required per Section [17.46.320](#).

**Table LASP-10: Minimum Parking**

Use Classification <sup>1</sup>	Number of Spaces	Exceptions
Residential	≤1-bed: 1 per unit ≥2-bed: 1.5 per unit Guest: 1 per 10 units	Guest parking may be shared with commercial parking in mixed-use projects
Recreation, Education & Public Assembly	Section <a href="#">17.46.040</a>	
Office, Professional & Business Support	2 per 1,000 sq ft in LA-CG; 3 per 1,000 sq ft elsewhere	No parking required for: • First 5,000 sq ft of a project • First 500 sq ft of outdoor dining (per tenant)
Retail Sales (including Restaurants)		
Services		
Industry, Manufacturing & Processing	2 per 1,000 sq ft	Recycling Centers: Plus 1 space per bin
Transportation, Communications & Utility	Section <a href="#">17.46.040</a>	
<b>Other Exceptions</b>		
No new parking required for:		
• Projects within designated historic resources (excluding additions).		
• Changes of use in structures built prior to 1970.		
<b>Notes:</b>		
<sup>1</sup> Use classifications correspond to general use categories in Table LASP-2. The number of spaces listed above shall apply to all uses listed under these general categories, with the exception of specific uses where the parking requirement is lower per Section <a href="#">17.46.040</a> .		
<sup>2</sup> The number of spaces for Research and Development land uses shall be 2 per 1,000 sq ft regardless of zoning district.		

**2. Shared Parking.** Parking may be shared among multiple uses per Section [17.46.050](#).

**3. Unbundled Parking.** For any building with new residential units, off-street automobile parking spaces shall be leased or sold separately from the unit rental or purchase fees, such that renters or buyers have the option of renting or buying the residential unit at a lower price than if the parking was included.

a. For deed-restricted affordable units, one parking space shall be included in the base rent of each unit. The tenant may choose to receive the parking space or receive a rent discount equivalent to half the amount charged for monthly lease of

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a parking space. Tenants of affordable units shall not sublease their parking spaces.

- b. Renters or buyers have the right of first refusal to parking built for their unit. Any remaining spaces may be leased to other users on a month-to-month basis. New occupants shall have the opportunity to lease or purchase parking built for their unit.
- c. Unbundled parking is not required for a residential property or unit with an individual garage that is functionally a part of the property or unit (e.g., certain townhome and row houses).

### **B. Vehicle Access.**

- 1. **Driveways.** For Projects with less than 200 feet of primary street frontage, a maximum of 1 two-lane driveway shall be permitted. For sites with more than 200 feet of primary street frontage, a maximum of 2 two-lane driveways shall be permitted.
  - a. Driveways shall be prohibited on primary frontages of 200 feet or less where there is access from a secondary street or alley.
  - b. The Zoning Administrator shall determine the primary frontage.

### **C. Layout & Design.**

- 1. **Surface Parking.** Parking lots shall be set back a minimum of 30 feet from the primary frontage, 10 feet from any secondary frontage, and 5 feet from RS zoning.
  - a. Parking shall be buffered by habitable floor area or landscaped area, except for access and driveways; a minimum of one tree of at least 24 gallons in size shall be provided for every 300 square feet of landscaped area.
  - b. Landscaped area shall be provided as a percentage of surface parking area as follows:
    - (1) Ten to 20 parking spaces: a minimum of 5%.
    - (2) More than 20: a minimum of 10%.
  - c. One tree of at least 24 gallons in size shall be provided for every 6 parking spaces and located so as to visually disrupt long rows of parked vehicles.
    - (1) Trees shall be distributed as evenly as possible throughout the parking area; a maximum of 35% of required trees may be clustered/located within the street setback.



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- d. Landscaping shall include hedges or shrubs with a minimum height of 3 feet at the time of planting that form a continuous visual screen of vehicle headlights.
  - e. Landscaping shall be provided between a building and a contiguous parking area per review authority approval.
2. **Podium Parking.** A maximum of 1 story of above- grade parking is permitted within habitable buildings. Multiple stories of above ground parking are permitted if the project meets the parking structure standards below.
3. **Parking Structures Structured Parking.** ~~Structures shall be buffered with habitable floor area between the parking and Lincoln Avenue, except for access and driveways.~~ Along primary frontages, all floors of parking structures shall be lined with building floor area (e.g. commercial or residential uses) or Publicly Accessible Open Space for a minimum of 35 feet in depth. Pedestrian access and driveways are excluded from this requirement.
- a. Stand-alone parking structures are prohibited in the LA-MU-N zoning district.
  - b. Elevators and stairs shall be located adjacent sidewalks or public spaces.
  - c. Parking areas shall be screened from the public realm using heavy-gauge metal, precast concrete panels, laminated glass, green walls, photovoltaic panels or other material per review authority approval.
4. **Underground Parking.** Subterranean parking shall be set back a minimum of 5 feet from RS zoning. Otherwise, it may extend up to the property line.