

RUSNAK PORSCHE PASADENA

2915 EAST COLORADO BOULEVARD

PASADENA, CA 91107



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LANDSCAPE ARCHITECT
ASLA Landscape Architecture
630 S. El Camino #B4, San Clemente, CA 92672
Designer: Aaron Sevilla
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PROJECT NAME

RUSNAK PORSCHE PASADENA

PROJECT DESCRIPTION

NEW PORSCHE DEALERSHIP

PROJECT ADDRESS

2915 EAST COLORADO BOULEVARD PASADENA, CA 91107

OWNER INFORMATION

RUSNAK AUTO GROUP
267-337 W. COLORADO BLVD. PASADENA, CA 91105
CONTACT: JOHN BEED
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GOREE PROJECT NUMBER

2019-0011

STAMP / SIGNATURE

ISSUE DATE

05/28/24

ISSUE HISTORY

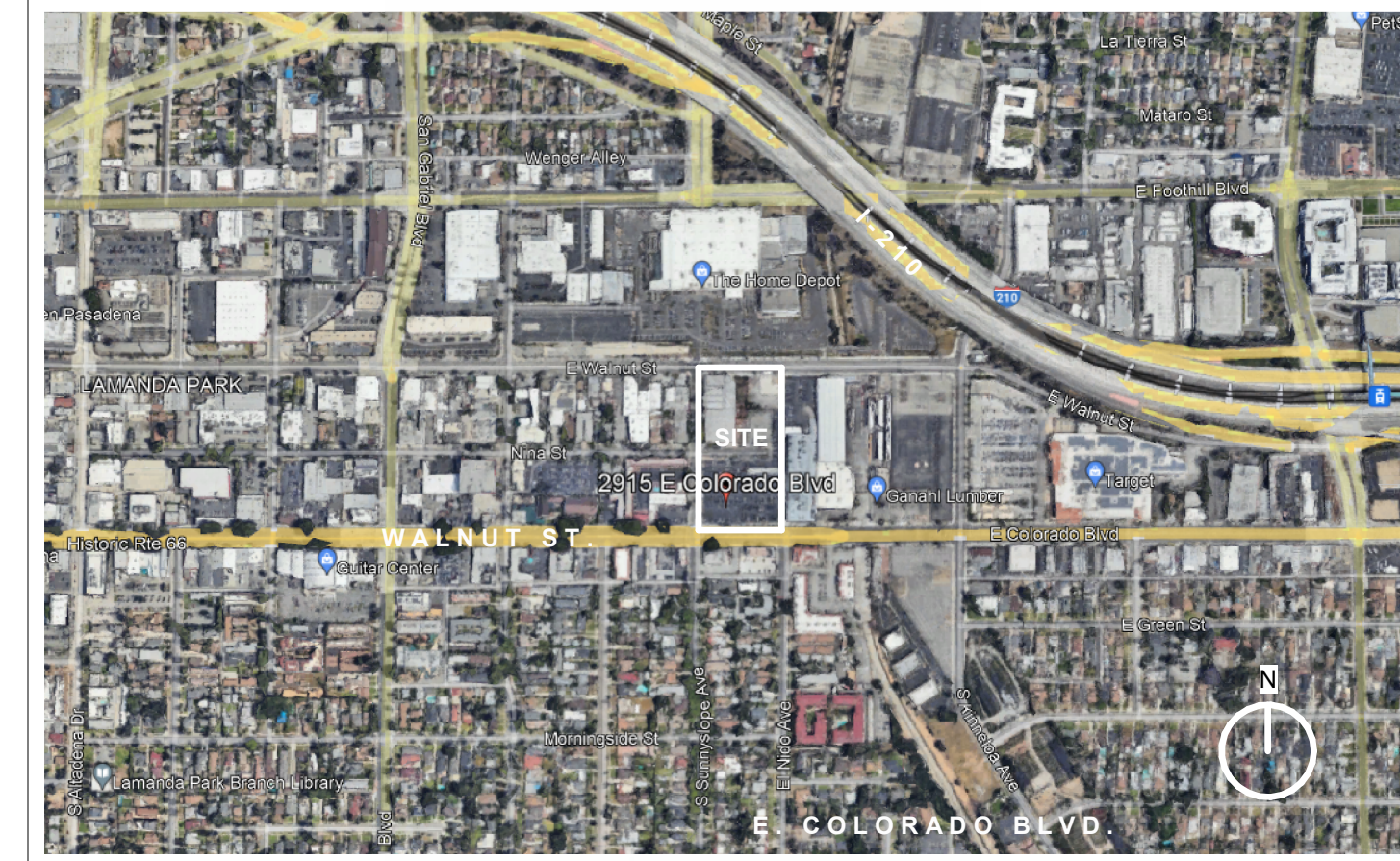
DATE	MARK	DESCRIPTION
05/28/2024	1	PLANNING RESUBMITTAL

KEY PLAN

SCOPE OF WORK

CONSTRUCTION OF A NEW 3 STORY AUTO DEALERSHIP WITH AREA FOR SALES, PARTS STORAGE, AND VEHICLE SERVICE, CONSTRUCTION OF CARWASH / DETAIL BAYS, SCOPE OF WORK INCLUDES GRADING, SITE WORK, PAVING, AND INSTALLATION OF A NEW RETAINING WALL, LIGHT STANDARDS AND LANDSCAPE UPGRADES.

VICINITY MAP



AREA BREAKDOWN

GROSS FLOOR AREA DATA:	
EXISTING BUILDING AREA	
1ST FLOOR :	10,519.00 SF
2ND FLOOR :	3,066.00 SF
	13,585.00 SF
PROPOSED DEALERSHIP BUILDING AREA:	
1ST FLOOR:	
SHOWROOM & OFFICES	16,435.00 SF
COVERED SERVICE DRIVE (NOT INCLUDED IN PROPOSED AREA)	6,348.00 SF
SERVICE AREA	23,941.00 SF
PARTS STORAGE	7,498.00 SF
1ST FLOOR SUBTOTAL:	47,874.00 SF
2ND FLOOR:	
OFFICES(SALES)	10,975.00 SF
PARKING (NOT INCLUDED IN PROPOSED AREA)	38,467.00 SF
VEHICLE RAMP(NOT INCLUDED IN PROPOSED AREA)	2,958.00 SF
2ND FLOOR SUBTOTAL:	10,975.00 SF
3RD FLOOR:	
ROOFTOP PARKING (NOT INCLUDED IN PROPOSED AREA)	30,917.00 SF
VERTICAL CIRCULATION:	
VEHICLE RAMP (NOT INCLUDED IN PROPOSED AREA)	449.00 SF
TOTAL PROPOSED DEALERSHIP BUILDING AREA:	58,848.00 SF
PROPOSED CARWASH BUILDING AREA:	4,864.00 SF
PROPOSED EV BATTERY STORAGE BUILDING AREA:	298 SF
FLOOR AREA RATIO (PER CITY OF PASADENA MUNICIPAL CODE):	
LOW MIXED USE - 1.0 MAX.	
R & D FLEX SPACE - 1.25 MAX.	
LOT SIZE:	192,331 SF = 4.415 ACRES
GROSS FLOOR AREA =	77,595.00 (58,848.00 + 4,864.00 + 298 + 13,585.00) / 192,331 SF = FAR 0.40
LOT COVERAGE:	
1ST FLOOR DEALERSHIP GROSS AREA + Service drive+ CARWASH + EV STORAGE + EXISTING BUILDING 1ST LEVEL+2ND LEVEL PARKING OVERHANG = 79,849.92 SF	
79,017.00(47,874.00+ 6,348.00 +4864.00 + 298.00+ 10,519.00+9,114.00) SF / 192,331 SF = 0.41	
LANDSCAPE PROVIDED: SEE LANDSCAPE PLAN	

PROJECT INFORMATION

APN:	5748-036-001-.002-.003-.004-.005-.028-.029, AND -032
BUILDING ADDRESS:	2965 E. COLORADO BLVD. PASADENA, CA 91107
ZONING DESIGNATION:	INDUSTRY GENERAL AND COMMERCIAL CENTER
SPECIFIC PLAN:	EPSP-D1-IG, ECSP-CG-6
LAND USE DESIGNATION:	LOW MIXED USE, R & D FLEX SPACE
ADJACENT PARCEL ZONING & LAND USE:	NORTH: R & D FLEX SPACE, EPSP-D1-IG EAST: LOW MIXED USE, ECSP-CG-6 SOUTH: LOW MIXED USE, ECSP-CG-6 WEST: LOW MIXED USE, ECSP-CG-5-AD-2
PROPOSED LAND USE:	CONSTRUCTION OF A NEW AUTOMOBILE DEALERSHIP WITH AREAS FOR SALES, CUSTOMER LOUNGE, OFFICES, VEHICLE SERVICE, PARTS STORAGE, CARWASH WITH SITE AND LANDSCAPE IMPROVEMENTS
TOTAL GROSS AREA:	192,331 SF = 4.415 ACRES
LOT COVERAGE:	41.0%
FLOOR AREA RATIO:	FAR 0.40
OCCUPANCY:	B, S-1, & S-2
TYPE OF CONSTRUCTION:	V-B
SPRINKLERED / FIRE ALARM:	YES
NUMBER OF STORIES:	2
HEIGHT OF BUILDING:	43' - 6" (FROM SHOWROOM F.F.) 50' - 11" (FROM SITE LOWEST POINT)
LEGAL DESCRIPTION:	SEE CIVIL

PARKING ANALYSIS

OFF-STREET PARKING TABULATION					
PER § 17.46.120.C OF THE CITY OF PASADENA MUNICIPAL CODE					
USE	AREA	RATIO	REQUIRED	PROVIDED	
SHOWROOM AND SALES OFFICES(FIRST & SECOND LEVEL)	27,410.00 S.F.	1 SPACE FOR EA. 1,000 S.F. OF GFA	28 SPACES		
SERVICE & PART STORAGE	31,429.00 S.F.	4 SPACE FOR EA. 1,000 S.F. OF GFA	126 SPACES		
TOTAL REQUIRED PARKING SPACES			154 SPACES	158 SPACES	
INVENTORY / DISPLAY					84 SPACES
TOTAL PARKING					242 SPACES

ACCESSIBLE PARKING TABULATION			
PER § 11B-208 AND TABLE 11B-208.2 OF THE 2019 CALIFORNIA BUILDING CODE			
TYPE	RATIO	REQUIRED	PROVIDED
STANDARD	6 SPACES FOR 151 TO 200 TOTAL PARKING SPACES (BASED ON REQUIRED PARKING)	6 SPACES	6 SPACES
VAN	1 SPACE FOR EVERY 6 (OR FRACTION OF 6) ADA SPACES	1 SPACE	2 SPACE

DESIGNATED PARKING TABULATION			
PER § 5.106.5.2 AND TABLE 5.106.5.3.3 OF THE 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE			
TYPE	RATIO	REQUIRED	PROVIDED
DESIGNATED PARKING	16 SPACES FOR 151 TO 200 TOTAL PARKING SPACES	16 SPACES	16 SPACES
EV CHARGING STATIONS (EVCS)	10 SPACES FOR 151 TO 200 TOTAL PARKING SPACES	10 SPACES	10 SPACES

BICYCLE PARKING TABULATION			
PER § 5.106.4 OF THE CALIFORNIA GREEN BUILDING STANDARDS CODE			
TYPE	RATIO	REQUIRED	PROVIDED
SHORT-TERM BICYCLE PARKING	5% OF TOTAL PARKING SPACES PROVIDED (MIN. 2 SPACES)	7	7
LONG-TERM BICYCLE PARKING	5% OF TOTAL PARKING SPACES PROVIDED (MIN. 1 SPACE)	7	7

PARKING PROVIDED:

ON GRADE PARKING: 70 SPACES (INC. 33 CUSTOMER SPACES AND 37 DISPLAY / INVENTORY SPACES)
 2ND FLOOR PARKING: 108 SPACES (INC. 69 EMPLOYEE SPACES AND 47 DISPLAY / INVENTORY SPACES)
 3RD FLOOR PARKING: 66 SPACES (INC. 66 EMPLOYEE SPACES)

TOTAL PARKING PROVIDED: 242 SPACES

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SHEET NAME

COVER

SHEET NUMBER

A000



2- VIEW FROM EAST COLORADO BLVD



1 VIEW FROM N SUNNYSLOPE & COLORADO BLVD INTERSECTION



3 BIRDS EYE VIEW FROM SUNNYSLOPE AVENUE

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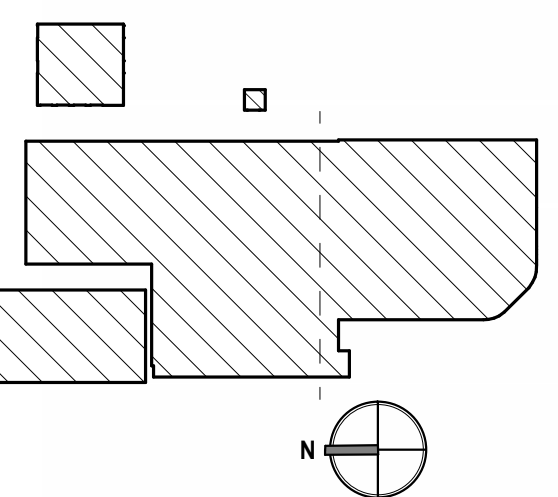
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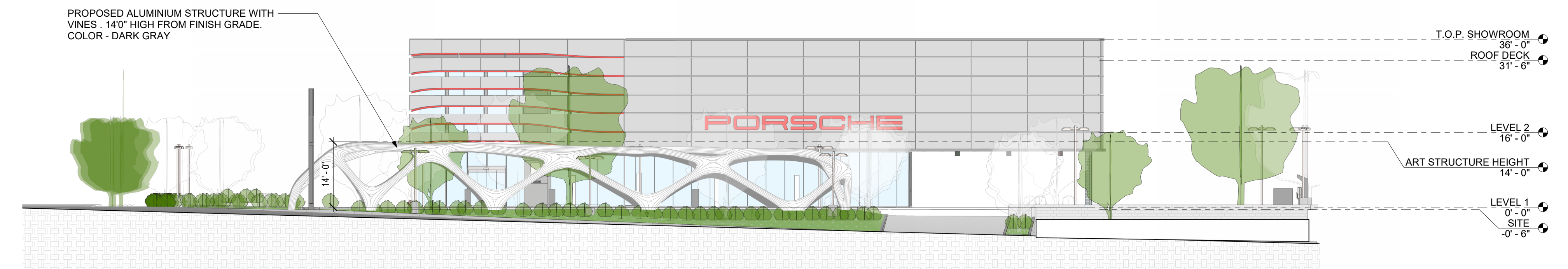


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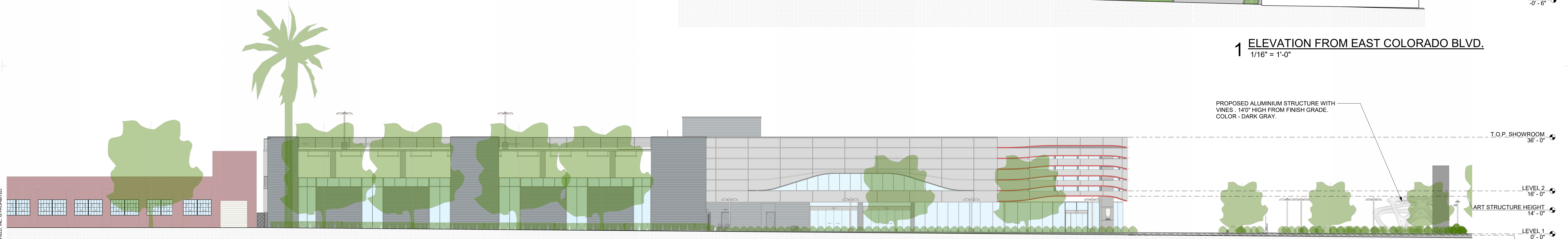
PERSPECTIVES

SHEET NUMBER

A010



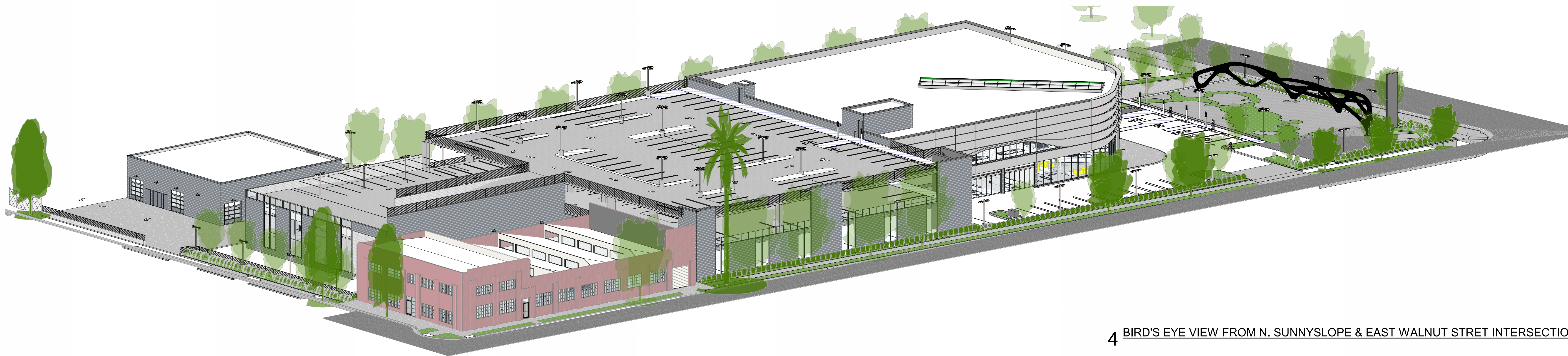
1 ELEVATION FROM EAST COLORADO BLVD.
1/16" = 1'-0"



2 ELEVATION FROM NORTH SUNNYSLOPE AVENUE
1/16" = 1'-0"



3 STREET VIEW FROM N. SUNNYSLOPE & EAST WALNUT STREET INTERSECTION.



4 BIRD'S EYE VIEW FROM N. SUNNYSLOPE & EAST WALNUT STREET INTERSECTION.

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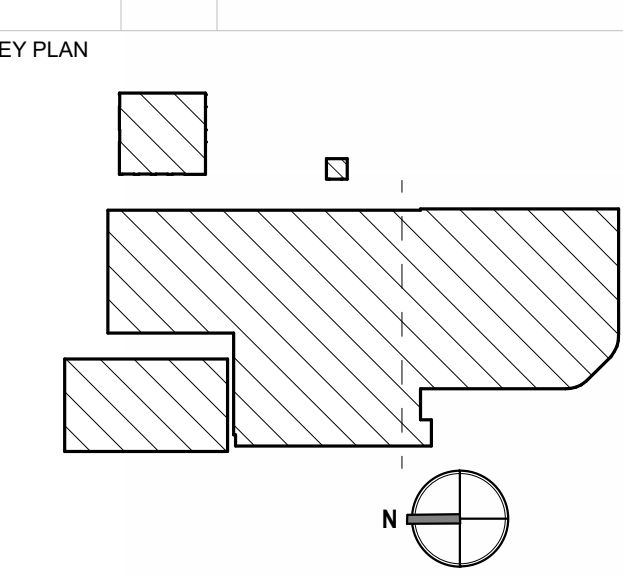


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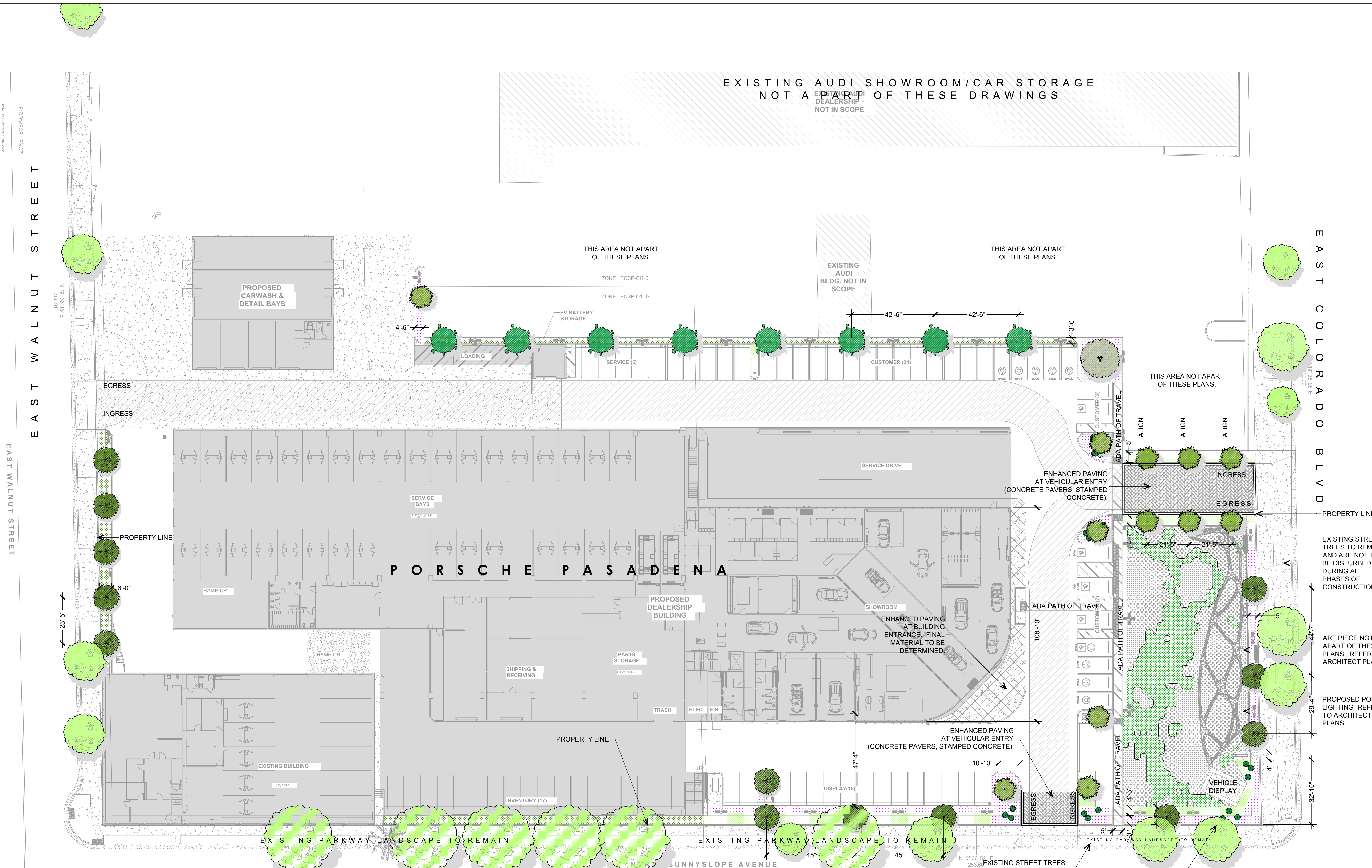
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SHEET NAME
PERSPECTIVES & ELEVATIONS

SHEET NUMBER
A011



PLAN VIEW
 1"=20'-0"

TREE LEGEND

SYMBOL	BOTANICAL NAME (COMMON NAME)	BOX SIZE	WUCOLS	QTY.
	QUERCUS AGRIFOLIA (COAST LIVE OAK)	48" BOX	L	1
	TRISTANIA CONFERTA (BRISBANE BOX)	36" BOX COLUMNAR	M	8
	ARBUSUS MARINA (STRAWBERRY TREE)	48" BOX STANDARD	L	12
	LAGERSTROMIA INDICA (CRAPE MYRTLE)	STANDARD	M	-
	LAURUS NOBLIS (BAY LAUREL)	STANDARD	M	-
	MAGNOLIA SPECIES (MAGNOLIA)	STANDARD	M	-
	RHUS LANCEA (AFRICAN SUMAC)	48" BOX STANDARD	L	12
	GENERA PARVIFLORA (AUSTRALIAN WILLOW)	STANDARD	L	-
	ULMUS PARVIFOLIA 'TRUE GREEN' (CHINESE ELM)	STANDARD	M	-
	PODOCARPUS GRACILIOR (FERN PINE)	STANDARD	M	-

SHRUB & GROUND COVER LEGEND

SYMBOL	BOTANICAL NAME (COMMON NAME)	SIZE/SPACING/WUCOLS
	CARISSA MACROCARPA 'GREEN CARPET' (NATAL PLUM)	5 GAL 3' O.C. M
	LANTANA SPECIES (LANTANA)	5 GAL 3' O.C. L
	RHAPHIOLEPIS INDICA 'BALLERINA' (INDIAN HAWTHORNE)	5 GAL 2' O.C. M
	TRACHELOSPERMUM JASMINOIDES (STAR JASMINE)	5 GAL 3' O.C. M
	AGAVE SPECIES (AGAVE)	5 GAL 3' O.C. L
	ALOE SPECIES (ALOE)	5 GAL 3' O.C. L
	REPRESENTS THE EXISTING PARKWAY TREES. REFER TO TREE EXHIBIT BY CARLSBERG ASSOCIATES FOR IDENTIFICATION OF EXISTING ON-SITE TREES.	-

SHRUB & GROUND COVER LEGEND

SYMBOL	BOTANICAL NAME (COMMON NAME)	SIZE/SPACING/WUCOLS
	AGAPANTHUS AFRICANUS (LILY OF THE NILE)	5 GAL 2' O.C. M
	CALLISTEMON 'BETTER JOHN' (DWARF BOTTLE BRUSH)	5 GAL 4' O.C. M
	DIANELLA SPECIES (FLAX LILY)	5 GAL 3' O.C. M
	LOMANDRA SPECIES (MATTE RUSH)	5 GAL 2' O.C. M
	LANTANA SPECIES (LANTANA)	5 GAL 3' O.C. L
	PHORMIUM SPECIES (NEW ZEALAND FLAX)	5 GAL 2' O.C. M
	DIETES VEGETA (FORTNIGHT LILY)	5 GAL 3' O.C. M
	LIGUSTRUM JAPONICA 'TEXANUM' (WAXLEAF PRIVET)	5 GAL 3' O.C. M
	PITTOSPORUM 'VARIEGATA' (VARIEGATED MOCK ORANGE)	5 GAL 3' O.C. M
	RHAPHIOLEPIS SPECIES (INDIAN HAWTHORNE)	5 GAL 3' O.C. M

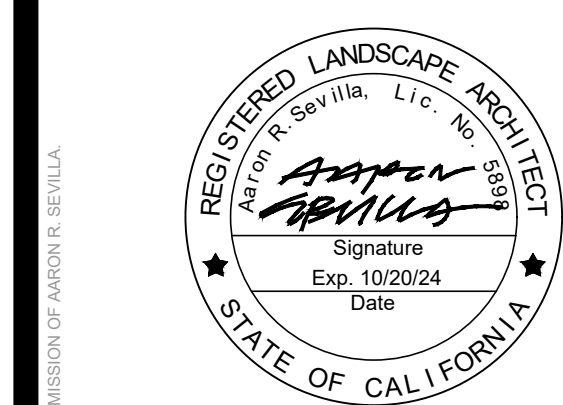
PROJECT SUMMARY:
 NEW PLANTING AREAS: 27,410 SF

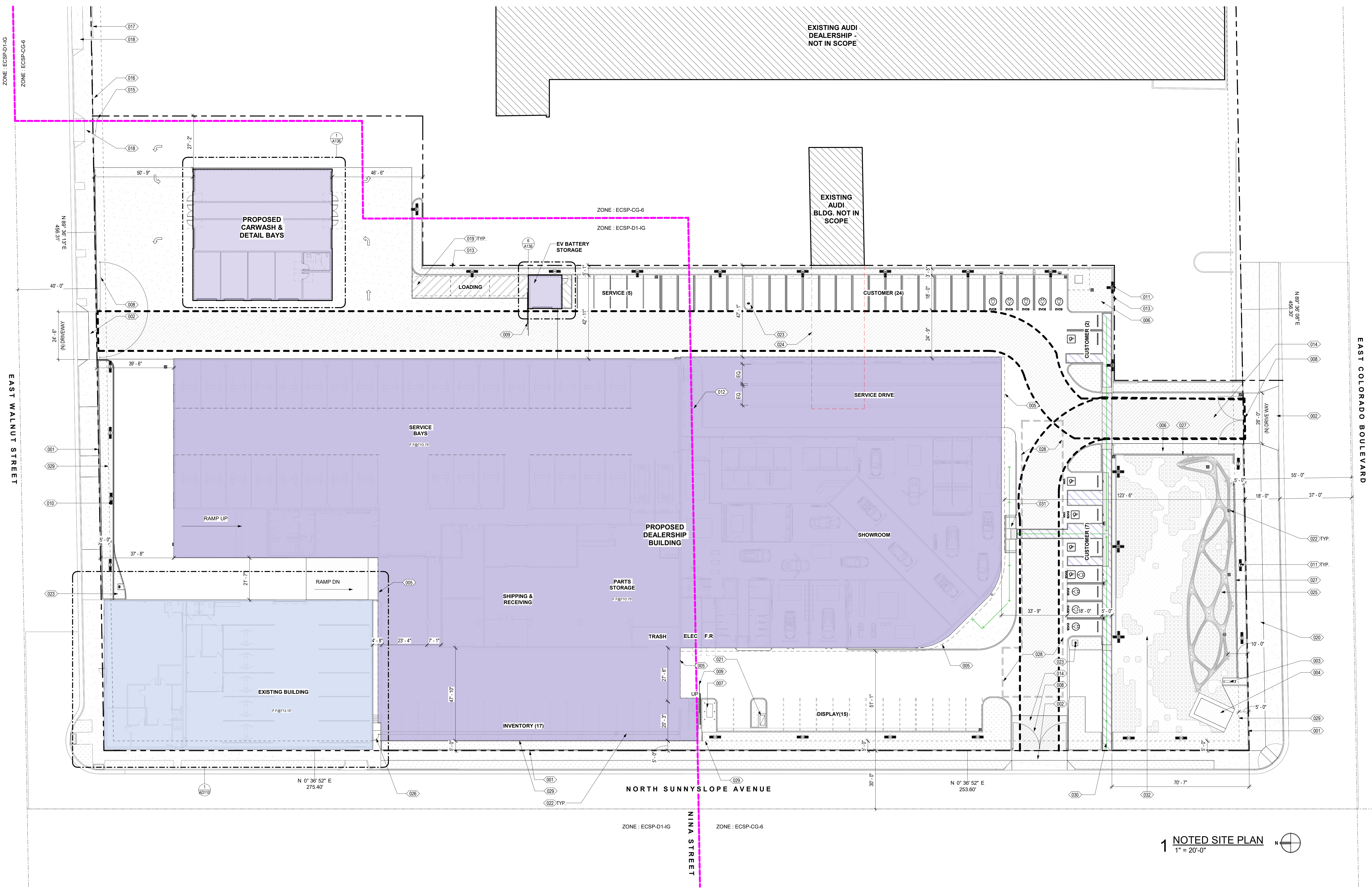
MULCH NOTE:
 ALL PLANTING AREAS TO RECEIVE 3" OF DECORATIVE BARK MULCH (DARK BROWN COLOR).

IRRIGATION NOTES AND REQUIREMENTS:
 THE PROJECT LANDSCAPE PLANTING AREAS SHALL RECEIVE THE FOLLOWING IRRIGATION SYSTEM:
 LOW PRECIPITATION SHRUB DRIP SYSTEM AUTOMATICALLY PROGRAMMED WITH AN ELECTRICAL CONTROLLER. SYSTEM COMPONENTS WILL INCLUDE A BRASS GATE VALVE (IN VALVE BOX) AT THE POINT OF CONNECTION, BACK FLOW DEVICE (PER LOCAL CODES), ELECTRICALLY OPERATED REMOTE CONTROL VALVES AND DRIP SYSTEM IN SHRUB BEDS, ALL SUPPLIED BY PVC SCHEDULE 40 MAINLINE AND LATERAL LINES SIZED ACCORDING TO HYDRAULIC CALCULATION. CIRCUITS SHALL BE DETERMINED BY SOLAR ORIENTATION AND PLANTING AREA. 100% COVERAGE SHALL BE ACHIEVED THROUGHOUT THE SYSTEM. SEPARATE VALVE INCLUDED FOR TREES 48" AND ABOVE.

Scale: 1" = 20'

MAY 7TH, 2024





1 NOTED SITE PLAN
1" = 20'-0"

SITE WORK GENERAL NOTES:

- ALL OUTDOOR LIGHTING SHALL COMPLY WITH CITY STANDARDS AND WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE. ALL OUTDOOR LIGHTING FIXTURES SHALL COMPLEMENT THE OVERALL PROJECT THEME AND SHALL BE DIRECTED, ORIENTED, AND SHIELDED TO PREVENT LIGHT AND GLARE FROM CASTING ONTO ADJACENT PROPERTIES.
- ALL BUILDING SIGNAGE WILL BE REVIEWED UNDER A SEPARATE SUBMITTAL. ALL SIGNAGE SHALL BE LIT AND COMPLY WITH CITY STANDARDS.
- ALL CUSTOMER AND EMPLOYEE PARKING SPACES ARE TO BE CLEARLY IDENTIFIED THROUGH THE USE OF SIGNAGE OR PAINT. DETAILS OF THE SPACES AND/OR SIGNAGE SHALL BE INCLUDED ON THE CONSTRUCTION DRAWINGS AND WILL BE INSPECTED PRIOR TO THE CERTIFICATE OF OCCUPANCY.

SITE PLAN KEYNOTES

- 001 PROPERTY LINE
- 002 NEW DRIVEWAY APPROACH
- 003 PROPOSED PYLON SIGN LOCATION SIGNAGE UNDER SEPARATE PERMIT BY SIGN VENDOR.
- 004 DISPLAY PAD
- 005 LINE OF COVERED OVERHANG
- 006 LANDSCAPE AREA
- 007 PROPOSED ELECTRICAL TRANSFORMER LOCATION
- 008 PROPOSED SWINGING SECURITY GATE WITH KNOX BOX
- 009 PROPOSED SLIDE GATE WITH KNOX BOX
- 010 PROPOSED 4'-0" HIGH FENCE SEE DETAIL 2 ON SHEET A102
- 011 SITE LIGHTING @ MAX. 18'-0" PER CITY STANDARD
- 012 BICYCLE PARKING
- 013 PROPOSED RETAINING WALL PER CIVIL
- 014 ENHANCED PAVING
- 015 EXISTING CHAIN LINK FENCE TO REMAIN
- 016 EXISTING CHAIN LINK SWING GATE TO REMAIN
- 017 EXISTING CHAIN LINK SLIDE GATE TO REMAIN
- 018 EXISTING DRIVEWAY TO REMAIN
- 019 LOADING ZONE PER CIVIL
- 020 EASEMENT. SEE CIVIL
- 021 PROPOSED DCCA LOCATION. SEE CIVIL
- 022 PROPOSED CATCH BASIN. SEE CIVIL

SITE PLAN KEYNOTES

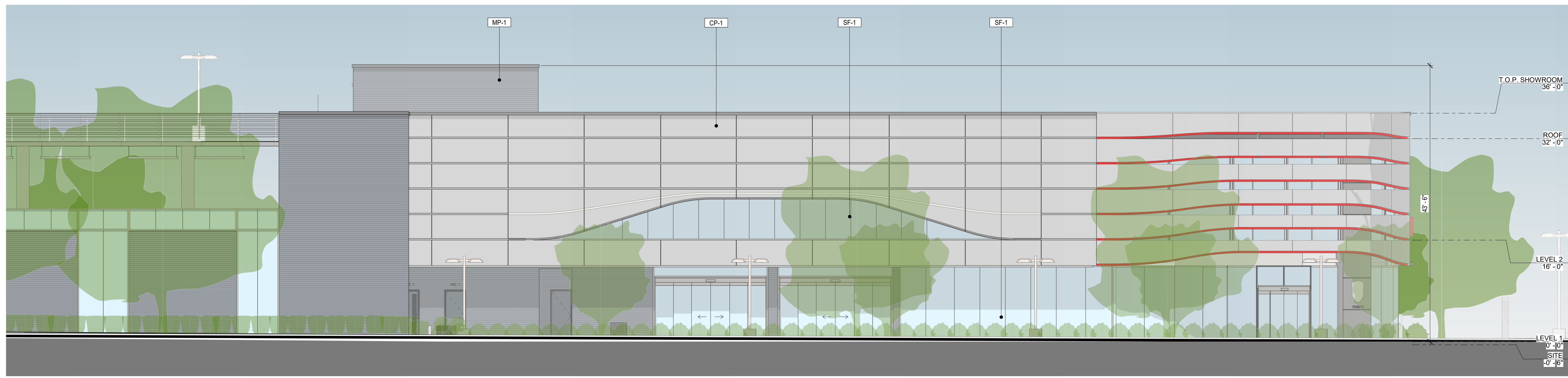
- 023 PROPOSED FIRE HYDRANT. SEE CIVIL
- 024 PORTION OF EXISTING AUDI BUILDING TO BE REMOVED
- 025 PROPOSED ALUMINUM ART STRUCTURE WITH VINES, 140" HIGH FROM FINISH GRADE. COLOR-DARK GRAY.
- 026 PROPOSED METAL SWING GATE WITH LOCK
- 027 NEW PROPOSED CMU WALL. REFER CIVIL DRAWINGS.
- 028 UNDERGROUND STORMWATER BMP. SEE CIVIL
- 029 SETBACK LINE
- 030 ACCESSIBLE PATH OF TRAVEL FROM CITY R.O.W.
- 031 CURB RAMP. SEE CIVIL
- 032 PROPOSED PERMEABLE PAVEMENT.

SITE PLAN LEGEND:

- PROPERTY LINE
- SETBACKS
- FIRE LANE
- ZONING DISTRICT LINE
- PROPOSED BUILDING
- EXISTING BUILDING
- PROPOSED ADA PATH OF TRAVEL
- PROPOSED ADA TRUNCATED DOMES
- PROPOSED PAVING
- PROPOSED ENHANCED PAVING (E01.1)
- PROPOSED LANDSCAPE

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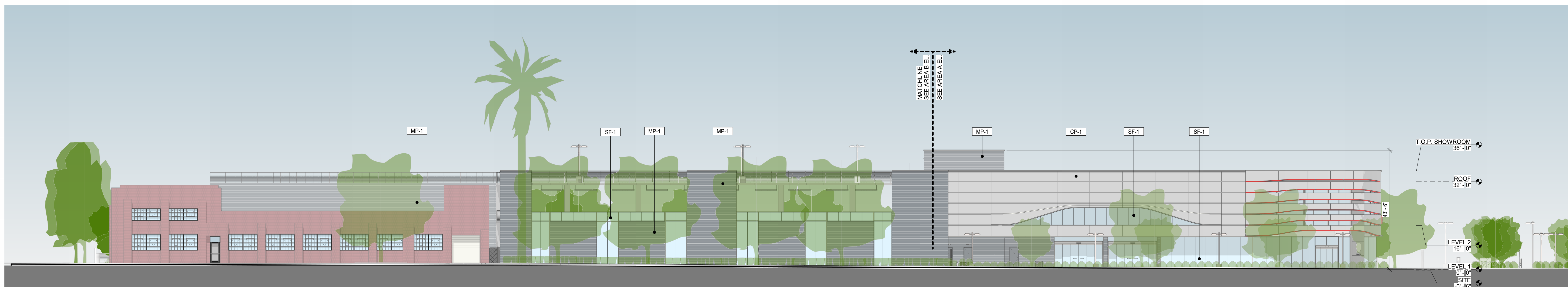
3 PROPOSED ELEVATION - WEST AREA A
1/8" = 1'-0"

EXTERIOR FINISH LEGEND:


- CP-1** ALUMINUM COMPOSITE METAL PANELS
COLOR: RAL 9006 WHITE ALUMINUM
FINISH: NON-REFLECTIVE
- CP-2** PERFORATED METAL PANELS
COLOR: RAL 7021 BLACK GREY
FINISH: NON-REFLECTIVE
- MP-1** TRAPEZIUM METAL PANEL SYSTEM
COLOR: RAL 7021 BLACK GREY
FINISH: NON-REFLECTIVE
- EP-1** EXTERIOR PAINT
COLOR: MATCH RAL 7021 BLACK GREY
- EIFS-1** EXTERIOR INSULATION FINISHING SYSTEM
PAINTED EP-1
- SF-1** EXTERIOR STOREFRONT
FRONT LOADED BUTT-JOINTS
COLOR: LOW-E CLEAR GLASS
- GL-1** GLASS
COLOR: LOW-E CLEAR GLASS
- O-G** OBSCURE GLASS
DARK GRAY ANODIZED FRAME
- BK-1** EXISTING EXPOSED BRICK MASONRY



2 PROPOSED ELEVATION - WEST AREA B
1/8" = 1'-0"



1 PROPOSED ELEVATION - WEST OVERALL
1/16" = 1'-0"



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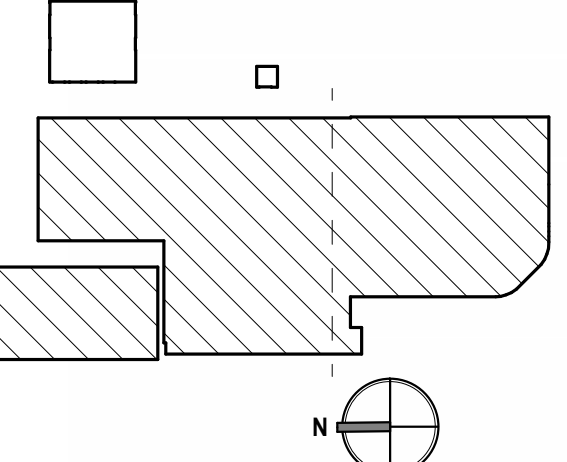
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PROPOSED EXTERIOR ELEVATIONS

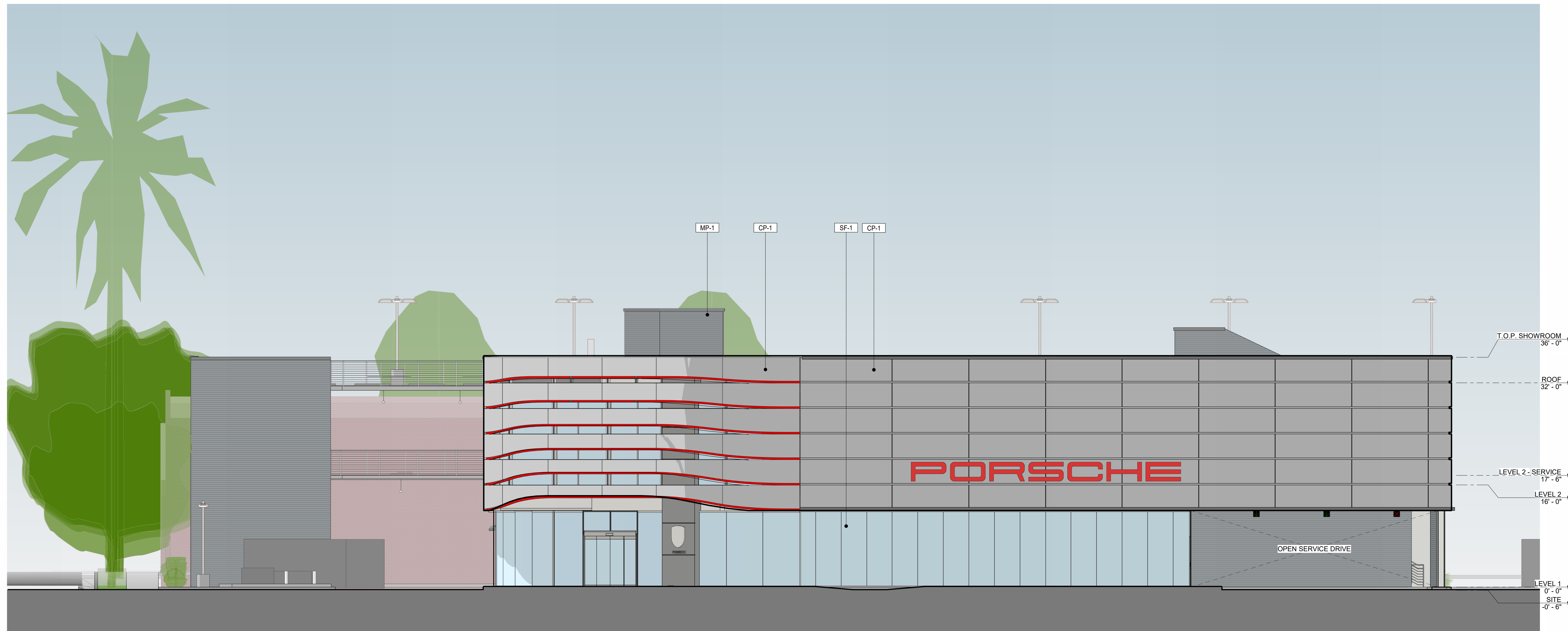
SHEET NUMBER
A107

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3 PROPOSED ELEVATION - NORTH
1/8" = 1'-0"



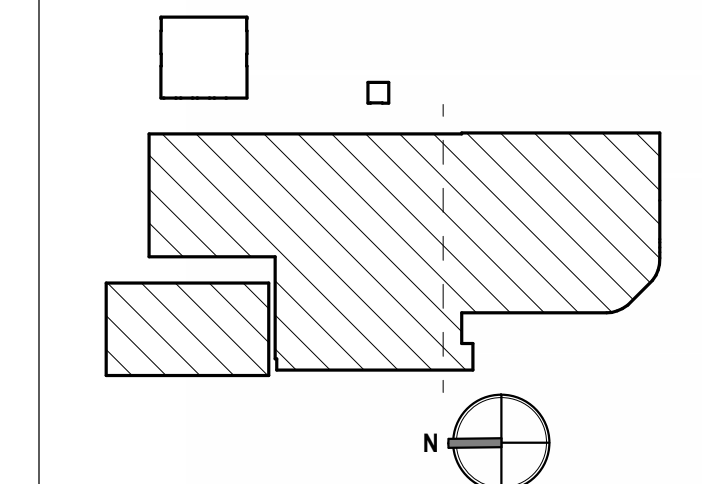
4 PROPOSED ELEVATION - SOUTH
1/8" = 1'-0"

EXTERIOR FINISH LEGEND:

- CP-1**
ALUMINUM COMPOSITE METAL PANELS
COLOR: RAL 9006 WHITE ALUMINUM
FINISH: NON-REFLECTIVE
- CP-2**
PERFORATED METAL PANELS
COLOR: RAL 7021 BLACK GREY
FINISH: NON-REFLECTIVE
- MP-1**
TRAPEZIUM METAL PANEL SYSTEM
COLOR: RAL 7021 BLACK GREY
FINISH: NON-REFLECTIVE
- EP-1**
EXTERIOR PAINT
COLOR: MATCH RAL 7021 BLACK GREY
- EIFS-1**
EXTERIOR INSULATION FINISHING SYSTEM
PAINTED EP-1
- SF-1**
EXTERIOR STOREFRONT
FRONT LOADED BUTT-JOINTS
COLOR: LOW-E CLEAR GLASS
- GL-1**
GLASS
COLOR: LOW-E CLEAR GLASS
- O-G**
OBSCURE GLASS
DARK GRAY ANODIZED FRAME
- BK-1**
EXISTING EXPOSED BRICK MASONRY



DATE	MARK	DESCRIPTION
05/28/2024	1	PLANNING RESUBMITTAL



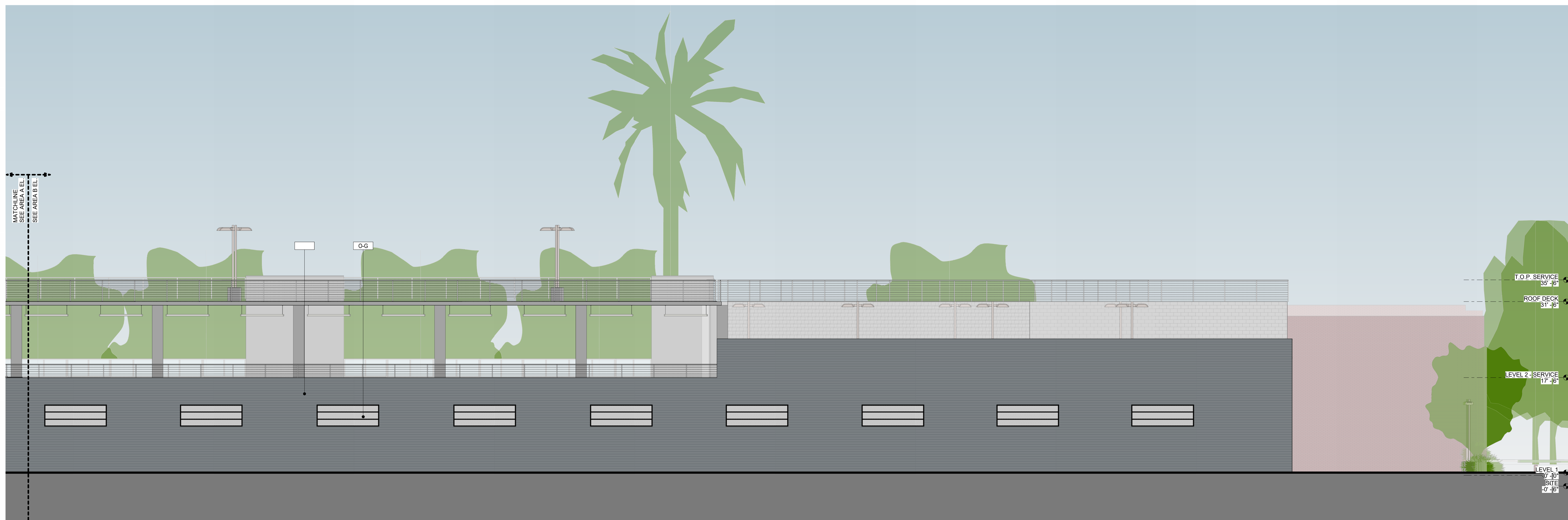
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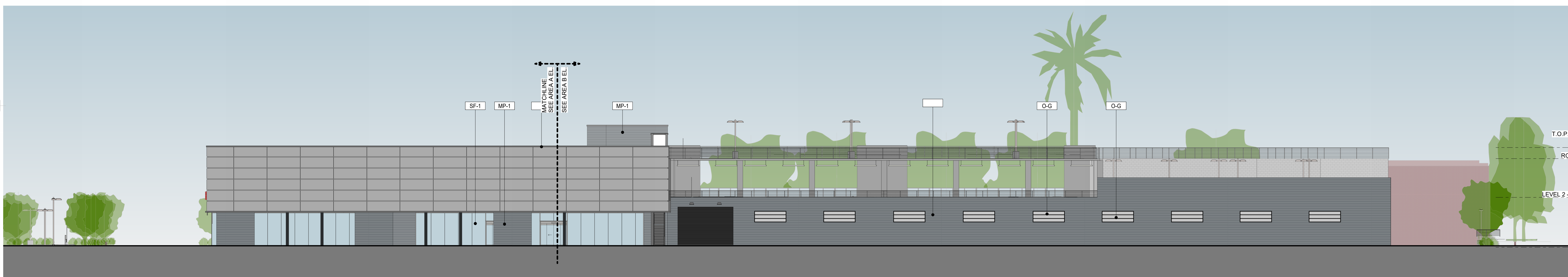
3 PROPOSED ELEVATION - EAST AREA A
1/8" = 1'-0"

EXTERIOR FINISH LEGEND:

- CP-1**
ALUMINUM COMPOSITE METAL PANELS
COLOR: RAL 9006 WHITE ALUMINUM
FINISH: NON-REFLECTIVE
- CP-2**
PERFORATED METAL PANELS
COLOR: RAL 7021 BLACK GREY
FINISH: NON-REFLECTIVE
- MP-1**
TRAPEZIUM METAL PANEL SYSTEM
COLOR: RAL 7021 BLACK GREY
FINISH: NON-REFLECTIVE
- EP-1**
EXTERIOR PAINT
COLOR: MATCH RAL 7021 BLACK GREY
- EIFS-1**
EXTERIOR INSULATION FINISHING SYSTEM
PAINTED EP-1
- SF-1**
EXTERIOR STOREFRONT
FRONT LOADED BUTT-JOINTS
COLOR: LOW-E CLEAR GLASS
- GL-1**
GLASS
COLOR: LOW-E CLEAR GLASS
- O-G**
OBSCURE GLASS
DARK GRAY ANODIZED FRAME
- BK-1**
EXISTING EXPOSED BRICK MASONRY



2 PROPOSED ELEVATION - EAST OVERALL Copy 1
1/8" = 1'-0"



1 PROPOSED ELEVATION - EAST OVERALL
1/16" = 1'-0"

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LANDSCAPE ARCHITECT
ASLA Landscape Architecture
630 S. El Camino #B4, San Clemente, CA 92672
Designer: Aaron Sevilla
E: aaron@asladesign.com, P: 949-375-6481

PROJECT NAME

RUSNAK PORSCHE PASADENA

PROJECT DESCRIPTION

NEW PORSCHE DEALERSHIP

PROJECT ADDRESS

2915 EAST COLORADO
BOULEVARD
PASADENA, CA 91107

OWNER INFORMATION

RUSNAK AUTO GROUP
267-337 W. COLORADO BLVD.
PASADENA, CA 91105
CONTACT: JOHN BEED
JBEEED@RUSNAKGROUP.COM



GOREE PROJECT NUMBER

2019-0011

STAMP / SIGNATURE

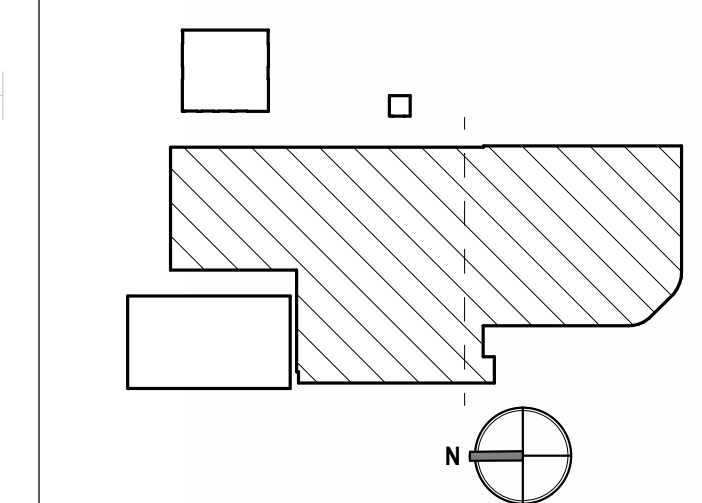
ISSUE DATE

05/28/24

ISSUE HISTORY

DATE	MARK	DESCRIPTION
05/28/2024	1	PLANNING RESUBMITTAL

KEY PLAN

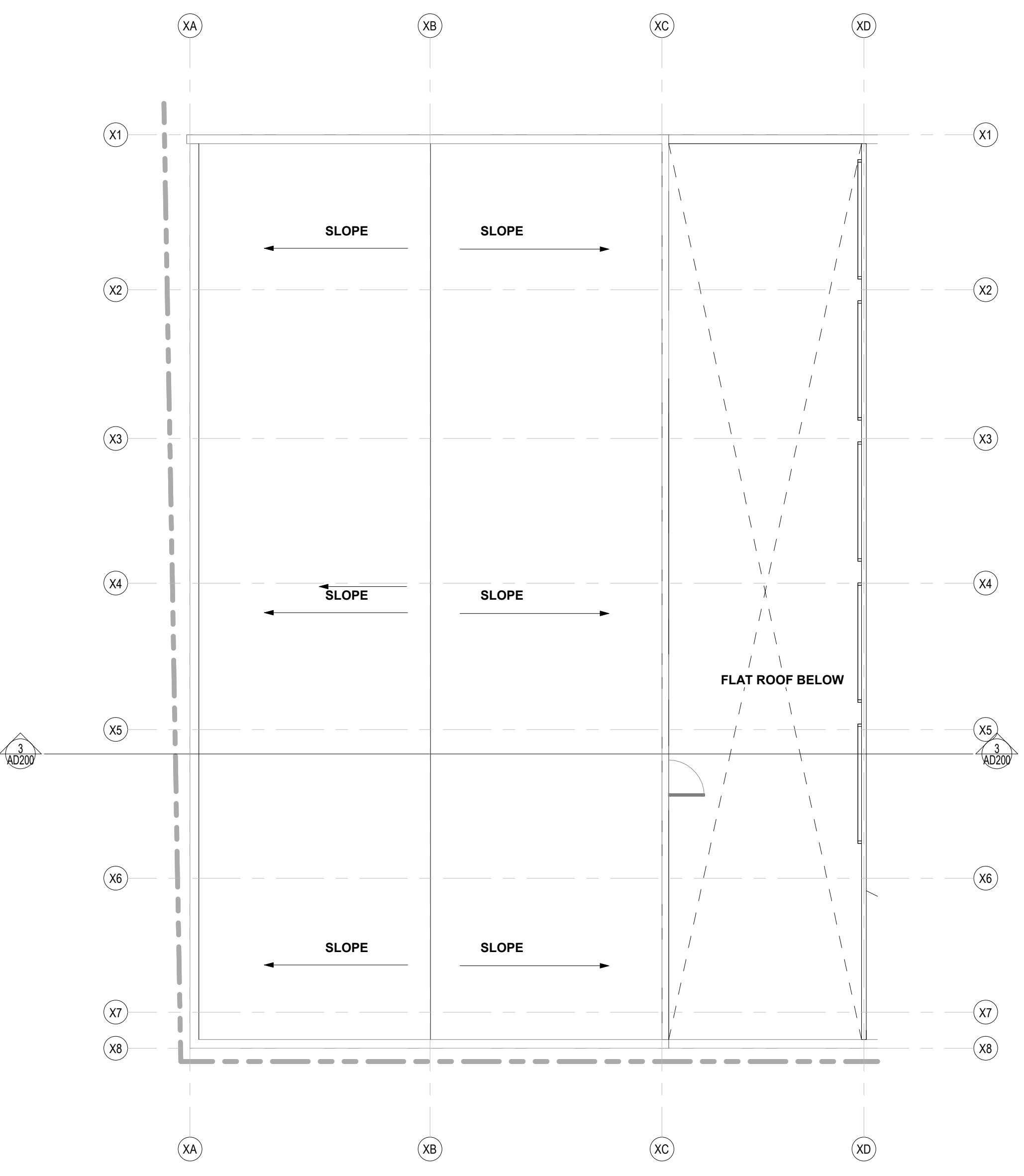
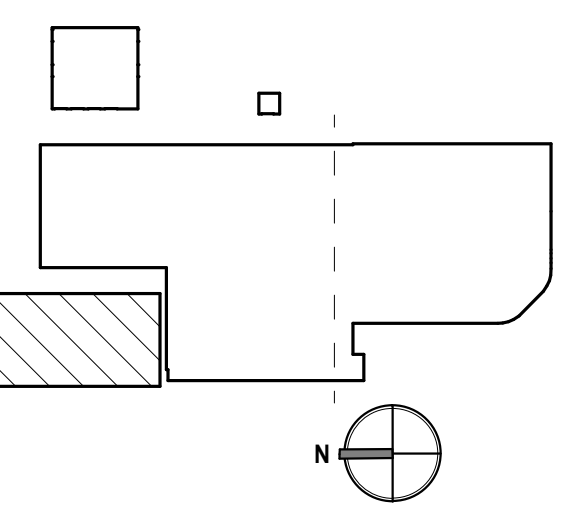


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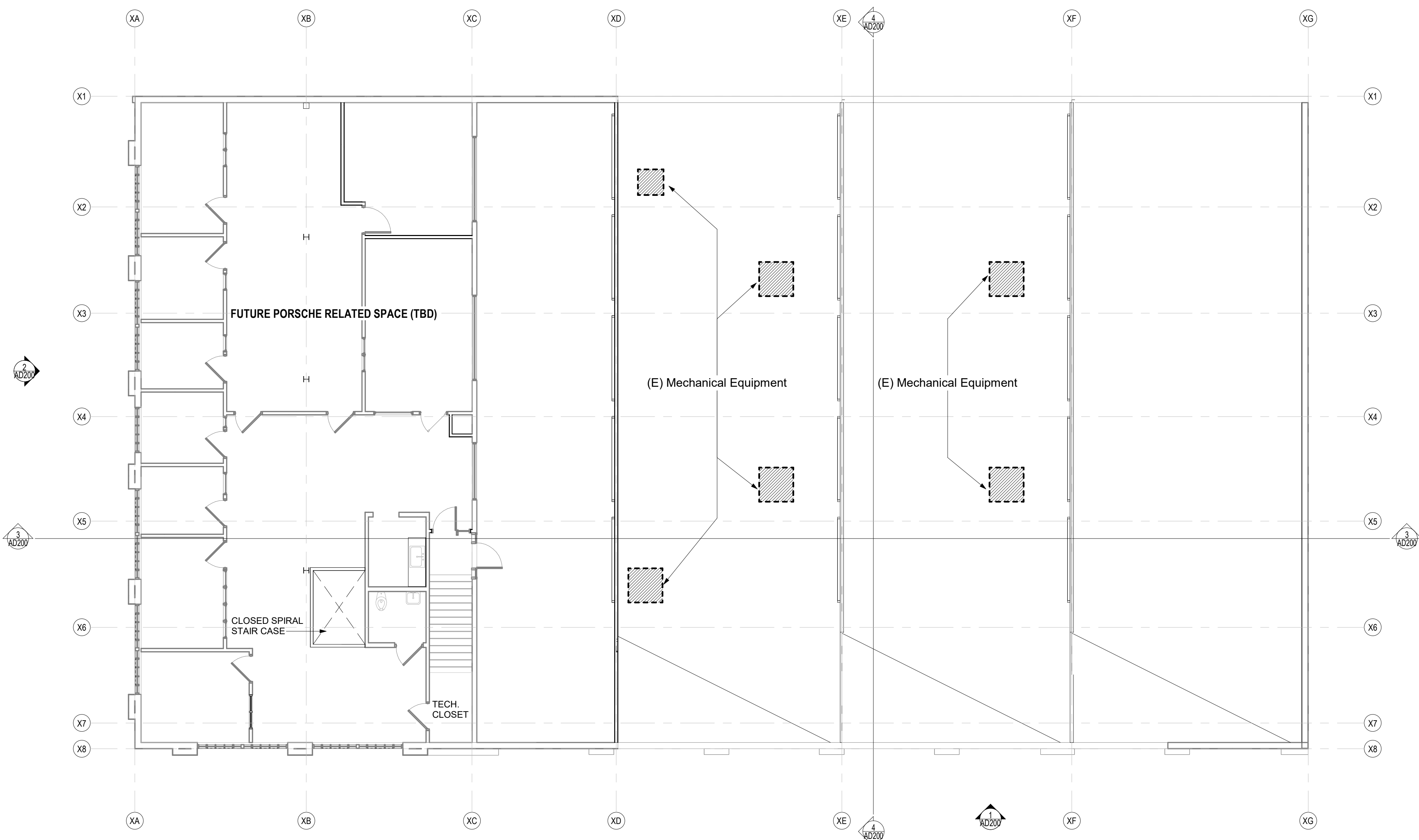
PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER

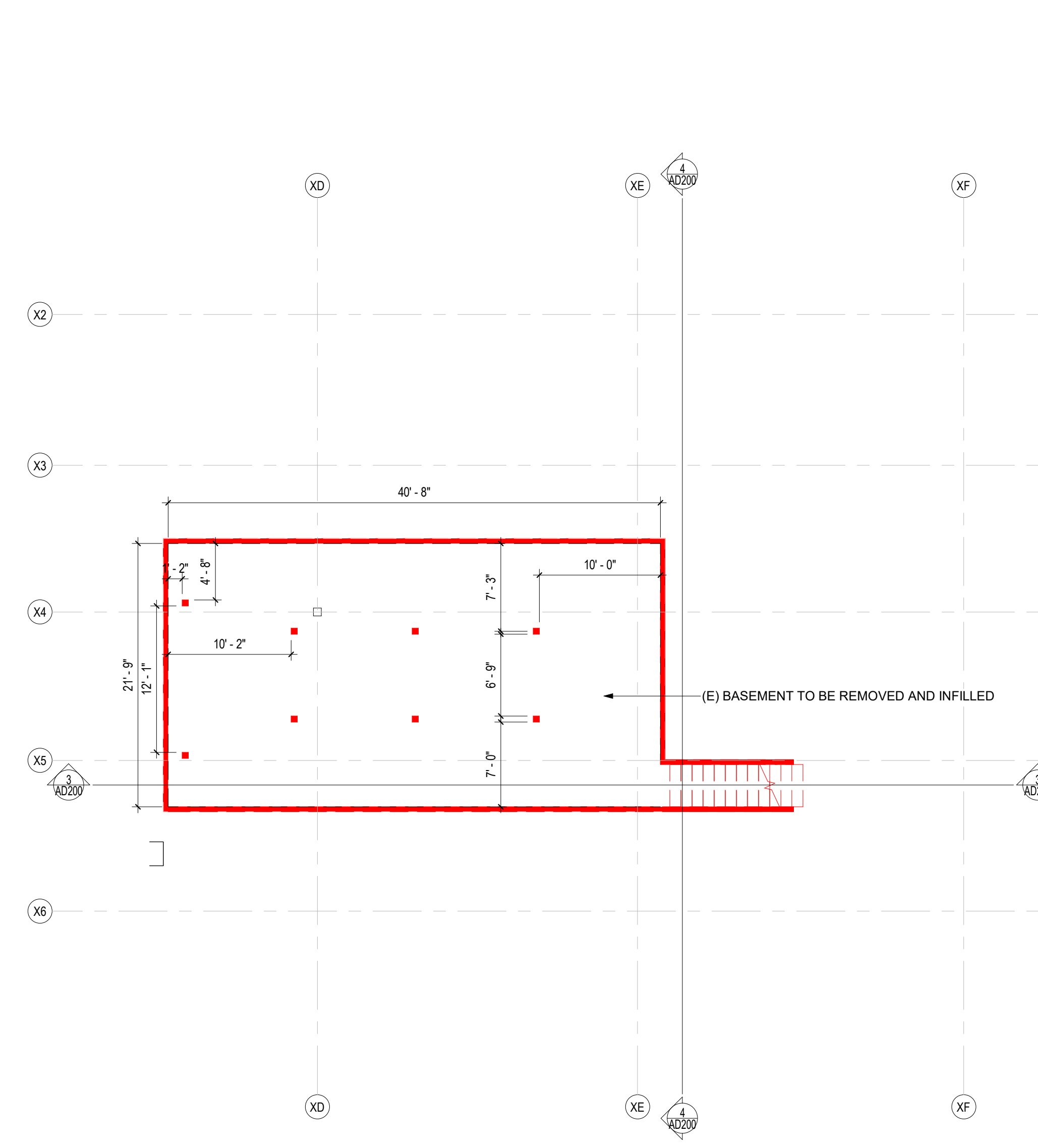
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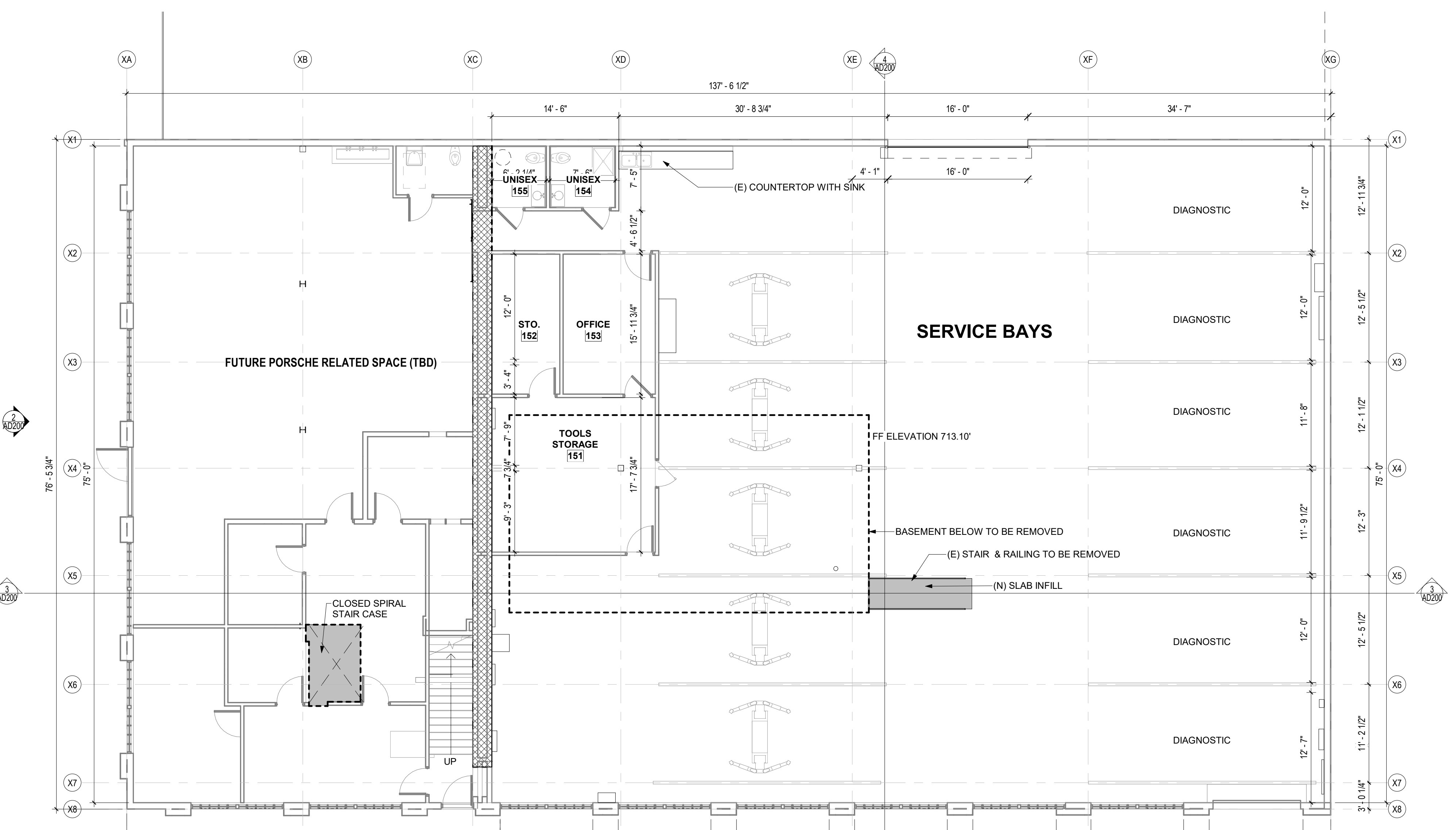
3 (E) BUILDING - ROOF
1/8" = 1'-0"



2 (E) BUILDING - LEVEL-2
1/8" = 1'-0"



4 (E) BUILDING - BASEMENT
1/8" = 1'-0"

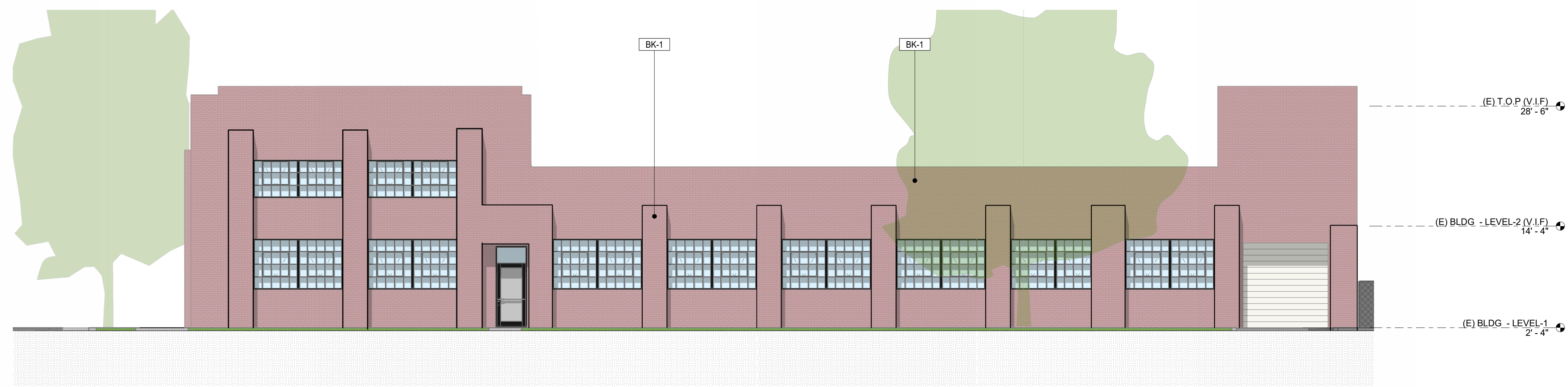


1 (E) BUILDING - LEVEL 1
1/8" = 1'-0"

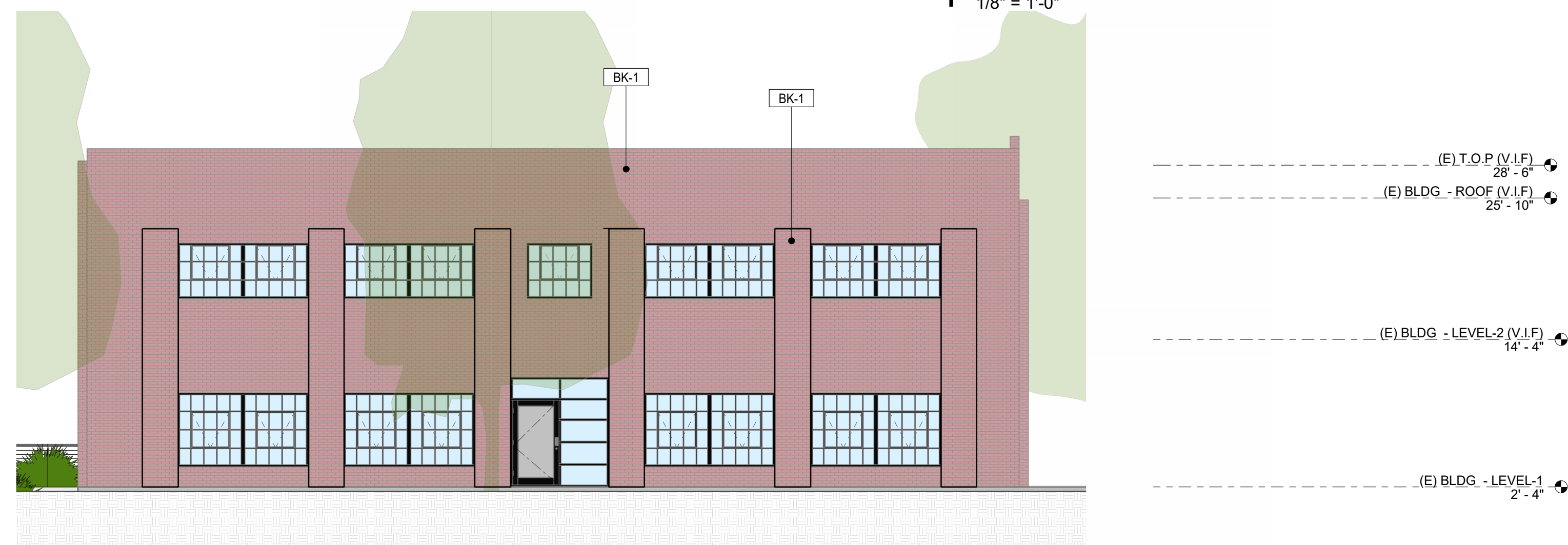
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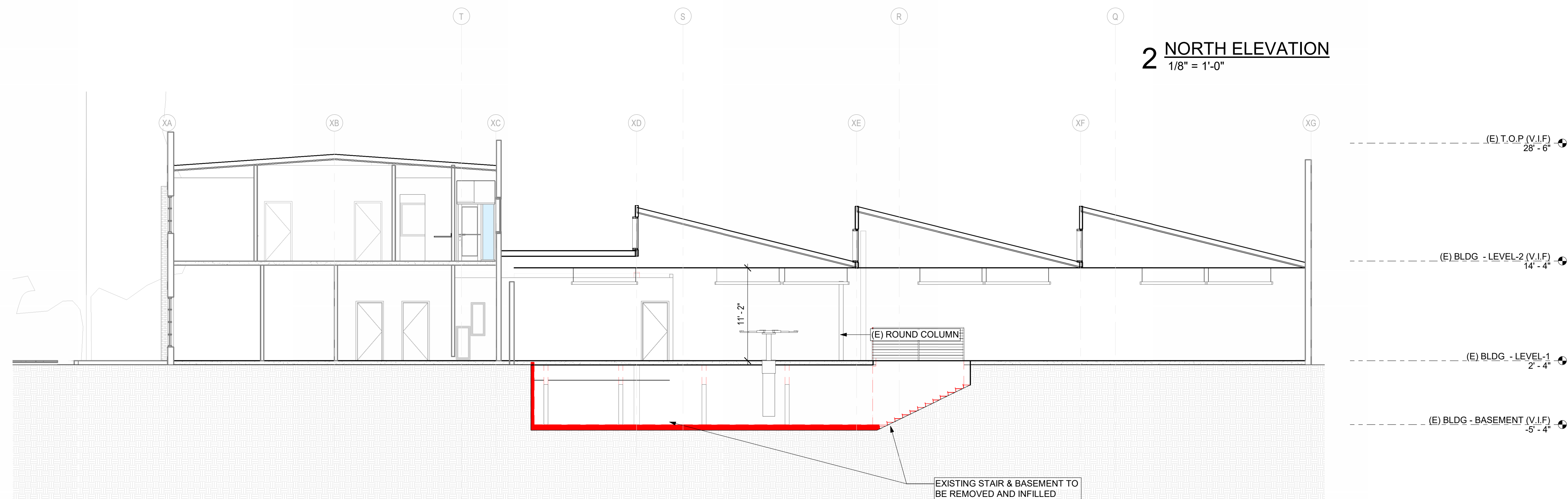
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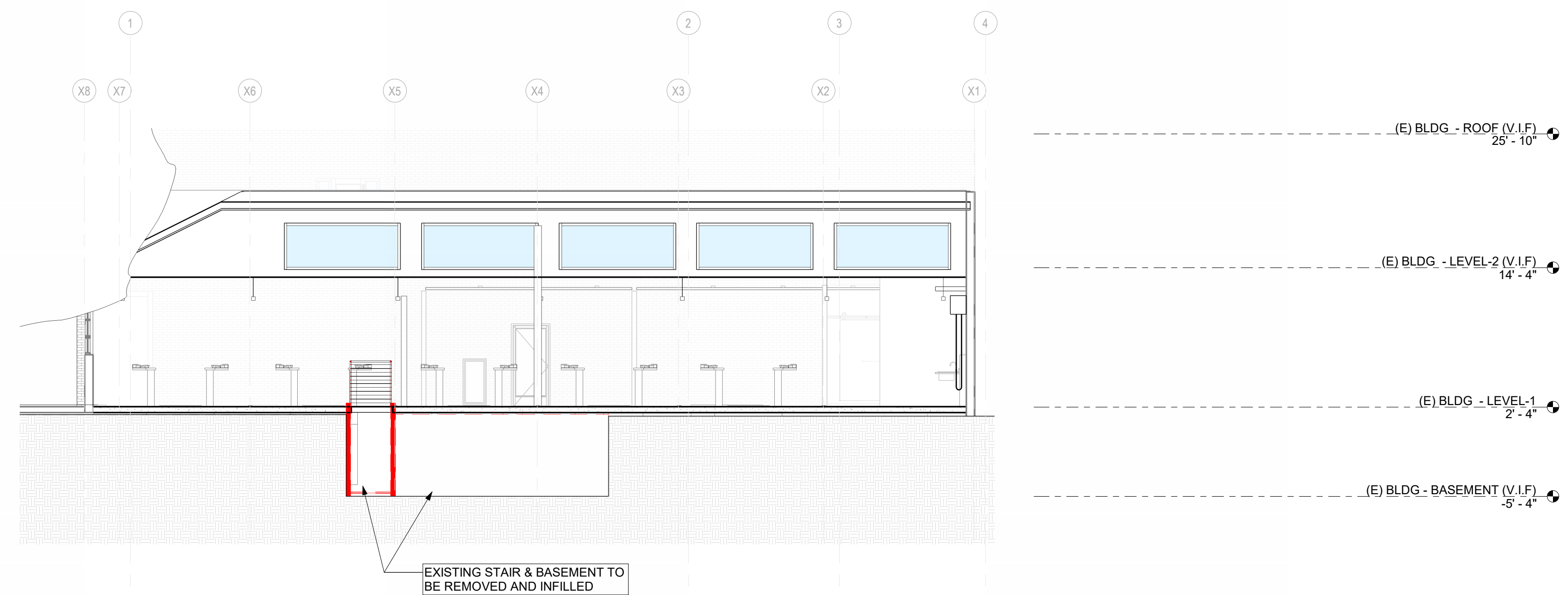
1 WEST ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION
1/8" = 1'-0"



3 SECTION 1 - EXISTING BUILDING
1/8" = 1'-0"



4 SECTION 2 - EXISTING BUILDING
1/8" = 1'-0"

EXTERIOR FINISH LEGEND:

- CP-1**
ALUMINUM COMPOSITE METAL PANELS
COLOR: RAL 9006 WHITE ALUMINUM
FINISH: NON-REFLECTIVE
- CP-2**
PERFORATED METAL PANELS
COLOR: RAL 7021 BLACK GREY
FINISH: NON-REFLECTIVE
- MP-1**
TRAPEZIUM METAL PANEL SYSTEM
COLOR: RAL 7021 BLACK GREY
FINISH: NON-REFLECTIVE
- EP-1**
EXTERIOR PAINT
COLOR: MATCH RAL 7021 BLACK GREY
- EIFS-1**
EXTERIOR INSULATION FINISHING SYSTEM
PAINTED EP-1
- SF-1**
EXTERIOR STOREFRONT
FRONT LOADED BUTT-JOINTS
COLOR: LOW-E CLEAR GLASS
- GL-1**
GLASS
COLOR: LOW-E CLEAR GLASS
- O-G**
OBSCURE GLASS
DARK GRAY ANODIZED FRAME
- BK-1**
EXISTING EXPOSED BRICK MASONRY

CONSULTANTS

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Designer: Aaron Sevilla
E: aaron@asladesign.com, P: 949-375-6481

PROJECT NAME

RUSNAK PORSCHE PASADENA

PROJECT DESCRIPTION

NEW PORSCHE DEALERSHIP

PROJECT ADDRESS

2915 EAST COLORADO BOULEVARD PASADENA, CA 91107

OWNER INFORMATION

RUSNAK AUTO GROUP
267-337 W. COLORADO BLVD. PASADENA, CA 91105
CONTACT: JOHN BEED
JBEEED@RUSNAKGROUP.COM



GOREE PROJECT NUMBER

2019-0011

STAMP / SIGNATURE

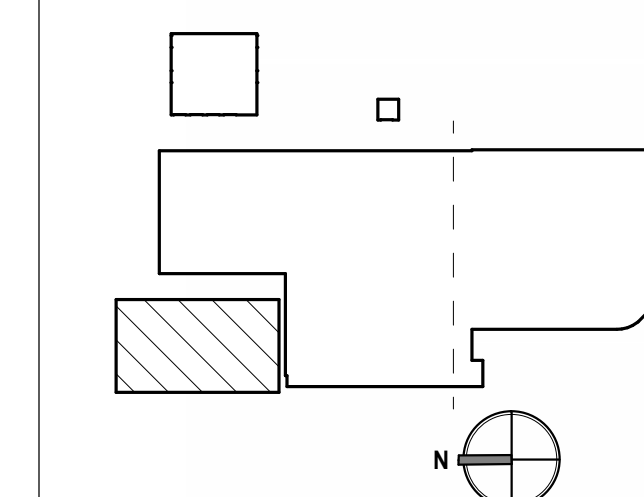
ISSUE DATE

05/28/24

ISSUE HISTORY

DATE	MARK	DESCRIPTION
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KEY PLAN

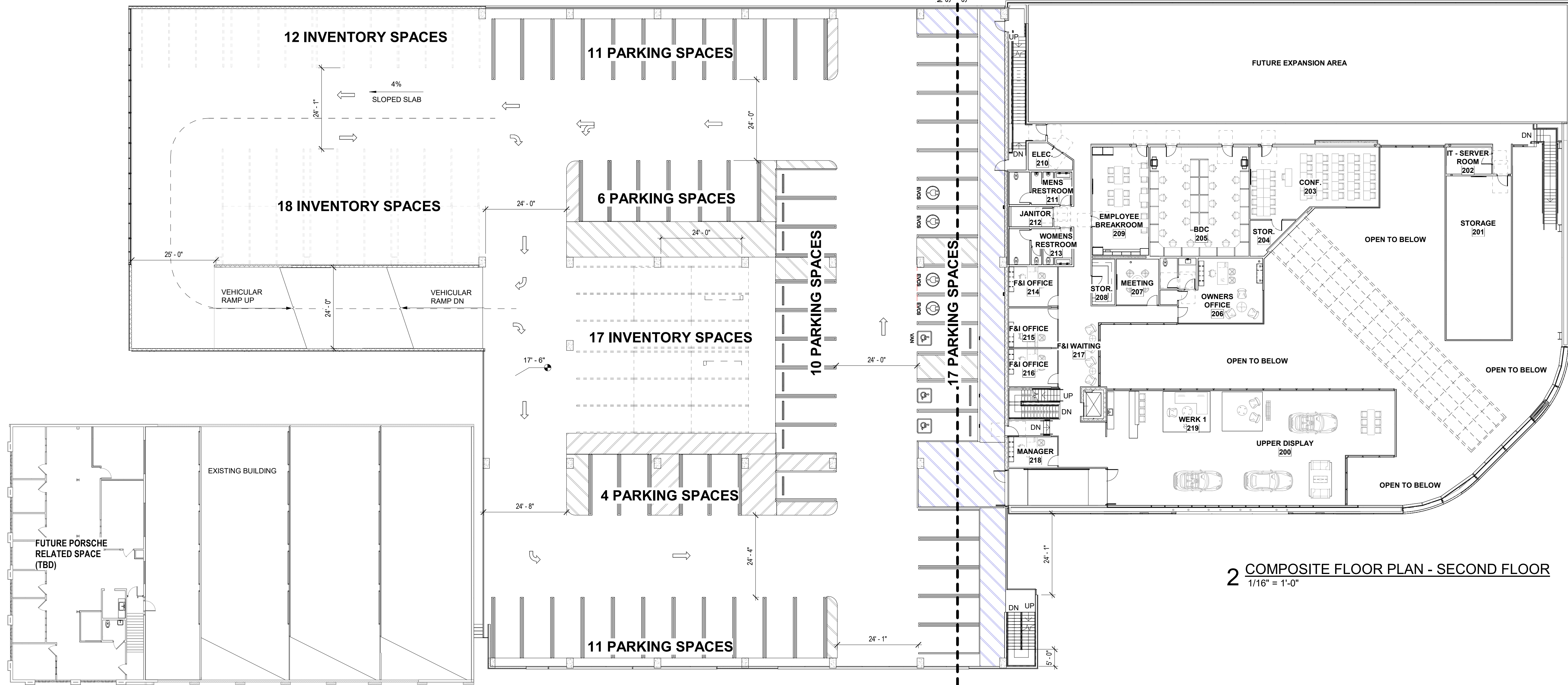
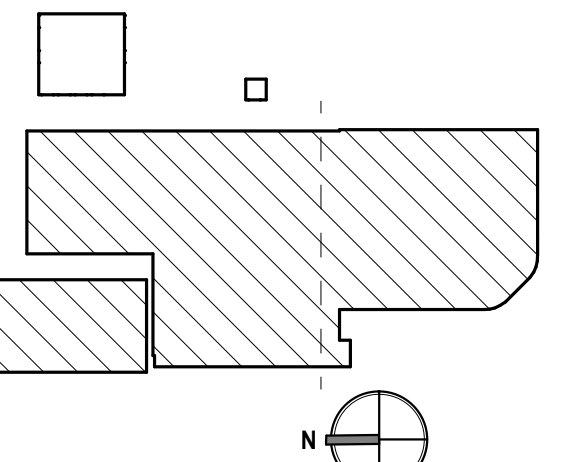


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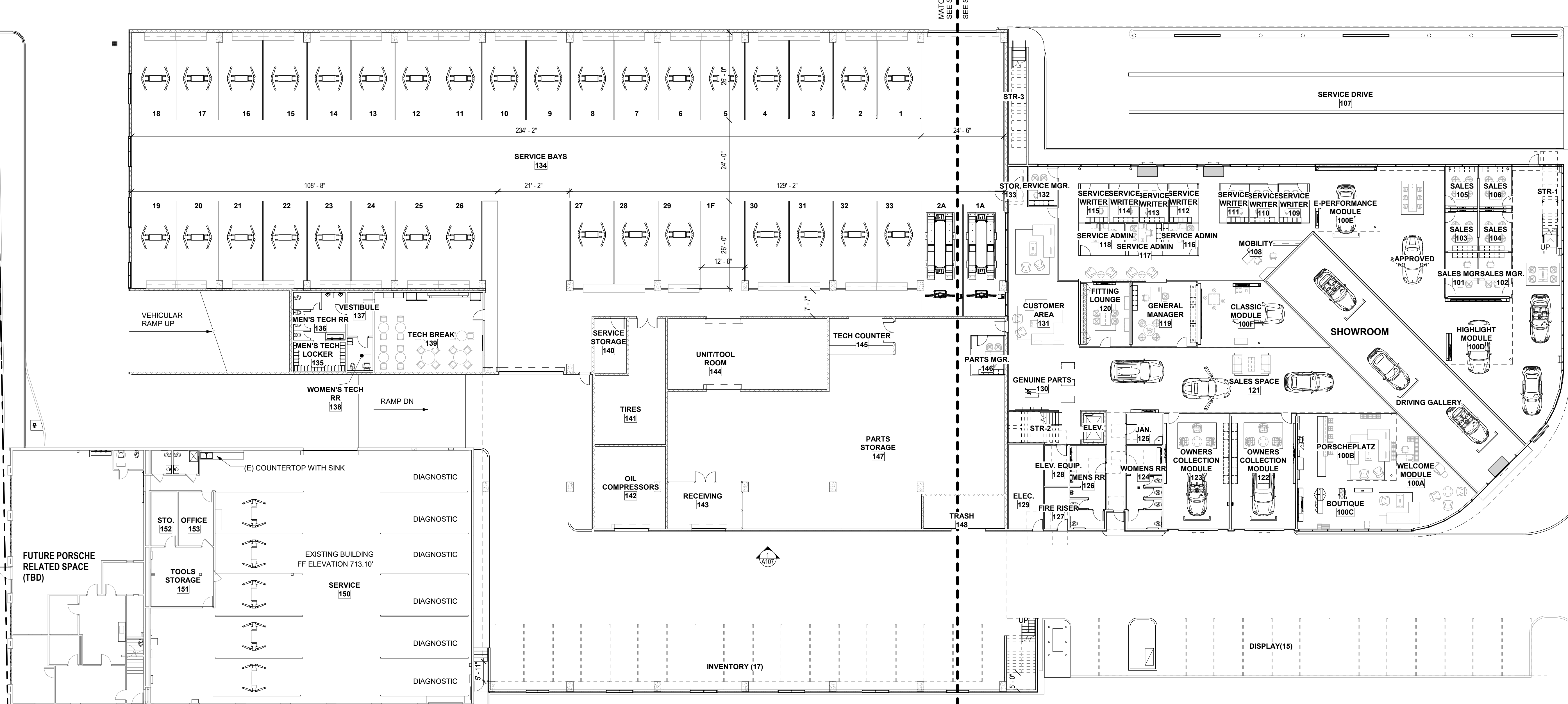
EXISTING BUILDING ELEVATIONS & SECTIONS

SHEET NUMBER

AD200



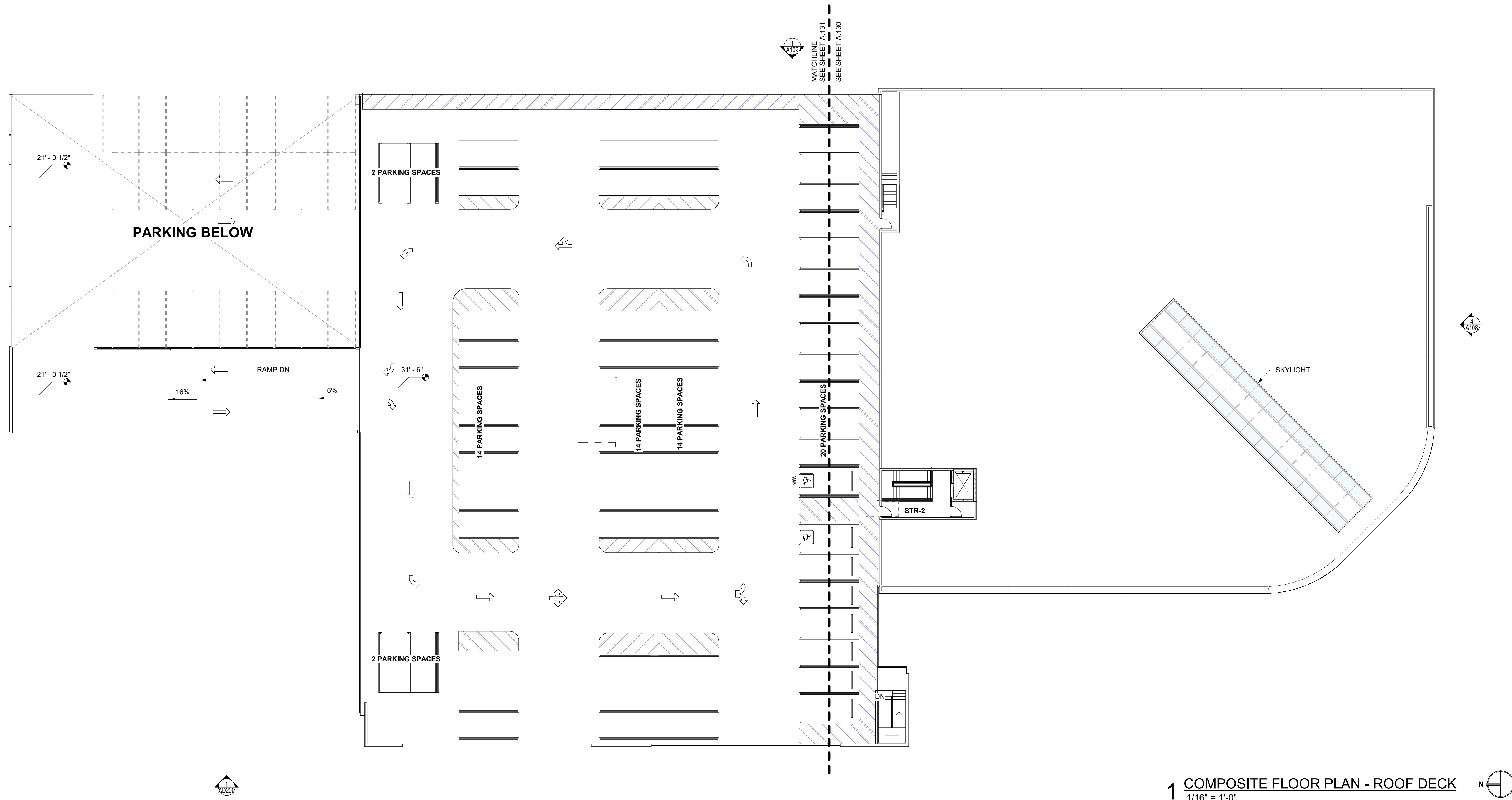
2 COMPOSITE FLOOR PLAN - SECOND FLOOR
1/16" = 1'-0"



1 COMPOSITE FLOOR PLAN - FIRST FLOOR
1/16" = 1'-0"

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1 COMPOSITE FLOOR PLAN - ROOF DECK
 1/16" = 1'-0"

PROJECT NAME
RUSNAK PORSCHE PASADENA

PROJECT DESCRIPTION
NEW PORSCHE DEALERSHIP

PROJECT ADDRESS
2915 EAST COLORADO BOULEVARD PASADENA, CA 91107

OWNER INFORMATION
**RUSNAK AUTO GROUP
 267-337 W. COLORADO BLVD.
 PASADENA, CA 91105
 CONTACT: JOHN BEED
 JBEEED@RUSNAKGROUP.COM**

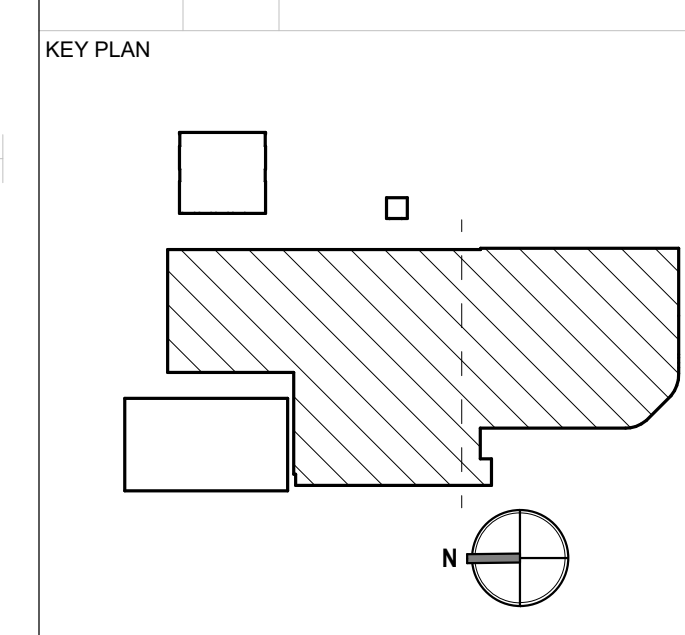


GOREE PROJECT NUMBER
2019-0011

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ISSUE DATE
05/28/24

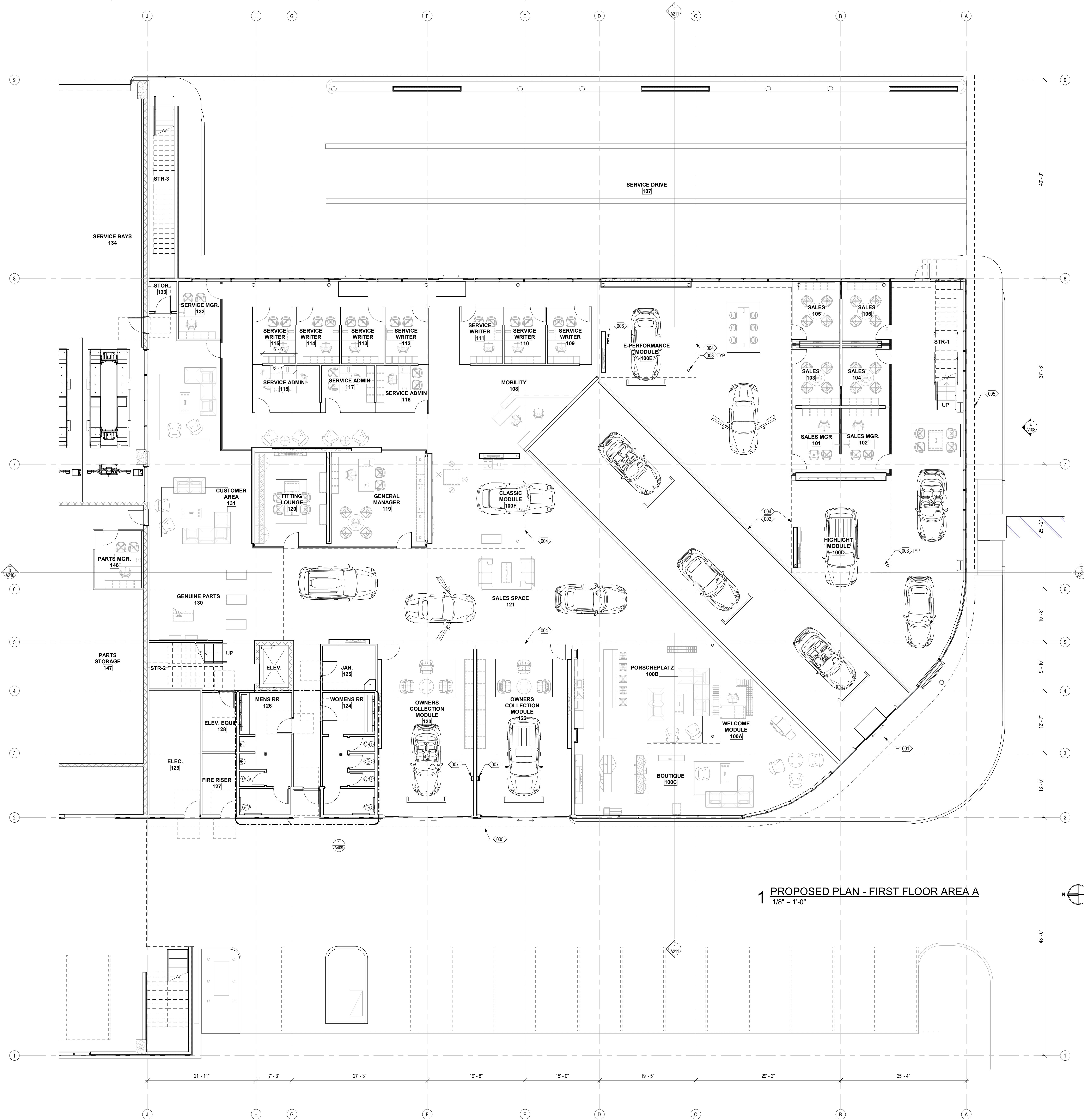
ISSUE HISTORY		
DATE	MARK	DESCRIPTION
05/28/2024	1	PLANNING RESUBMITTAL



SHEET NAME
PROPOSED OVERALL FLOOR PLANS

SHEET NUMBER
A111

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1 PROPOSED PLAN - FIRST FLOOR AREA A
1/8" = 1'-0"

GENERAL PLAN NOTES:

1. INTERIOR PARTITIONS TO BE TYPE 'A1'. UNLESS NOTED OTHERWISE.
2. THE WORK SHALL CONFORM TO REQUIREMENTS OF APPLICABLE LOCAL, STATE, AND FEDERAL BUILDING CODES AND AGENCIES HAVING JURISDICTION OVER THE VARIOUS PHASES OF THE WORK.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO STARTING WORK AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES.
4. PROVIDE FULL HEIGHT 5/8" CEMENT BACKER BOARD AT TOILET AND JANITOR ROOMS, AND AT WALLS TO RECEIVE TILE.
5. PROVIDE AND INSTALL SOUND DAMPENING INSULATION AT ALL PERIMETER METAL STUD WALLS OF RESTROOMS AND MECHANICAL ROOMS. EXTEND PARTITION WALLS TO UNDERSIDE OF DECK.
6. REFER TO NOTED FLOOR PLANS AND CODE ANALYSIS FOR FIRE-RATED WALLS. PROVIDE SOLID BACKING FOR ALL FIRE-RATED SHUTTERS IN WALL CAVITIES.
7. PROVIDE AND INSTALL THERMAL BATT INSULATION AT INTERIOR METAL STUD PARTITION WALLS ADJOINING AIR CONDITIONED AREAS WITH NON-AIR-CONDITIONED AREAS.
8. REFER TO ACCESSIBILITY STANDARDS SHEETS FOR ACCESSIBILITY REQUIREMENTS. THE WORK SHALL CONFORM TO LOCAL, STATE, AND FEDERAL ACCESSIBILITY REQUIREMENTS.
9. ACCESSIBLE RESTROOMS SHALL CONFORM TO LOCAL, STATE AND FEDERAL ACCESSIBILITY REQUIREMENTS.
10. CONTRACTOR SHALL PROVIDE BLOCKING WHERE REQUIRED FOR TOILET ACCESSORIES.
11. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER CONNECTIONS OF THE EQUIPMENT. THE CONTRACTOR SHALL COORDINATE W/ OWNER'S VENDORS FOR ITEMS REQUIRING HOOK-UPS.
12. CONTRACTOR SHALL PROVIDE (3) 4'-0" x 8'-0" x 3/4" THICK A.C. GRADE PAINTED PLYWOOD PANEL BOARDS FOR COMMUNICATION AND DATA EQUIPMENT. LOCATION TO BE DETERMINED BY ARCHITECT.
13. GENERAL CONTRACTOR SHALL SECURE AND PAY FOR BUILDING PERMITS, APPLICATIONS FEES, SERVICE FEES, GOVERNMENTAL FEES, LICENSES AND INSPECTIONS NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK.
14. PAINT EXPOSED CONDUIT, PIPING, METAL BUILDING COMPONENTS, ACCESSORIES, DUCTWORK AND PIPING RACEWAY ACCESSORIES AT ROOMS NOTED AS "PAINT EXPOSED STRUCTURE."
15. PAINT VISIBLE CONDUIT, PIPING, BUILDING COMPONENTS, ACCESSORIES, DUCTWORK AND PIPING RACEWAY ACCESSORIES ABOVE RETURN AIR GRILLS WHEN RETURN AIR PLENUM IS DESIGNED.
16. HOLLOW METAL DOORS AND FRAMES SHALL BE PAINTED TO MATCH ADJACENT WALL, BOTH SIDES, UNLESS NOTED OTHERWISE, TYP.
17. PROVIDE CORNER GUARDS AT WALLS INDICATED AND SPECIFIED.
18. DIMENSIONS ARE TO F.O. STUD OR F.O. MASONRY (WHERE APPLIES) UNLESS NOTED OTHERWISE.
19. SEE STRUCTURAL DRAWINGS FOR ALL STUD GAUGE, SPACING, ICC NUMBER CONNECTIONS/BRACKETS TO FLOOR & STRUCTURE ABOVE.
20. ALL GYPSUM BOARD WALL SURFACES TO BE LEVELS FINISH QUALITY. INSTALL WALL BOARD IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS & GYPSUM ASSOCIATION GA-216. APPLICATION & FINISHING OF GYPSUM BOARD.
21. STAINLESS CABINETS & FIRE EXTINGUISHER WITH MIN. SIZE 2A-10BC FOR OFFICES RECEPTION, SHOWROOM, PARTS STORAGE AND SERVICE AREA. FIRE EXTINGUISHER LOCATION TYPES TO BE COORDINATED WITH ARCHITECT, REVIEWED AND CONFIRMED BY THE FIRE PREVENTION INSPECTOR PRIOR TO FRAMING INSPECTION. SEMI RECESSED MOUNTED AT METAL FRAMING WALL AND SURFACE MOUNTED AT CMU WALL, TYPICAL.
22. LOCATION OF EXTERIOR FIRE SPRINKLER HORN/STROBE (COORDINATE WITH ARCHITECT) REVIEW & CONFIRM THE LOCATION WITH FIRE PREVENTION INSPECTOR PRIOR TO INSTALLATION.
23. LOCATION OF FIRE ALARM CONTROL PANEL (COORDINATE WITH ARCHITECT) REVIEW & CONFIRM THE LOCATION WITH FIRE PREVENTION INSPECTOR PRIOR TO INSTALLATION.

FLOOR PLAN KEYNOTES

- 001 ENTRANCE PORTAL
- 002 RACING LINE
- 003 COLUMN PER STRUCTURAL
- 004 FLOOR OVERHANG ABOVE
- 005 SOFFIT ABOVE
- 006 COMMUNICATION WALL WITH SCREEN AND CHARGING DOCK
- 007 EV CHARGING STATION AT OWNER'S COLLECTION
- 008 SKYLIGHT ABOVE

Goree Whitfield
24691 Del Prado Ave
Dana Point, CA 92629
949-234-1950
www.goreewhitfield.com

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PROJECT NAME
RUSNAK PORSCHE PASADENA

PROJECT DESCRIPTION
NEW PORSCHE DEALERSHIP

PROJECT ADDRESS
2915 EAST COLORADO BOULEVARD PASADENA, CA 91107

OWNER INFORMATION
**RUSNAK AUTO GROUP
267-337 W. COLORADO BLVD.
PASADENA, CA 91105
CONTACT: JOHN BEED
JBEED@RUSNAKGROUP.COM**



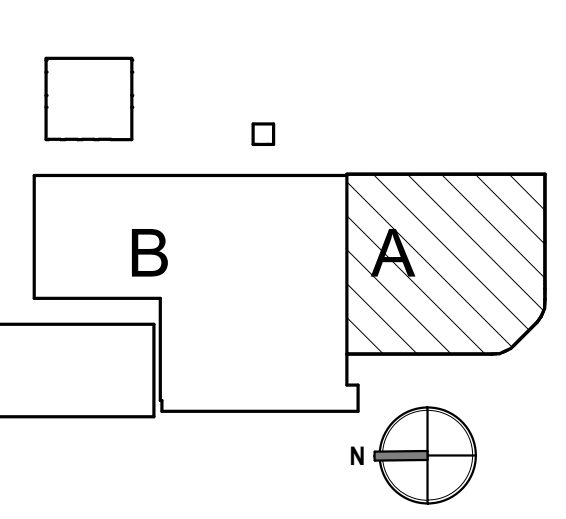
GOREE PROJECT NUMBER
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ISSUE HISTORY		
DATE	MARK	DESCRIPTION
05/28/2024	1	PLANNING RESUBMITTAL

KEY PLAN



SHEET NAME
PROPOSED FIRST FLOOR PLAN - AREA A

SHEET NUMBER

A130

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CONSULTANTS

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LANDSCAPE ARCHITECT

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PROJECT NAME

**RUSNAK PORSCHE
PASADENA**

PROJECT DESCRIPTION

NEW PORSCHE DEALERSHIP

PROJECT ADDRESS

**2915 EAST COLORADO
BOULEVARD
PASADENA, CA 91107**

OWNER INFORMATION

**RUSNAK AUTO GROUP
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PASADENA, CA 91105
CONTACT: JOHN BEED
JBEED@RUSNAKGROUP.COM**



GOREE PROJECT NUMBER

2019-0011

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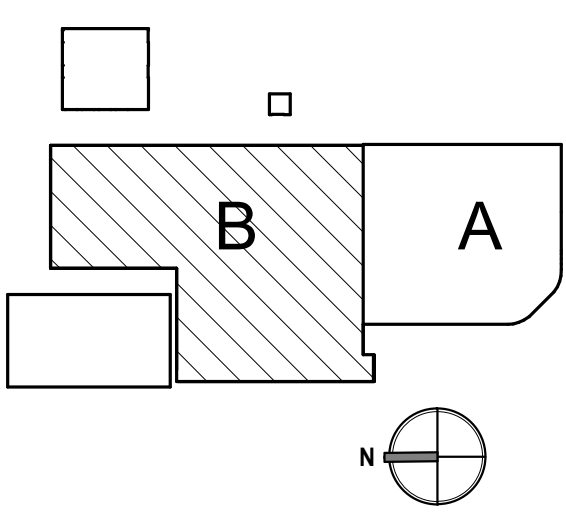
ISSUE DATE

05/28/24

ISSUE HISTORY

DATE	MARK	DESCRIPTION
05/28/2024	1	PLANNING RESUBMITTAL

KEY PLAN



SHEET NAME

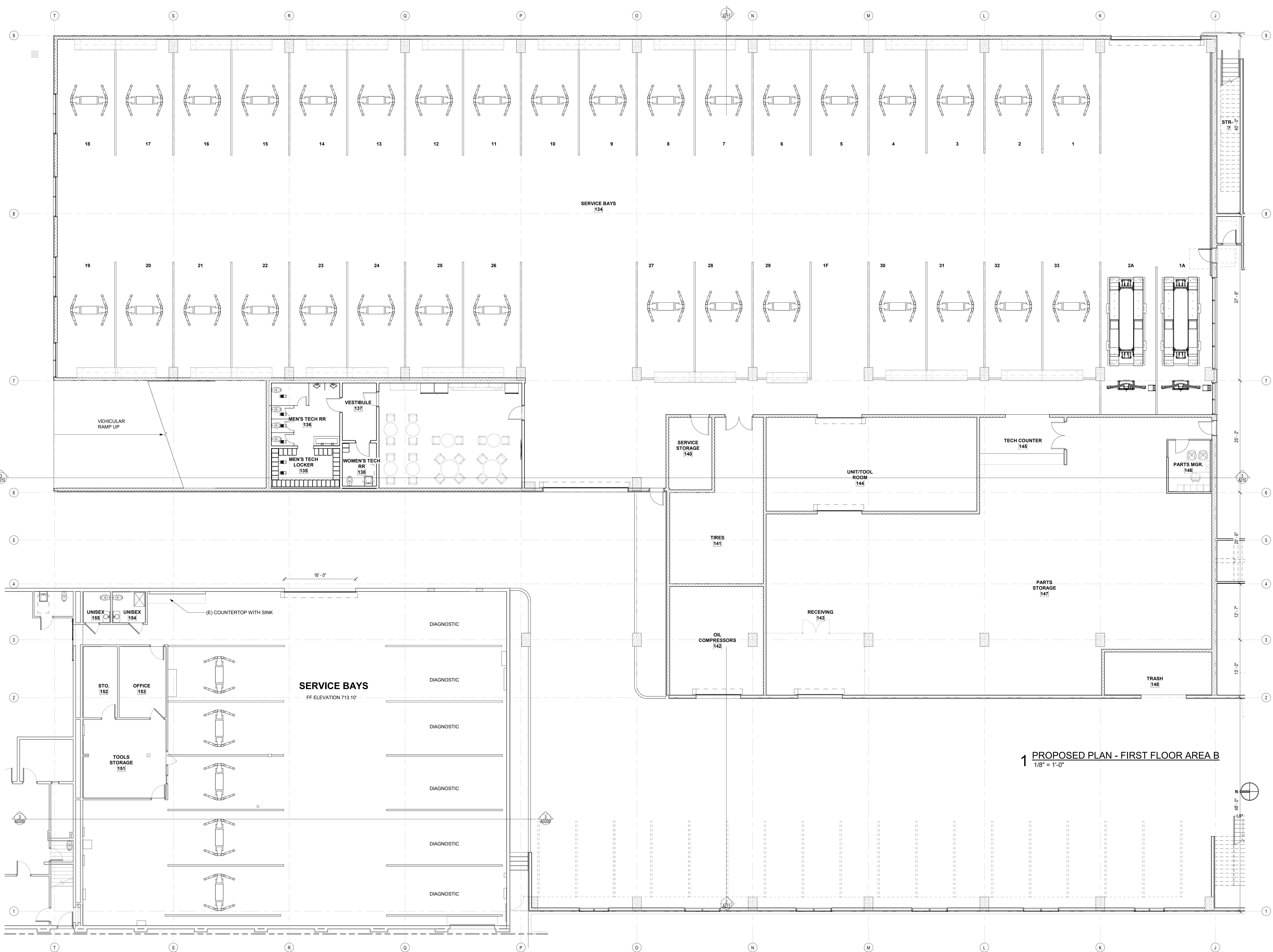
**PROPOSED FIRST FLOOR PLAN
- AREA B**

SHEET NUMBER

A131

FLOOR PLAN KEYNOTES

- 001 ENTRANCE PORTAL
- 002 RACING LINE
- 003 COLUMN PER STRUCTURAL
- 004 FLOOR OVERHANG ABOVE
- 005 SOFFIT ABOVE
- 006 COMMUNICATION WALL WITH SCREEN AND CHARGING DOCK
- 007 EV CHARGING STATION AT OWNER'S COLLECTION
- 008 SKYLIGHT ABOVE



1 PROPOSED PLAN - FIRST FLOOR AREA B
1/8" = 1'-0"

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CONSULTANTS

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LANDSCAPE ARCHITECT

ASLA Landscape Architecture
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Designer: Aaron Sevilla
E:aaron@asladesign.com, P: 949-375-6481

PROJECT NAME

**RUSNAK PORSCHE
PASADENA**

PROJECT DESCRIPTION

NEW PORSCHE DEALERSHIP

PROJECT ADDRESS

**2915 EAST COLORADO
BOULEVARD
PASADENA, CA 91107**

OWNER INFORMATION

**RUSNAK AUTO GROUP
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PASADENA, CA 91105
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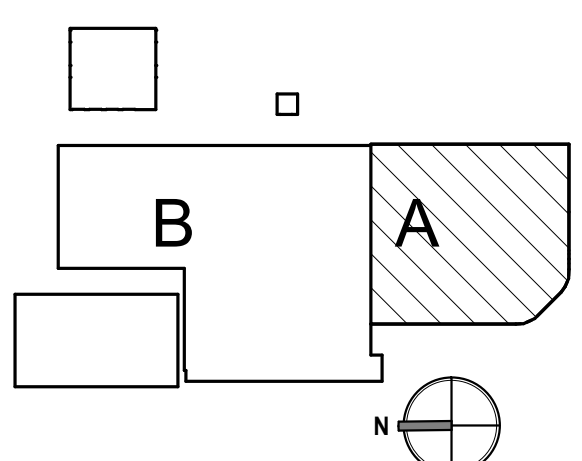
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05/28/2024	1	PLANNING RESUBMITTAL

KEY PLAN

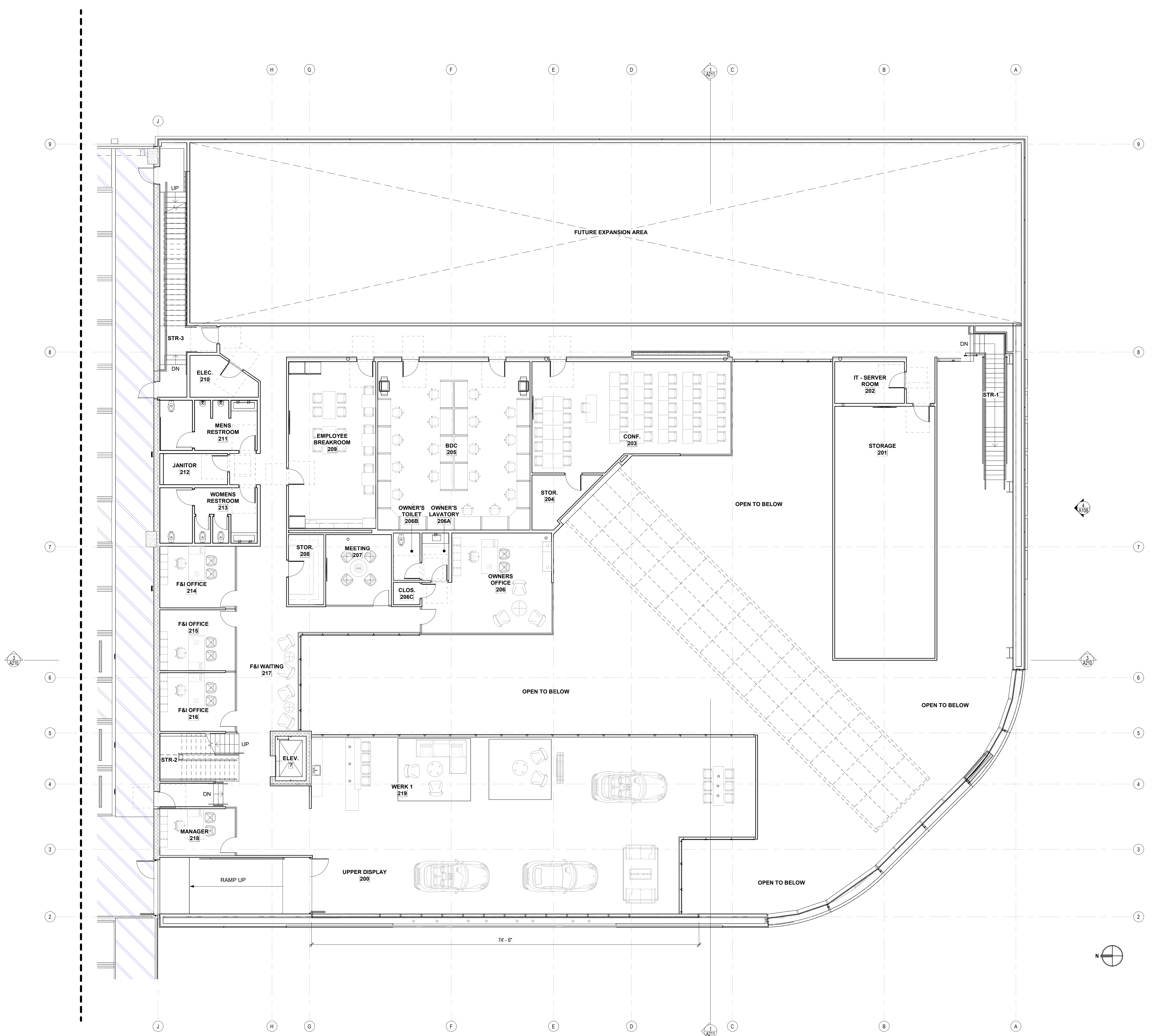


SHEET NAME

**PROPOSED SECOND FLOOR
PLAN - AREA A**

SHEET NUMBER

A132



1 PROPOSED SECOND FLOOR PLAN - AREA A
1/8" = 1'-0"

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695 Town Center Drive, Ste. 110, Costa Mesa, CA 92626
Principal: Aaron M. Albertson
E: AAlbertson@CDRwest.com, O: (949) 610.8997 x 704

LANDSCAPE ARCHITECT
ASLA Landscape Architecture
630 S. El Camino #B4, San Clemente, CA 92672
Designer: Aaron Sevilla
E: aaron@asladesign.com, P: 949-375-6461

PROJECT NAME

**RUSNAK PORSCHE
PASADENA**

PROJECT DESCRIPTION

NEW PORSCHE DEALERSHIP

PROJECT ADDRESS

**2915 EAST COLORADO
BOULEVARD
PASADENA, CA 91107**

OWNER INFORMATION

**RUSNAK AUTO GROUP
267-337 W. COLORADO BLVD.
PASADENA, CA 91105
CONTACT: JOHN BEED
JBEED@RUSNAKGROUP.COM**



GOREE PROJECT NUMBER

2019-0011

STAMP / SIGNATURE

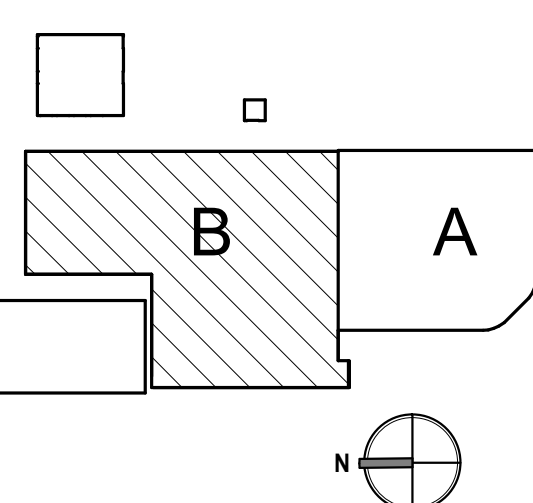
ISSUE DATE

05/28/24

ISSUE HISTORY

DATE	MARK	DESCRIPTION
05/28/2024	1	PLANNING RESUBMITTAL

KEY PLAN

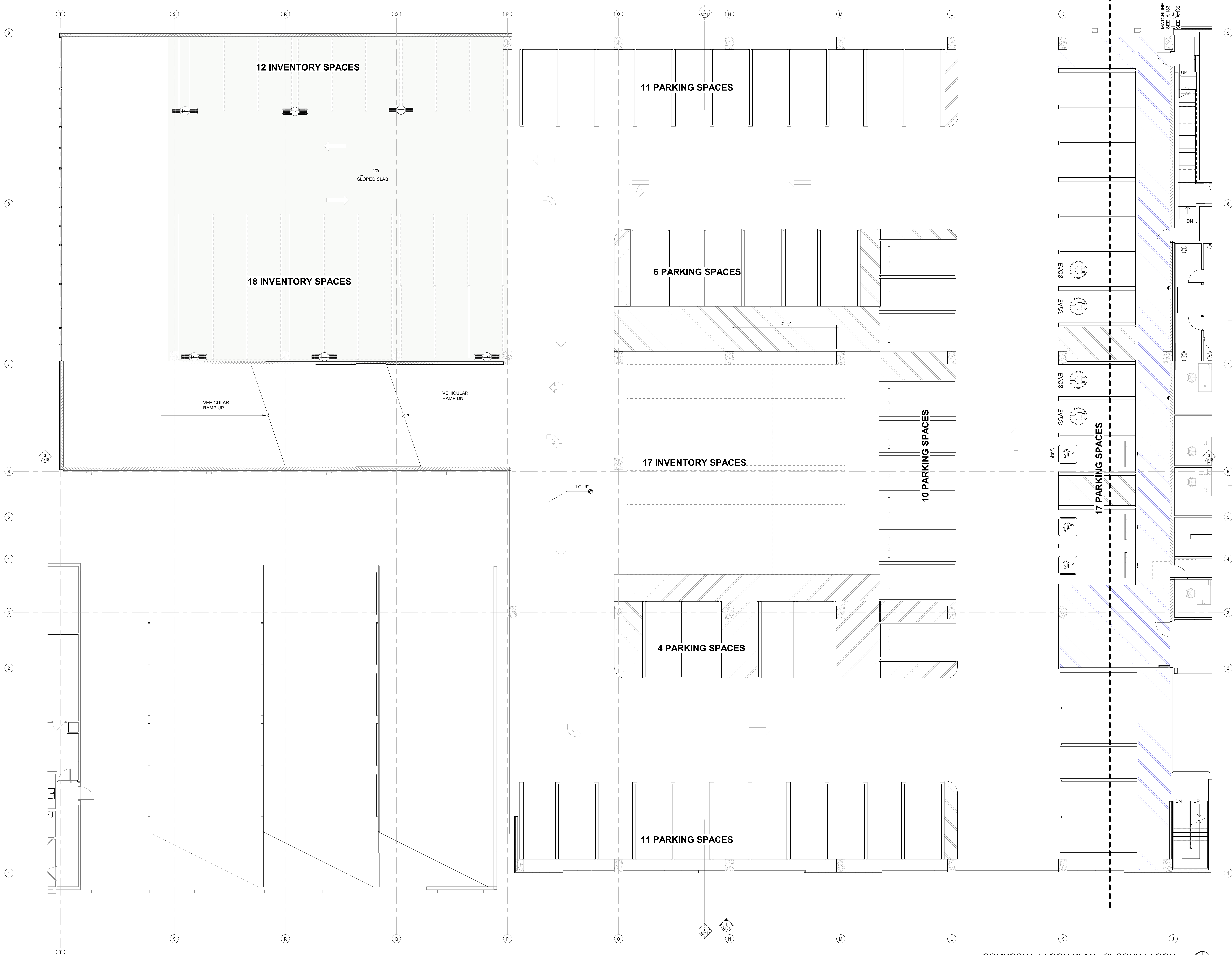


SHEET NAME

**PROPOSED SECOND FLOOR
PLAN - AREA B**

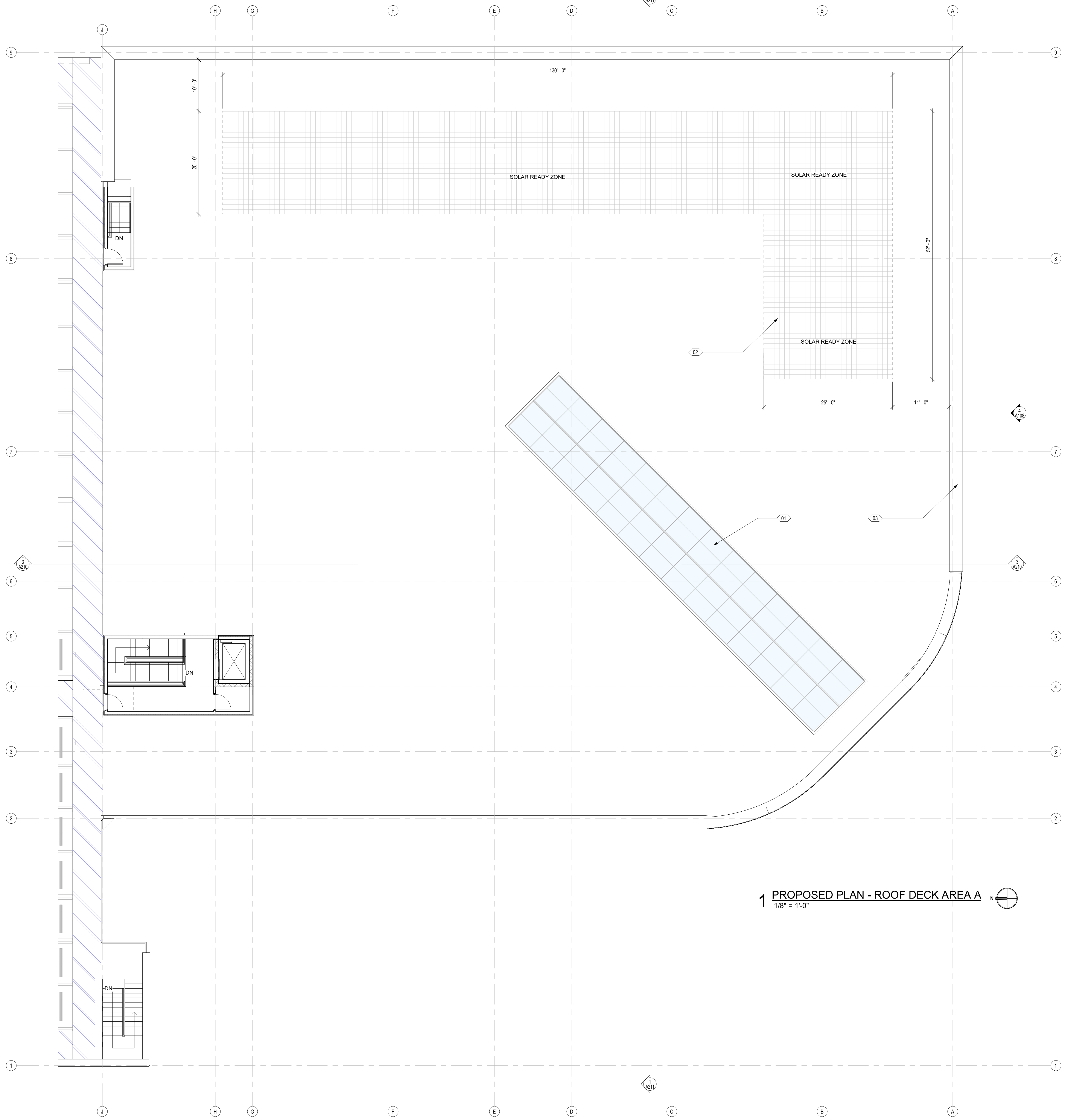
SHEET NUMBER

A133



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2 COMPOSITE FLOOR PLAN - SECOND FLOOR
1/8" = 1'-0"



1 PROPOSED PLAN - ROOF DECK AREA A
1/8" = 1'-0"

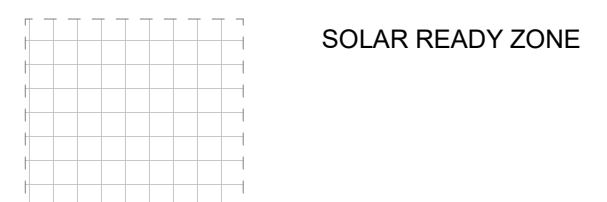
GENERAL PLAN NOTES:

- INTERIOR PARTITIONS TO BE TYPE 'A1', UNLESS NOTED OTHERWISE.
- THE WORK SHALL CONFORM TO REQUIREMENTS OF APPLICABLE LOCAL, STATE, AND FEDERAL BUILDING CODES AND AGENCIES HAVING JURISDICTION OVER THE VARIOUS PHASES OF THE WORK.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO STARTING WORK AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- PROVIDE FULL HEIGHT 5/8" CEMENT BACKER BOARD AT TOILET AND JANITOR ROOMS, AND AT WALLS TO RECEIVE TILE.
- PROVIDE AND INSTALL SOUND DAMPENING INSULATION AT ALL PERIMETER METAL STUD WALLS OF RESTROOMS AND MECHANICAL ROOMS. EXTEND PARTITION WALLS TO UNDERSIDE OF DECK.
- REFER TO NOTED FLOOR PLANS AND CODE ANALYSIS FOR FIRE-RATED WALLS. PROVIDE SOLID BACKING FOR ALL FIRE-RATED SHUTTERS IN WALL CAVITIES.
- PROVIDE AND INSTALL THERMAL BATT INSULATION AT INTERIOR METAL STUD PARTITION WALLS ADJOINING AIR CONDITIONED AREAS WITH NON-AIR-CONDITIONED AREAS.
- REFER TO ACCESSIBILITY STANDARDS SHEETS FOR ACCESSIBILITY REQUIREMENTS. THE WORK SHALL CONFORM TO LOCAL, STATE, AND FEDERAL ACCESSIBILITY REQUIREMENTS.
- ACCESSIBLE RESTROOMS SHALL CONFORM TO LOCAL, STATE AND FEDERAL ACCESSIBILITY REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE BLOCKING WHERE REQUIRED FOR TOILET ACCESSORIES.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER CONNECTIONS OF THE EQUIPMENT. THE CONTRACTOR SHALL COORDINATE W/ OWNERS VENDOR FOR ITEMS REQUIRING HOOK-UPS.
- CONTRACTOR SHALL PROVIDE (3) 4'-0" x 8'-0" x 3/4" THICK A.C. GRADE PAINTED PLYWOOD PANEL BOARDS FOR COMMUNICATION AND DATA EQUIPMENT. LOCATION TO BE DETERMINED BY ARCHITECT.
- GENERAL CONTRACTOR SHALL SECURE AND PAY FOR BUILDING PERMITS, APPLICATIONS FEES, SERVICE FEES, GOVERNMENTAL FEES, LICENSES AND INSPECTIONS NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK.
- PAINT EXPOSED CONDUIT, PIPING, METAL BUILDING COMPONENTS, ACCESSORIES, DUCTWORK AND PIPING RACEWAY ACCESSORIES AT ROOMS NOTED AS "PAINT EXPOSED STRUCTURE."
- PAINT VISIBLE CONDUIT, PIPING, BUILDING COMPONENTS, ACCESSORIES, DUCTWORK AND PIPING RACEWAY ACCESSORIES ABOVE RETURN AIR GRILLS WHEN RETURN AIR PLENUM IS DESIRED.
- HOLLOW METAL DOORS AND FRAMES SHALL BE PAINTED TO MATCH ADJACENT WALL, BOTH SIDES, UNLESS NOTED OTHERWISE, TYP.
- PROVIDE CORNER GUARDS AT WALLS INDICATED AND SPECIFIED.
- DIMENSIONS ARE TO F.O. STUD OR F.O. MASONRY (WHERE APPLIES) UNLESS NOTED OTHERWISE.
- SEE STRUCTURAL DRAWINGS FOR ALL STUD GAUGE, SPACING, ICC NUMBER CONNECTIONS BRACING TO FLOOR & STRUCTURE ABOVE.
- ALL GYPSUM BOARD WALL SURFACES TO BE LEVELS FINISH QUALITY. INSTALL WALL BOARD IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS & GYPSUM ASSOCIATION GA-216. APPLICATION & FINISHING OF GYPSUM BOARD.
- STAINLESS CABINETS & FIRE EXTINGUISHER WITH MIN. SIZE 2A-10BC FOR OFFICES RECEPTION, SHOWROOM, PARTS STORAGE AND SERVICE AREA. FIRE EXTINGUISHER LOCATION TYPES TO BE COORDINATED WITH ARCHITECT, REVIEWED AND CONFIRMED BY THE FIRE PREVENTION INSPECTOR PRIOR TO FRAMING INSPECTION. SEMI RECESSED MOUNTED AT METAL FRAMING WALL AND SURFACE MOUNTED AT CMU WALL, TYPICAL.
- LOCATION OF EXTERIOR FIRE SPRINKLER HORN/STROBE (COORDINATE WITH ARCHITECT) REVIEW AND CONFIRM THE LOCATION WITH FIRE PREVENTION INSPECTOR PRIOR TO INSTALLATION.
- LOCATION OF FIRE ALARM CONTROL PANEL (COORDINATE WITH ARCHITECT) REVIEW & CONFIRM THE LOCATION WITH FIRE PREVENTION INSPECTOR PRIOR TO INSTALLATION.

ROOF PLAN KEYNOTES

- 01 SKYLIGHT.
- 02 SOLAR READY ZONE.
- 03 ACM INTEGRATED PARAPET CAP.

ROOF PLAN LEGEND:



ROOF PLAN LEGEND:

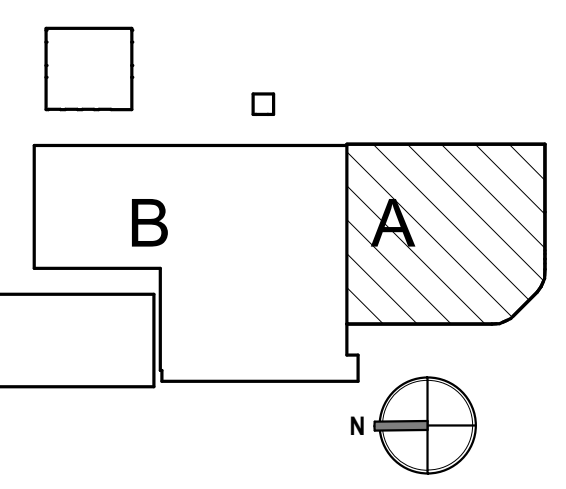
TOTAL ROOF AREA	22,165 SF
SOLAR READY ZONE	X 15% MIN.
TOTAL REQUIRED SOLAR READY AREA	3,325 SF
TOTAL REQUIRED SOLAR READY AREA	3,400 SF

ROOFING SPECIFICATIONS :

MFR: CARLISLE
 TYPE: SINGLE PLY 60 MIL THERMOPLASTIC POLYOLEFIN (TPO)
 TESTING AGENCY: ESR-1463(CLASS A)
 COLOR: WHITE



DATE:	MARK:	DESCRIPTION:
05/28/2024	1	PLANNING RESUBMITTAL



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PROJECT NAME

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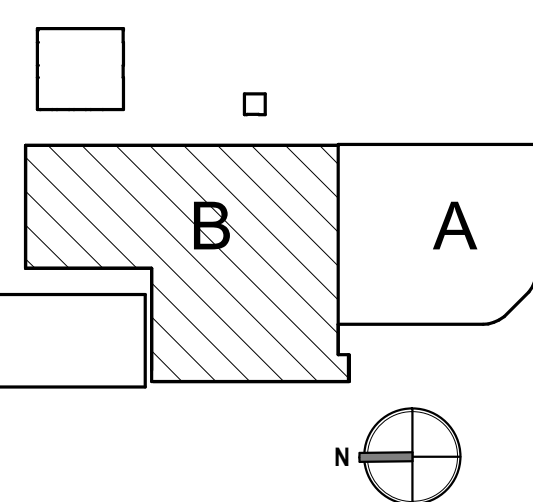
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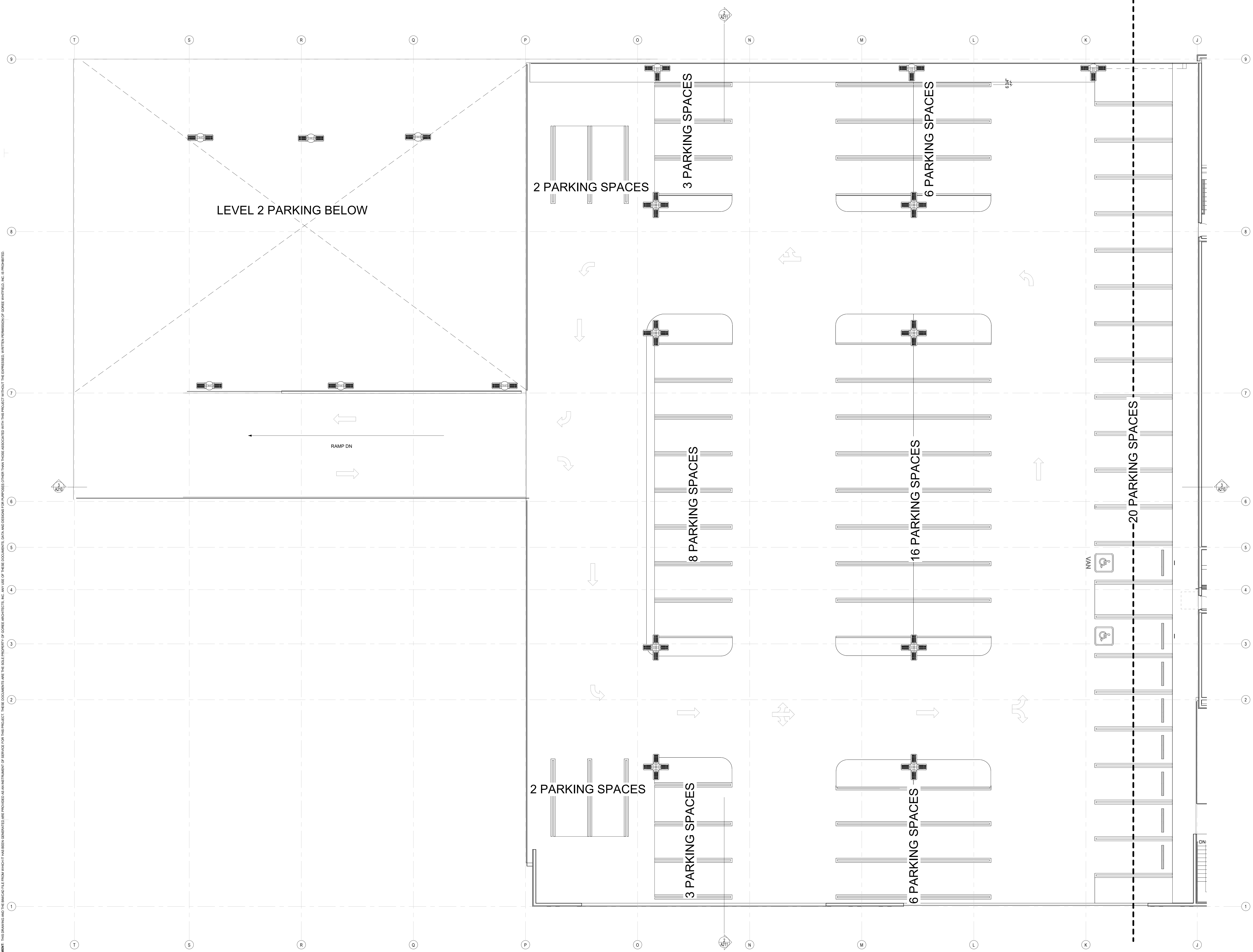
SHEET NAME

**PROPOSED ROOF DECK PLAN -
AREA B**

SHEET NUMBER

A135

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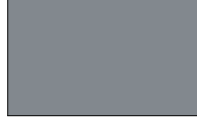

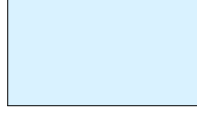
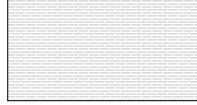


1 PROPOSED ROOF DECK - AREA B
1/8" = 1'-0"

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EXTERIOR FINISH LEGEND:

REF. FINISH SCHEDULE SHEET A601

-  **CP-1**
ALUMINUM COMPOSITE METAL PANELS
COLOR: RAL 9006 WHITE ALUMINUM
FINISH: NON-REFLECTIVE
-  **MP-1**
TRAPEZIUM METAL PANEL SYSTEM
COLOR: RAL 7021 BLACK GREY
FINISH: NON-REFLECTIVE
-  **EP-1**
EXTERIOR PAINT
COLOR: MATCH RAL 7021 BLACK GREY
-  **SF-1**
EXTERIOR STOREFRONT
FRONT LOADED BUTT-JOINTS
COLOR: LOW-E CLEAR GLASS
-  **GL-1**
GLASS
COLOR: LOW-E CLEAR GLASS
-  **O-G**
OBSCURE GLASS
DARK GRAY ANODIZED FRAME

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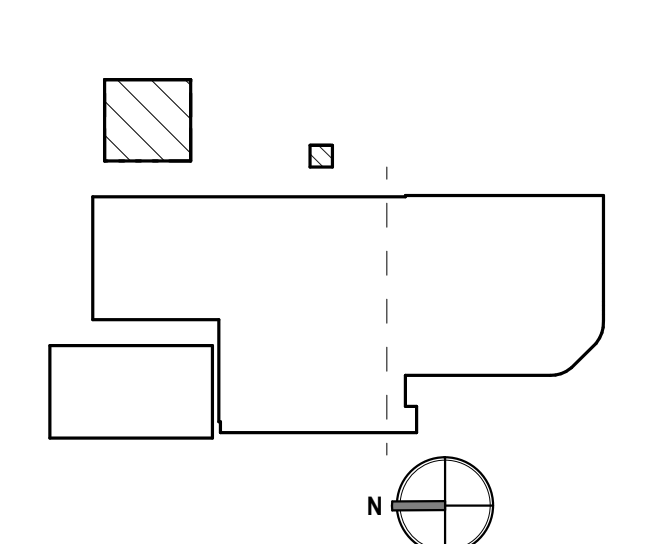
ISSUE DATE

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05/28/2024	1	PLANNING RESUBMITTAL

KEY PLAN

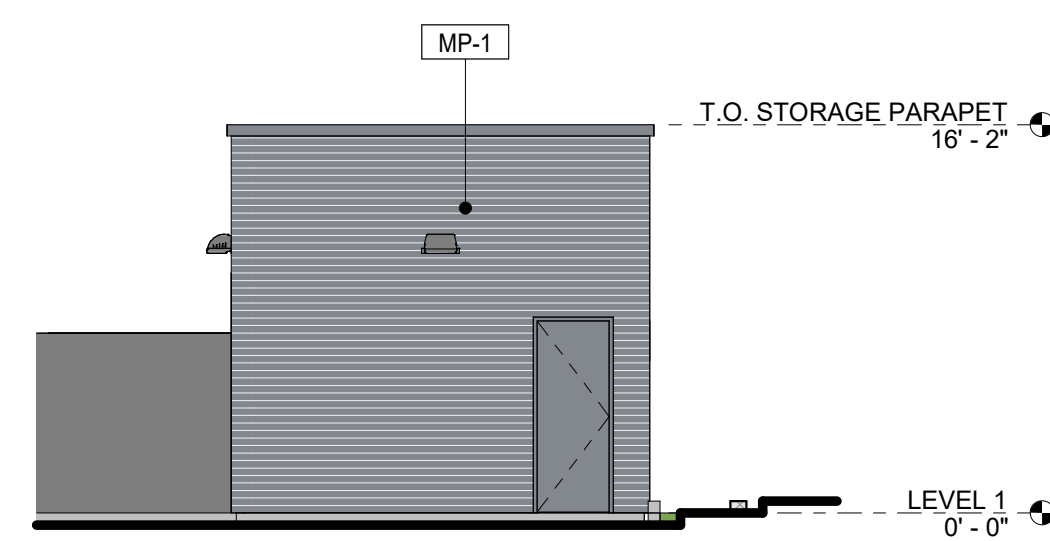


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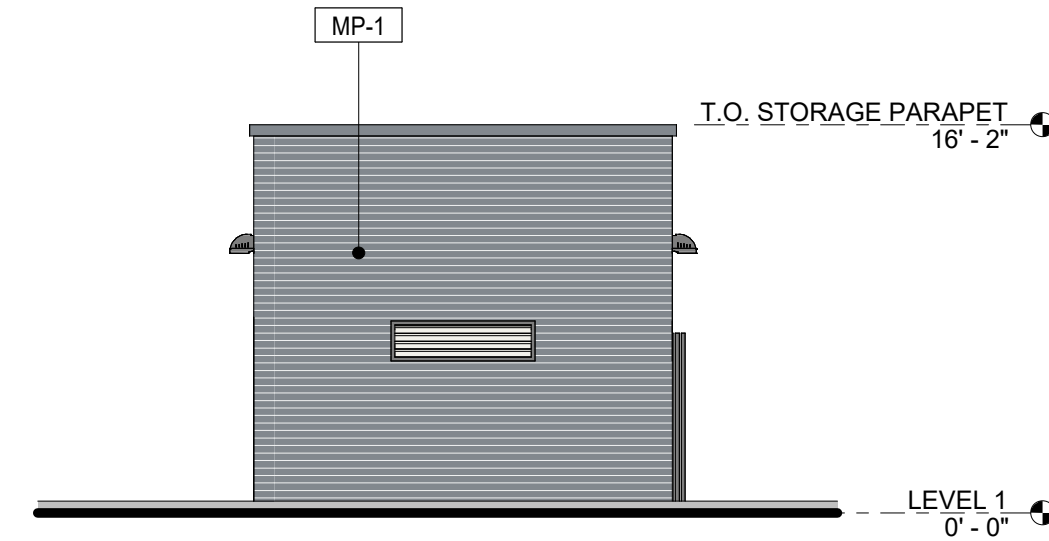
CARWASH AND EV BATTERY STORAGE

SHEET NUMBER

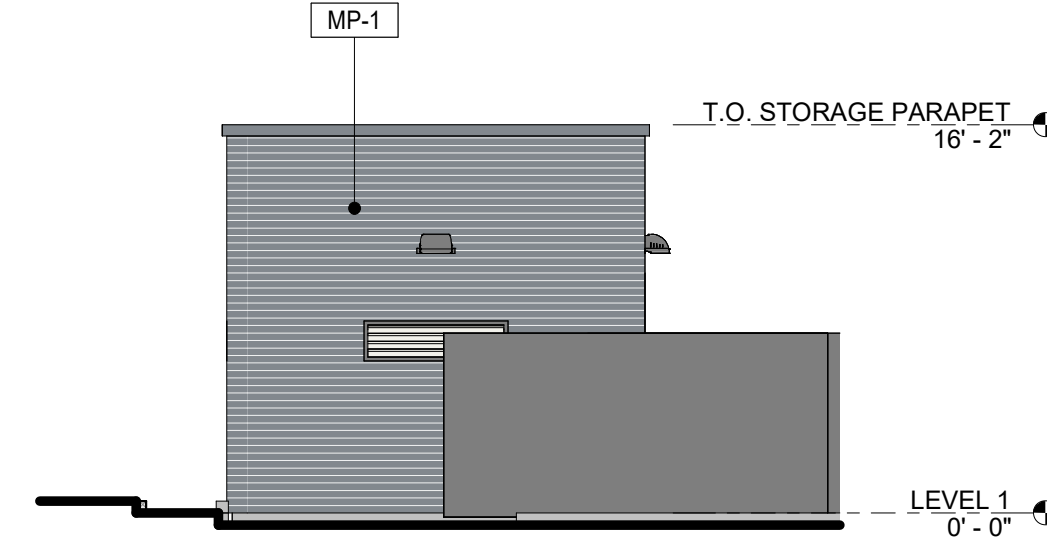
A136



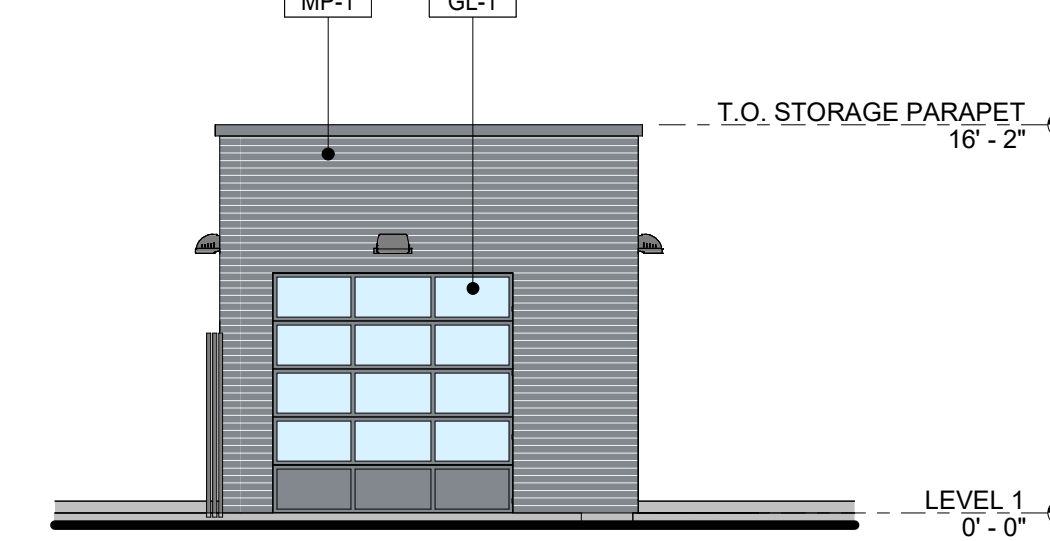
**10 EV BATTERY STORAGE
ELEVATION - SOUTH**
1/8" = 1'-0"



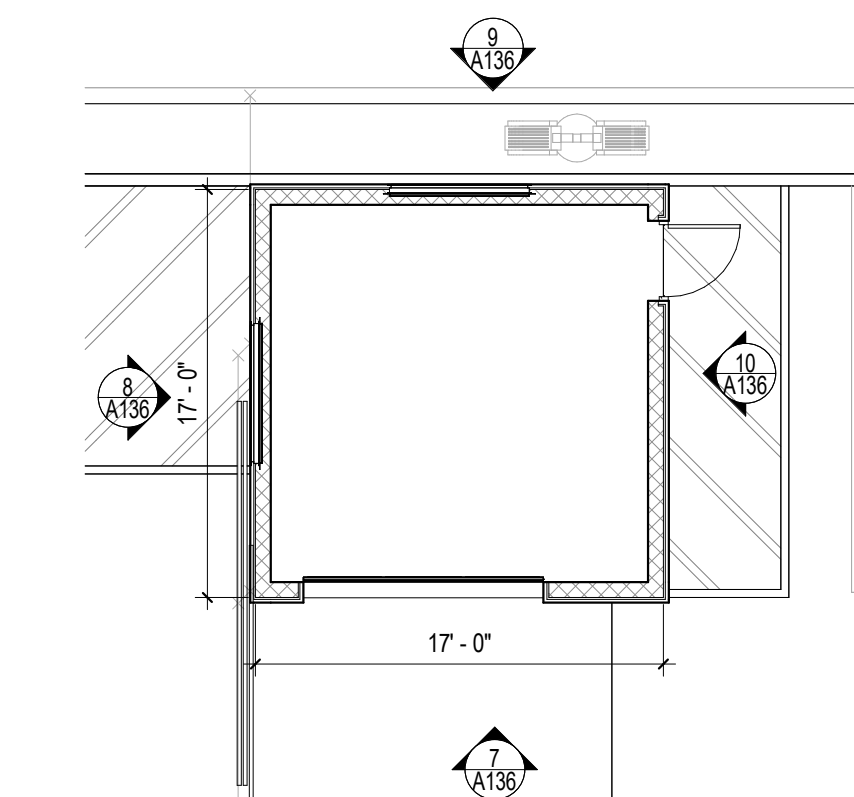
**9 EV BATTERY STORAGE
ELEVATION - EAST**
1/8" = 1'-0"



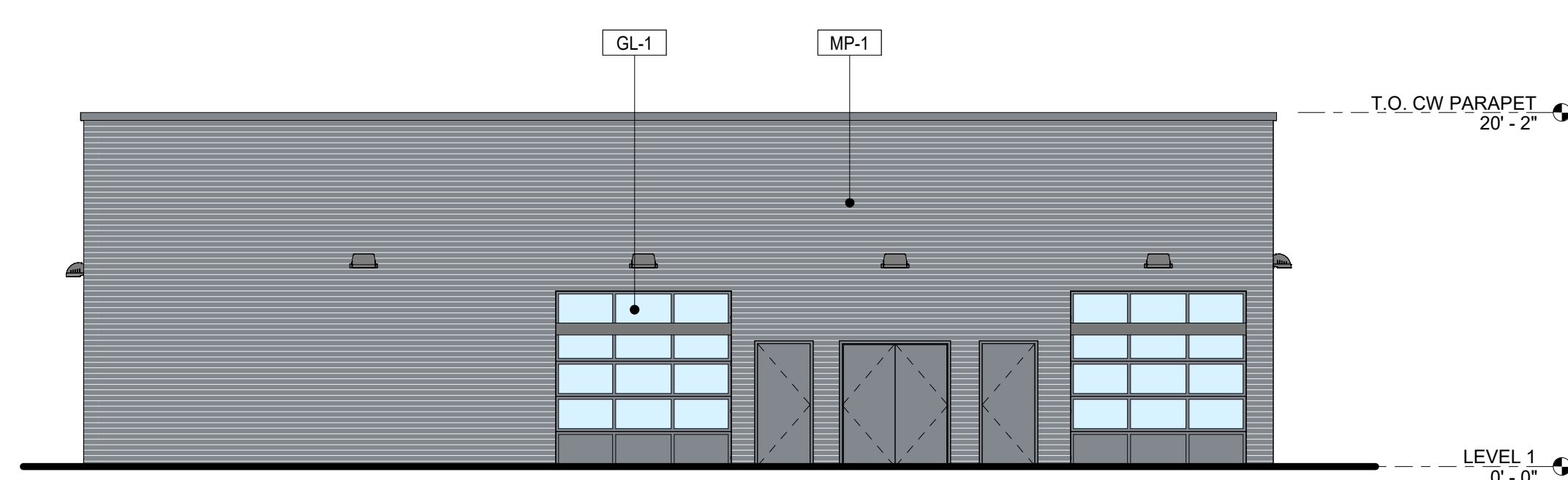
**8 EV BATTERY STORAGE
ELEVATION - NORTH**
1/8" = 1'-0"



**7 EV BATTERY STORAGE
ELEVATION - WEST**
1/8" = 1'-0"



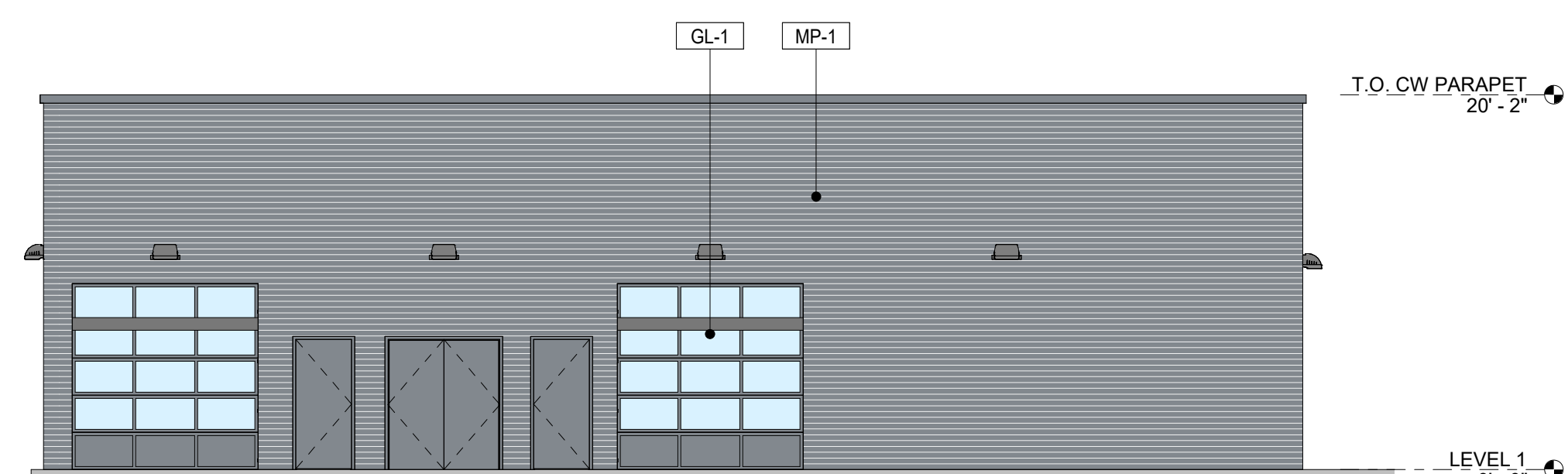
**6 EV BATTERY STORAGE
PLAN**
1/8" = 1'-0"



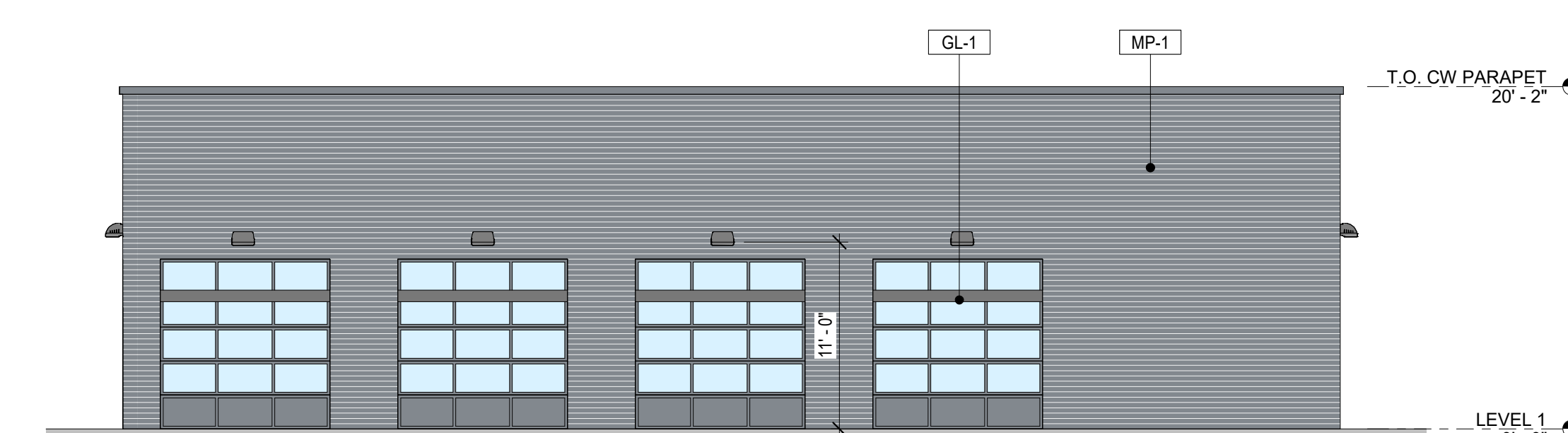
5 CARWASH ELEVATION - SOUTH
1/8" = 1'-0"



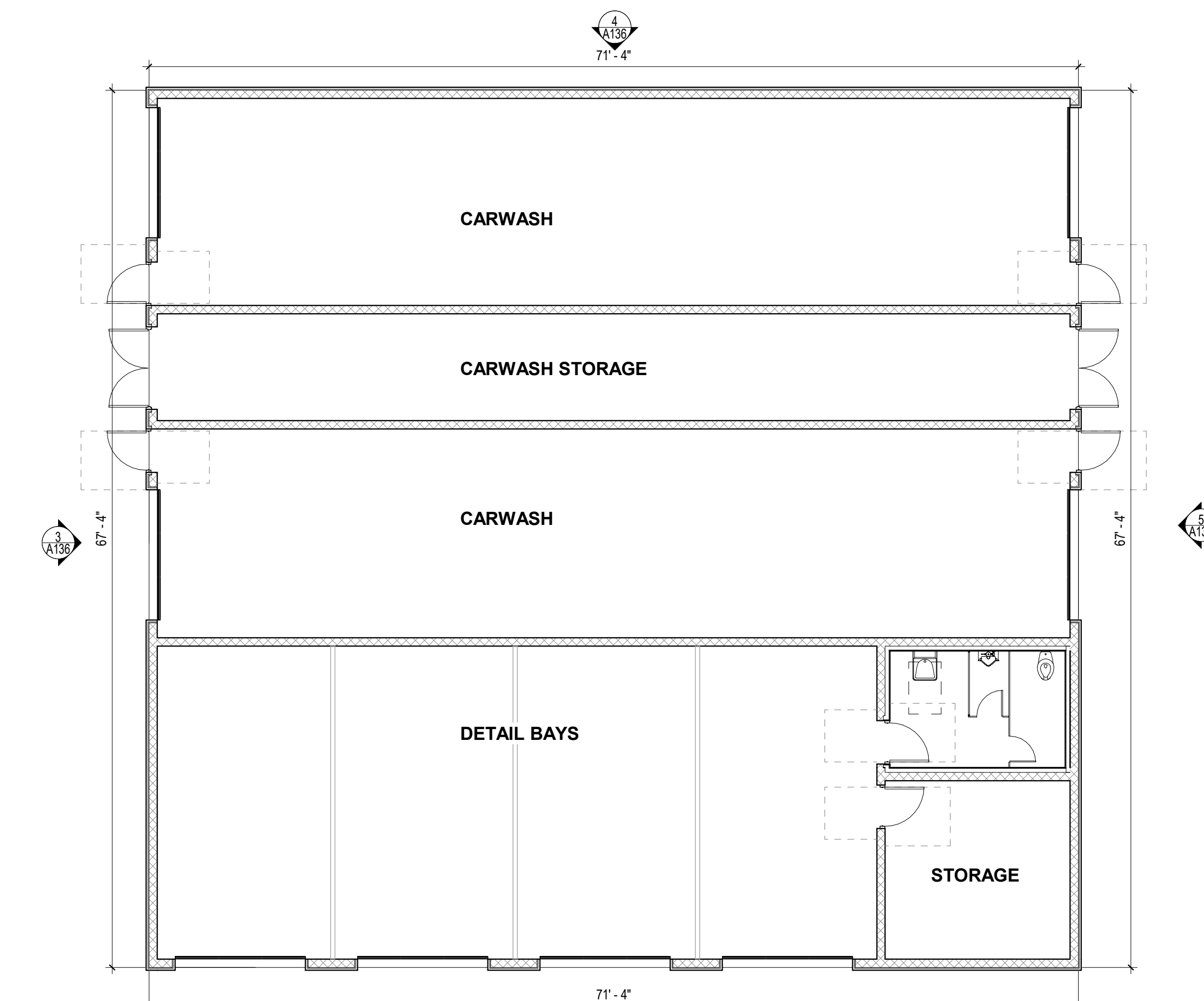
4 CAR WASH ELEVATION - EAST
1/8" = 1'-0"



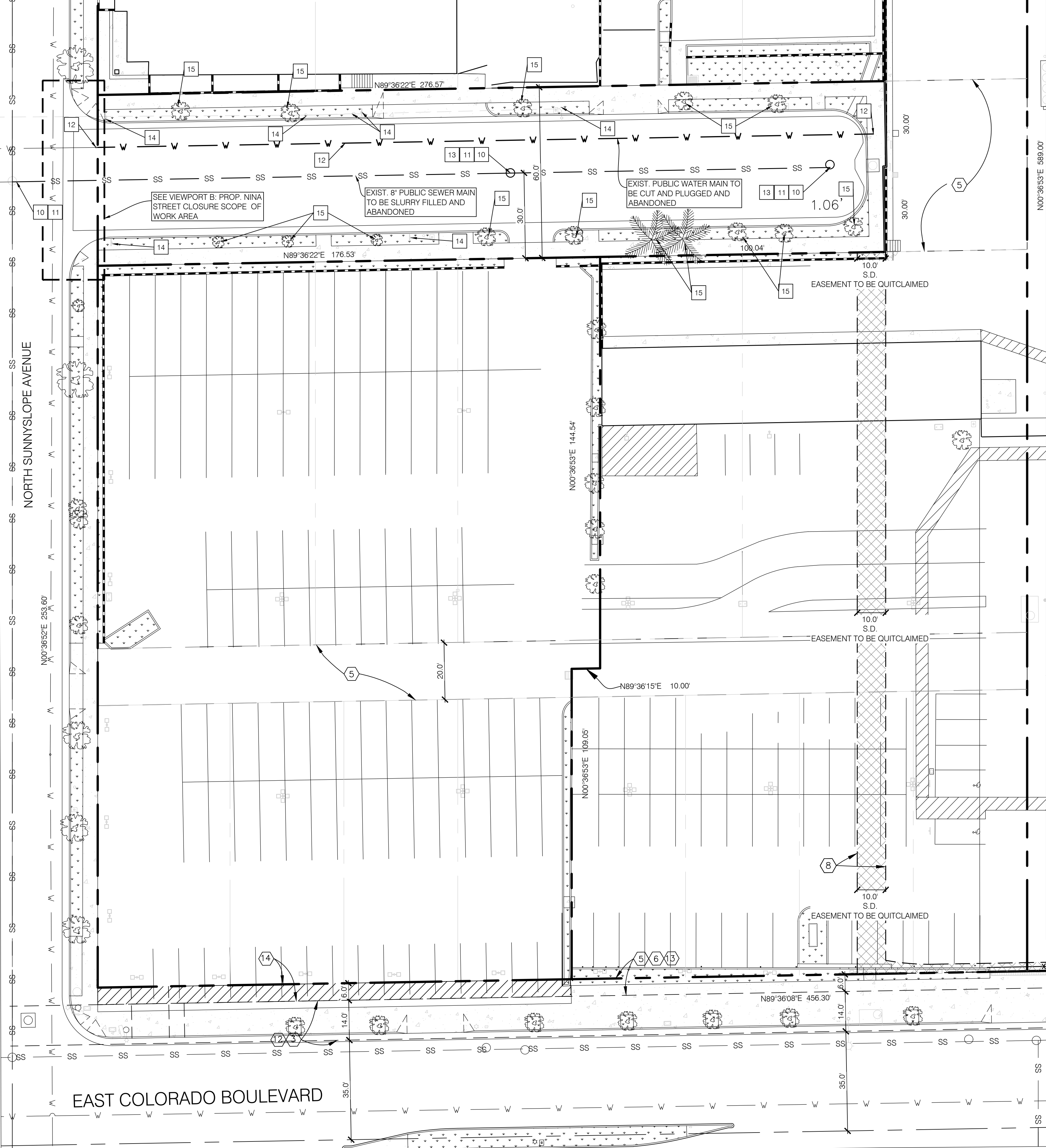
3 CARWASH ELEVATION - NORTH
1/8" = 1'-0"



2 CARWASH ELEVATION - WEST
1/8" = 1'-0"



1 ENLARGED CARWASH PLAN
1/8" = 1'-0"



EXISTING EASEMENTS/EXCEPTIONS

THE FOLLOWING EASEMENTS, DESCRIBED IN PRELIMINARY REPORT ORDER NO. NHSC-5949354 (29), PREPARED BY FIRST AMERICAN TITLE COMPANY ON MAY 15, 2019, AFFECT THE SUBJECT PARCEL AND HAVE BEEN NUMBERED TO CORRESPOND WITH SAID PRELIMINARY REPORT.

APN: 5748-036-001, 002, 003, 004, 005, 002

3. DOCUMENT FOR 'COVENANT AND AGREEMENT TO PROVIDE PARKING' RECORDED AUGUST 11, 1989 AS INSTRUMENT NO. 89-12950 OF O.R.

AFFECTS: PARCEL C
LOCATION OF THE AGREEMENT CANNOT BE DETERMINED FROM THE RECORD.

THE FOLLOWING EASEMENTS, DESCRIBED IN PRELIMINARY REPORT ORDER NO. NHSC-5949382 (29), PREPARED BY FIRST AMERICAN TITLE COMPANY ON MAY 16, 2019, AFFECT THE SUBJECT PARCEL AND HAVE BEEN NUMBERED TO CORRESPOND WITH SAID PRELIMINARY REPORT.

APN: 5748-036-028, 029 AND 5754-005-007

3. AN EASEMENT FOR STREET WIDENING OF COLORADO STREET RECORDED APRIL 28, 1927 AS BOOK 6612, PAGE 280 OF O.R.

5. VACATION OF VARD ALLEY AND PORTION OF NINA STREET RECORDED JANUARY 19, 1968 AS INSTRUMENT NO. 2575 IN BOOK 3890, PAGE 703 OF O.R. AND BY QUITCLAIM DEED RECORDED MARCH 29, 1968 AS INSTRUMENT NO. 823 IN BOOK D-3954, PAGE 516 OF O.R. AND QUITCLAIM DEED RECORDED FEBRUARY 4, 1975 AS INSTRUMENT NO. 2063 OF O.R.

6. AN EASEMENT FOR STREET AND INCIDENTAL PURPOSES RECORDED MARCH 29, 1968 AS INSTRUMENT NO. 824 OF O.R.

8. AN EASEMENT FOR STORM DRAIN AND INCIDENTAL PURPOSES RECORDED AUGUST 5, 1974 IN INSTRUMENT NO. 2571 OF O.R.

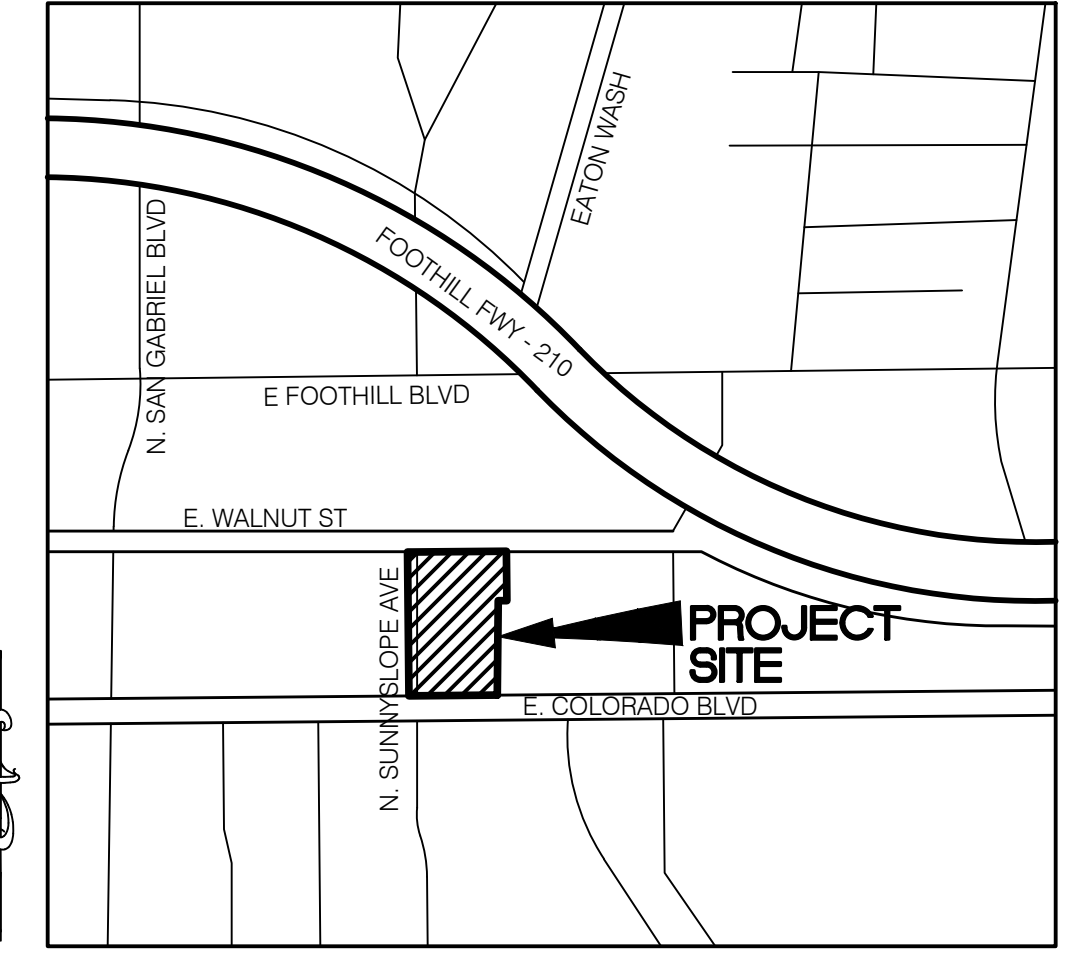
12. SAME AS EXCEPTION 3

13. SAME AS EXCEPTION 6

14. AN EASEMENT FOR STREET AND INCIDENTAL PURPOSES RECORDED APRIL 1, 1968 AS INSTRUMENT NO. 3517 OF O.R.

LEGEND:

- EXIST. LANDSCAPING
- PROP. CONCRETE SIDEWALK
- EXIST. CONCRETE
- EXIST. SD EASEMENT TO BE QUITCLAIMED
- EXIST. BUILDING
- EXIST. WALL
- EXIST. EASEMENT
- EXIST. PROPERTY LINE
- EXIST. CENTERLINE
- EXIST. PUBLIC SEWER MAIN - TO REMAIN
- EXIST. PUBLIC WATER MAIN - TO REMAIN
- EXIST. WATER MAIN TO BE REMOVED
- EXIST. SEWER MAIN TO BE REMOVED
- EXIST. PUBLIC SD LINE



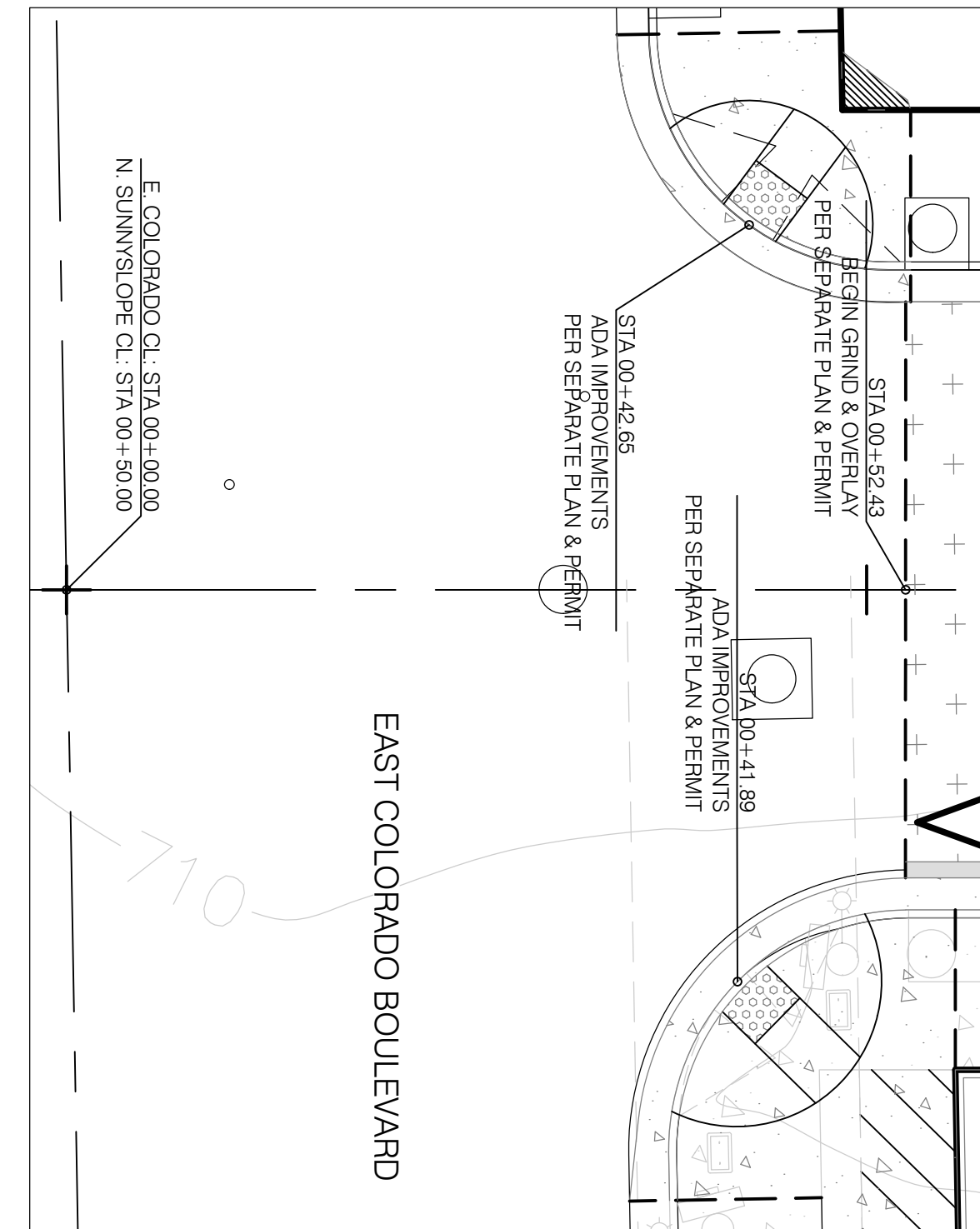
VICINITY MAP
NTS

PUBLIC STORM DRAIN NOTE:

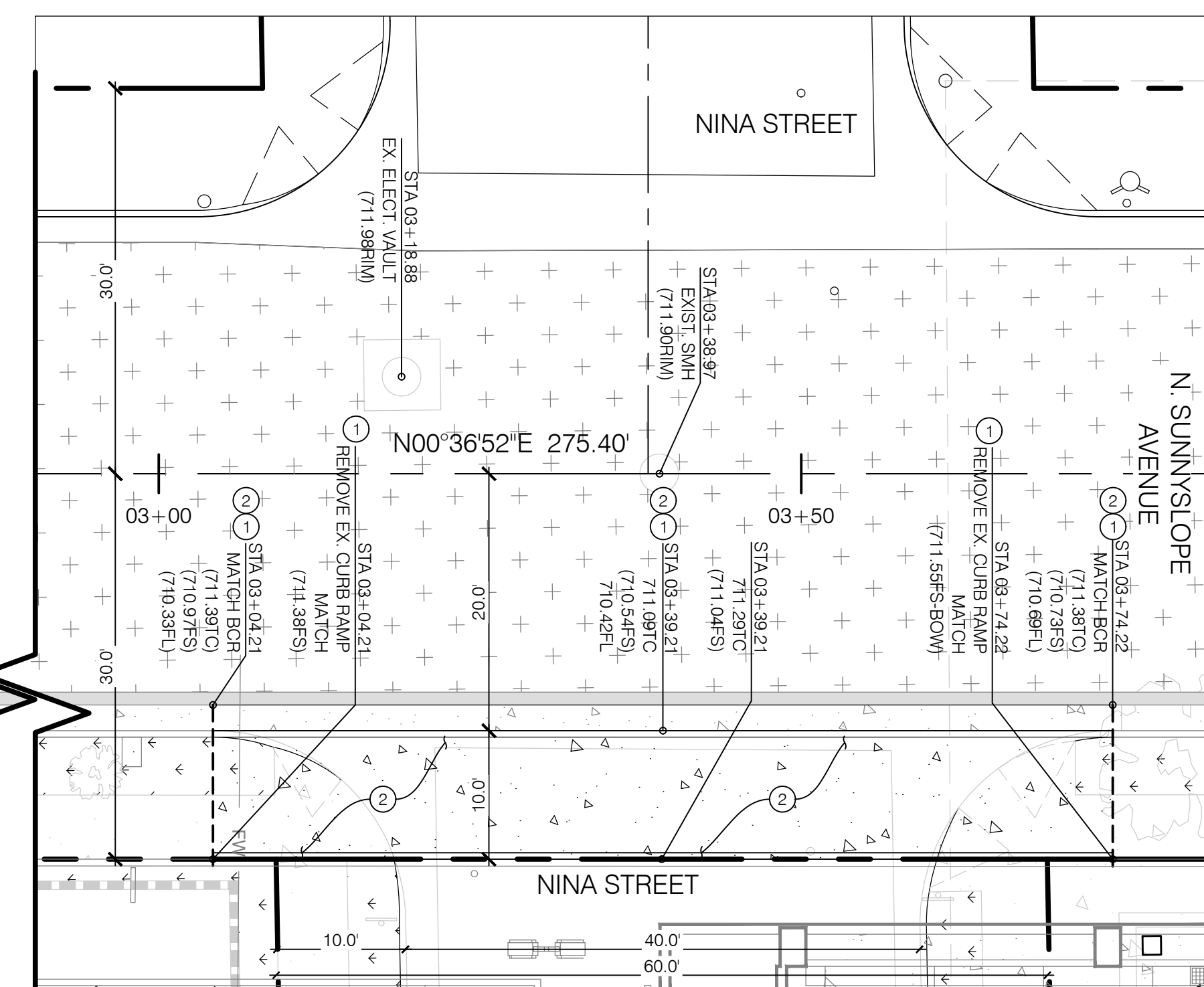
EXISTING PUBLIC DRAINAGE CATCH BASIN AND STORM DRAIN PIPE IN EASEMENT TO BE REMOVED FOLLOWING QUITCLAIM PRIOR TO DEMOLITION PERMIT

CIVIL ENGINEER
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695 TOWN CENTER DRIVE #110
COSTA MESA, CA 92626
CONTACT: AARON ALBERTSON, P.E.
TEL: 949.610.8997

SURVEYOR
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VIEWPORT B: NINA STREET CLOSURE
SCALE: 1"=10'



PUBLIC RIGHT OF WAY CONSTRUCTION NOTES:

1. INSTALL CONCRETE CURB AND GUTTER PER CITY OF PASADENA PUBLIC WORKS STANDARD PLAN NO. S-406. 8" CURB FACE, B = 8 1/2".
2. INSTALL 4" MIN. THICKNESS PCC SIDEWALK PER CITY OF PASADENA PUBLIC WORKS STANDARD PLAN NO. S-421

PUBLIC UTILITY DEMOLITION NOTES:

10. CUT EXISTING 8" SANITARY SEWER MAIN AT EXISTING MANHOLE STRUCTURE. MAIN LINE TO BE SLURRY FILLED AND ABANDONED IN PLACE.
11. INSTALL BRICK AND MORTAR PLUG FOR REMOVED 8" SANITARY SEWER MAIN AT MANHOLE
12. EXISTING PUBLIC WATER MAIN TO BE ABANDONED IN PLACE PER SEPARATE CITY OF PASADENA PLAN.
13. REMOVE EXISTING SEWER MANHOLES
14. REMOVE AND SALVAGE EXISTING STREET SIGNS AND POLES
15. REMOVE STREET TREES AFTER STREET VACATION IS APPROVED AND RECORDED

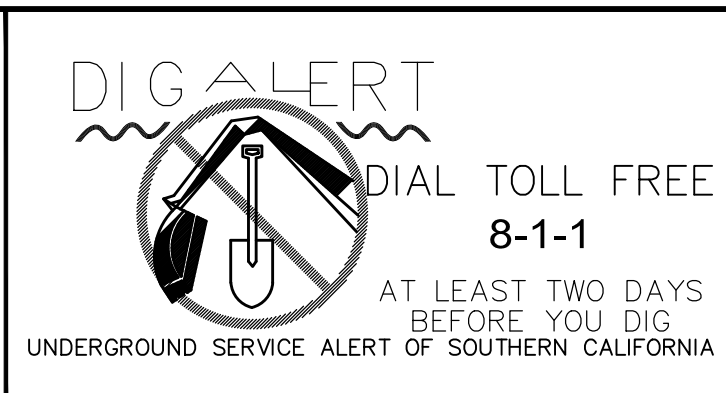
REVISIONS	
NUMBER	DATE

DRAWN BY: AJC
CHECKED BY: AMA
DATE: 03/21/2024

BENCHMARK:
CITY OF MONTCLAIR #266-90, A LEAD AND PK NAIL IN THE TOP OF CURB, LOCATED AT THE SOUTHWEST CORNER OF ARROW HIGHWAY AND FREMONT AVENUE.
ELEVATION=1180.28 FEET

PLANS PREPARED BY:
AARON M. ALBERTSON
R.C.E. 65513, EXP. 9/30/23

DATE: 05/10/2024



NINA STREET CLOSURE PLAN

RUSNAK PORSCHE PASADENA
2915 EAST COLORADO BLVD.
PASADENA, CA

CITY OF PASADENA

APPROVED: _____

CITY ENGINEER _____ DATE _____ SHEET **01 OF 01**

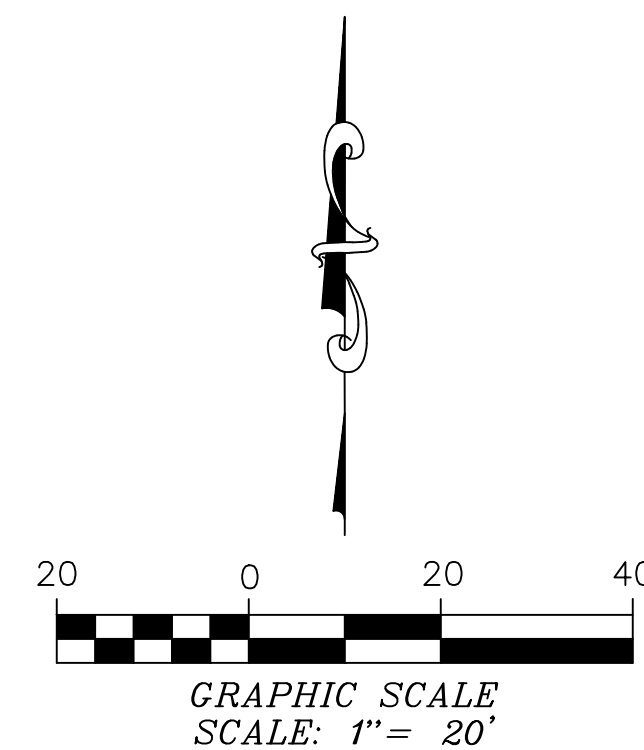
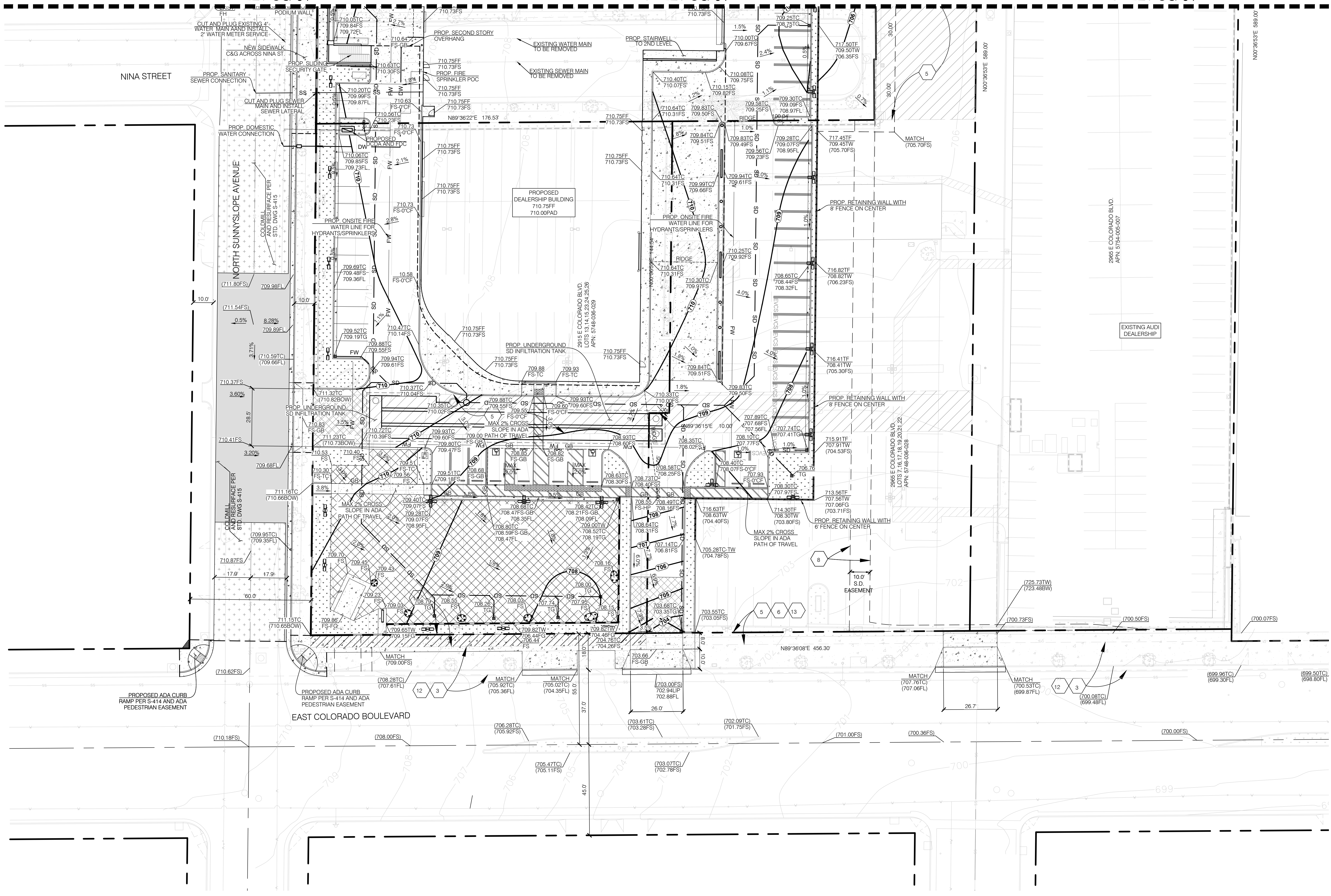
SEE SHEET CG-01

SEE SHEET CG-01

SEE SHEET CG-01

DESCRIPTION	SYMBOL
EXISTING CONCRETE	
CONCRETE PAVEMENT	
LANDSCAPING	
COLDMILL AND RESURFACE	
CONCRETE CURB	
CURB & GUTTER	
RETAINING WALL	
BUILDING WALL	
EASEMENT	
CENTERLINE	
PROPERTY LINE	
PROP. MATCH LINE	
PROP. SCULPTURE SUPPORT/FOOTING	

ABBREVIATIONS	
EX	EXISTING
FS	FINISHED SURFACE
FS	FINISHED GRADE
FF	FINISHED FLOOR
INV	INVERT OF PIPE
TF	TOP OF FOOTING
BF	BOTTOM OF FOOTING
TC	TOP OF CURB
TG	TOP OF GRATE
TW	TOP OF WALL
FL	FLOWLINE
HP	HIGH POINT
TS	TOP OF STEP
BW	BOTTOM OF WALL
BLDG	BUILDING
SD	STORM DRAIN
SS	SANITARY SEWER
SORS	UTILITY
UTIL	PUBLIC UTILITY EASEMENT
SPPFC	STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION
DISP	DISPLAY



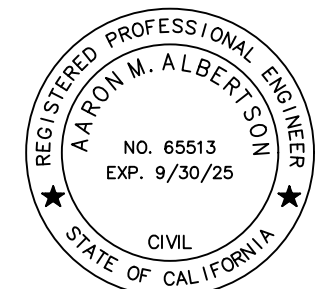
CG-02: CONCEPTUAL GRADING PLAN - SOUTH

CITY OF PASADENA- DEPARTMENT OF PUBLIC WORKS		SHEET 02 OF 03
PROJECT PORSCHE PASADENA		DWG. NO.
ADDRESS 2915 EAST COLORADO BLVD. PASADENA, CA		
SCALE AS SHOWN	ACCOUNT NUMBER	

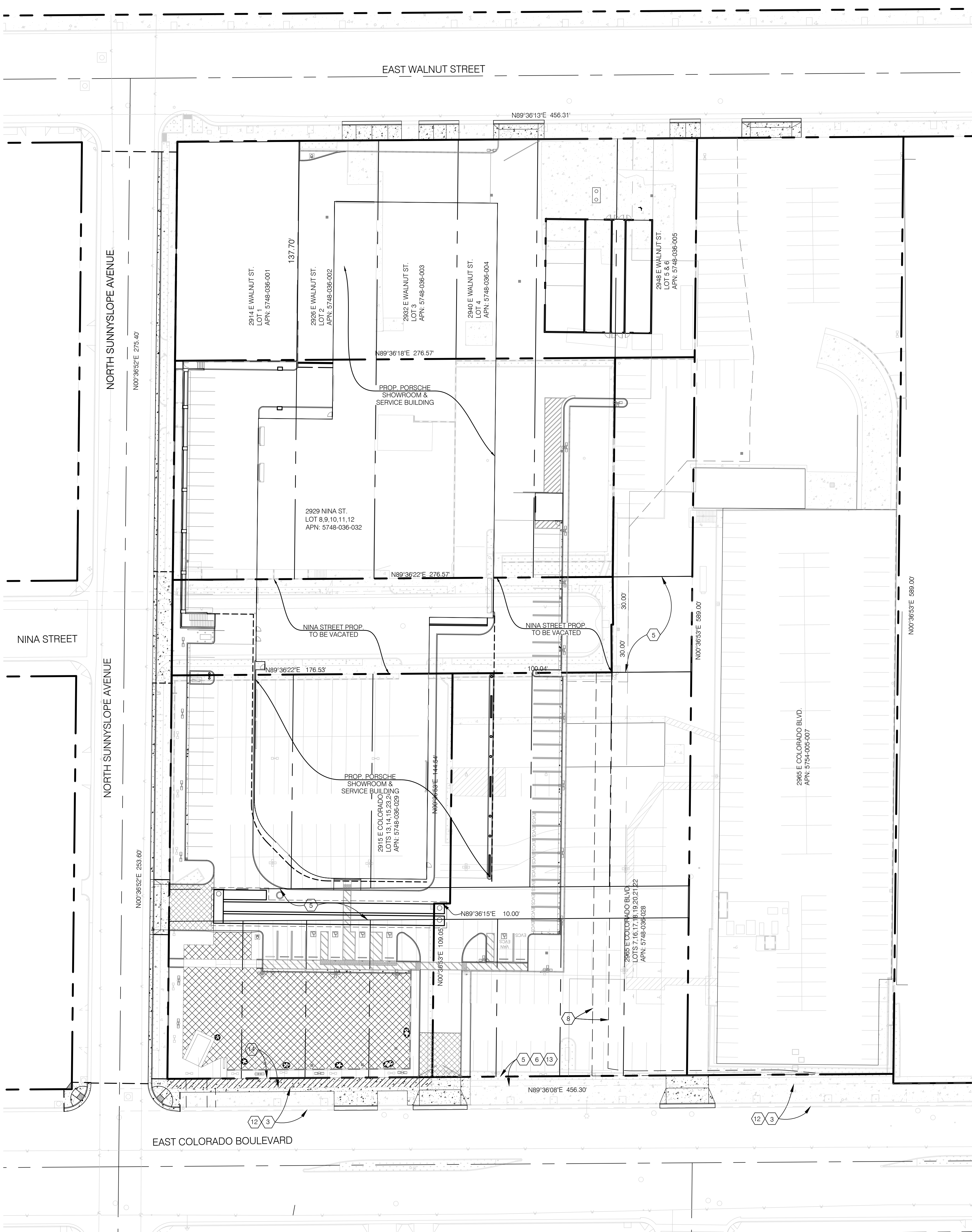
MARK	DATE	REVISIONS		
		DESCRIPTION	BY	CHKD. APPROVED
AS BUILT				

DRAWN BY
 DESIGNED BY
 CHECKED BY

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 695 Town Center Drive #110 Costa Mesa CA 92626
 T 949-410-8987 www.cdrw.com



DATE 05/10/2024
 AARON M. ALBERTSON R.C.E. 65513 EXP. 9/30/25



LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN IS SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOTS 7, 16, 17, 18, 19, 20, 21, 22

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN IS SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOTS 7, 16, 17, 18, 19, 20, 21 AND 22 AS SAID LOTS ARE SHOWN ON THE MAP OF TRACT NO. 8479, AND THAT PORTION OF VARD ALLEY, 20 FEET WIDE, VACATED AND THAT PORTION OF NINA STREET, 60 FEET WIDE, VACATED, AS SAID ALLEY AND STREET ARE SHOWN ON SAID MAP, IN THE CITY OF PASADENA, AS PER MAP RECORDED IN BOOK 93 PAGE 4 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AND THAT PORTION OF LOT 2 IN BLOCK 12 OF L.J. ROSE'S SUBDIVISION OF LAMANDA PARK, AS PER MAP RECORDED IN BOOK 7 PAGE 38 OF MISCELLANEOUS RECORDS, IN THE CITY OF PASADENA, INCLUDED WITHIN THE FOLLOWING DESCRIBED LINES:

BEGINNING AT THE NORTHEASTERN CORNER OF LOT 7, OF SAID TRACT NO. 8479, THENCE NORTHERLY, ALONG THE EASTERLY LINE OF LOT 6 OF SAID TRACT NO. 8479, TO THE NORTHWESTERN CORNER OF LOT 2 OF SAID ROSE'S SUBDIVISION; THENCE EASTERLY, ALONG THE NORTHERLY LINE OF THE WESTERLY 129.70 FEET OF SAID LOT 2 TO THE NORTHEASTERN CORNER THEREOF; THENCE SOUTHERLY ALONG THE EASTERLY LINE OF SAID WESTERLY 129.70 FEET, TO THE SOUTHERLY LINE OF SAID LOT 2; THENCE WESTERLY ALONG SAID SOUTHERLY LINE OF LOT 2 AND THE SOUTHERLY LINES OF LOTS 19 TO 22, INCLUSIVE, OF TRACT NO. 8479 TO THE SOUTHWESTERN CORNER OF SAID LOT 22; THENCE NORTHERLY, ALONG THE WESTERLY LINE OF SAID LOT 22, AND ITS PROLONGATION, TO THE CENTERLINE OF VARD ALLEY, 20 FEET WIDE, AS SHOWN ON SAID MAP OF CENTERLINE OF TRACT NO. 8479; THENCE EASTERLY, ALONG SAID CENTERLINE TO THE SOUTHERLY PROLONGATION OF THE WESTERLY LINE F SAID LOT 16; THENCE NORTHERLY ALONG SAID WESTERLY LINE AND ITS PROLONGATION TO THE NORTHWEST CORNER OF SAID LOT 16; THENCE EASTERLY ALONG THE NORTHERLY LINES OF SAID LOTS 16 AND 17 TO THE NORTHEASTERN CORNER OF SAID LOT 17; THENCE NORTHERLY AT RIGHT ANGLES TO THE SOUTHERLY LINE OF SAID NINA STREET, 60 FEET WIDE, TO THE CENTERLINE OF SAID NINA STREET; THENCE EASTERLY ALONG SAID CENTERLINE 1.08 FEET, MORE OR LESS, TO A LINE WHICH IS AT RIGHT ANGLES TO THE NORTHERLY LINE OF SAID NINA STREET; THENCE ALONG SAID LAST MENTIONED LINE, 30 FEET TO SAID SOUTHWEST CORNER OF LOT 7; THENCE NORTHERLY AND EASTERLY ALONG THE WESTERLY AND NORTHERLY LINE OF SAID LOT 7 TO THE POINT OF BEGINNING.

DESCRIPTION	SYMBOL
EXISTING CONCRETE	
CONCRETE PAVEMENT	
LANDSCAPING	
COLDMILL AND RESURFACE	
CONCRETE CURB	
CURB & GUTTER	
RETAINING WALL	
BUILDING WALL	
EASEMENT	
CENTERLINE	
PROPERTY LINE	

LEGAL DESCRIPTION

LOT 1

Lot 1 of Tract No. 8479, in the City of Pasadena, County of Los Angeles, State of California, as per Map recorded in Book 93, Page 4 of Maps, in the Office of the County Recorder of said County. Also known as: 2914 E. Walnut Street, Pasadena, CA. 91107. A.P. # 5748-036-001

LEGAL DESCRIPTION

LOT 2

LOT(S) 2 OF TRACT NO. 8479, IN THE CITY OF PASADENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 93 PAGE(S) 4 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

ABBREVIATIONS

EX	EXISTING
FS	FINISHED SURFACE
FF	FINISHED GRADE
FF	FINISHED FLOOR
INV	INVERT OF PIPE
TF	TOP OF FOOTING
BF	BOTTOM OF FOOTING
TC	TOP OF CURB
TG	TOP OF GRATE
TW	TOP OF WALL
FL	FLOWLINE
HP	HIGH POINT
TS	TOP OF STEP
BW	BOTTOM OF WALL
BLDG	BUILDING
SD	STORM DRAIN
SS	SANITARY SEWER
SDRS	UTILITY
UTL	PUBLIC UTILITY EASEMENT
SPPFC	STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION
DISP	DISPLAY

LEGAL DESCRIPTION

LOT 3

Lot 3 of Tract No. 8479, in the City of PASADENA, County of Los Angeles, State of California, as per map recorded in Book 93, Page(s) 4 of Maps, in the Office of the County Recorder of said County.

LEGAL DESCRIPTION

LOTS 4, 5, 6

the real property in the City of Pasadena, County of Los Angeles, State of California, described as: Lots 4, 5 and 6 of Tract No. 8479, in the City of Pasadena, County of Los Angeles, State of California, as per Map recorded in Book 93, Page 4 of Maps, in the Office of the County Recorder of said County. Also known as: 2940-2948 East Walnut Street, Pasadena, CA. 91107. AP# 5748-036-004 & 5748-036-005

LEGAL DESCRIPTION

LOTS 8, 9, 10, 11, 12

PARCEL 1 AS SHOWN ON LOT LINE ADJUSTMENT, AS EVIDENCED BY DOCUMENT RECORDED SEPTEMBER 7, 2016 AS INSTRUMENT NO. 20161074591 OF OFFICIAL RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

LOTS 8 THROUGH 12 INCLUSIVE, AS SHOWN ON TRACT MAP NO. 8479, IN THE CITY OF PASADENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, FILED IN BOOK 93, PAGE 4 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

LEGAL DESCRIPTION

LOTS 13, 14, 15 AND 23, 24, 25, 26

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN IS SITUATED IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 2:

LOTS 23, 24, 25 AND 26 OF TRACT NO. 8479 IN THE CITY OF PASADENA, AS PER MAP RECORDED IN BOOK 93 PAGE(S) 4 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

TOGETHER WITH THAT PORTION OF THE SOUTH 10 FEET OF VARD ALLEY, 20 FEET WIDE, AS SHOWN ON THE MAP OF SAID TRACT 8479, VACATED BY RESOLUTION NO. 8792 OF THE CITY OF PASADENA, A CERTIFIED COPY THEREOF RECORDED ON JANUARY 19, 1968 AS INSTRUMENT NO. 2275, IN BOOK D3899 PAGE 703, OFFICIAL RECORDS OF SAID COUNTY, LYING BETWEEN THE NORTHERLY PROLONGATION OF THE EAST LINE OF SAID LOT 23 AND THE NORTHERLY PROLONGATION OF THE WEST LINE OF SAID LOT 26.

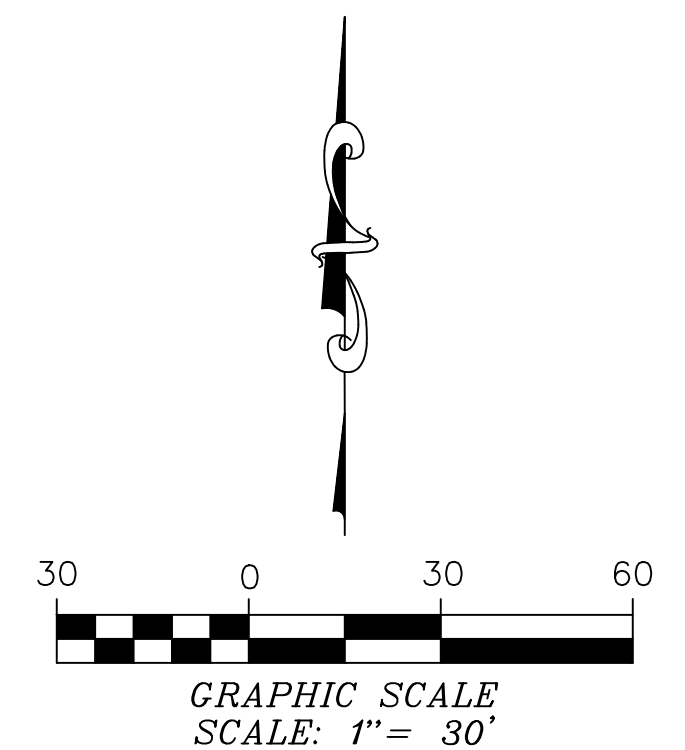
PARCEL 3:

LOTS 13, 14 AND 15 OF TRACT NO. 8479, IN THE CITY OF PASADENA, AS PER MAP RECORDED IN BOOK 93 PAGE(S) 4 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

TOGETHER WITH THAT PORTION OF THE NORTH 10 FEET OF VARD ALLEY, 20 FEET WIDE, AS SHOWN ON THE MAP OF SAID TRACT 8479, VACATED BY RESOLUTION NO. 8792 OF THE CITY OF PASADENA, A CERTIFIED COPY THEREOF RECORDED ON JANUARY 19, 1968 AS INSTRUMENT NO. 2275, IN BOOK D3899 PAGE 703, OFFICIAL RECORDS OF SAID COUNTY, LYING BETWEEN THE SOUTHERLY PROLONGATION OF THE WEST LINE OF SAID LOT 13 AND THE SOUTHERLY PROLONGATION OF THE EAST LINE OF SAID LOT 15.

EXISTING EASEMENTS/EXCEPTIONS

- THE FOLLOWING EASEMENTS, DESCRIBED IN PRELIMINARY REPORT ORDER NO. NHSC-5949354 (29), PREPARED BY FIRST AMERICAN TITLE COMPANY ON MAY 15, 2019, AFFECT THE SUBJECT PARCEL AND HAVE BEEN NUMBERED TO CORRESPOND WITH SAID PRELIMINARY REPORT.
- APN: 5748-036-001, 002, 003, 004, 005, 002
- DOCUMENT FOR "COVENANT AND AGREEMENT TO PROVIDE PARKING" RECORDED AUGUST 11, 1989 AS INSTRUMENT NO. 89-12950 OF O.R.
 - AFFECTS: PARCEL C
LOCATION OF THE AGREEMENT CANNOT BE DETERMINED FROM THE RECORD.
- THE FOLLOWING EASEMENTS, DESCRIBED IN PRELIMINARY REPORT ORDER NO. NHSC-5949382 (29), PREPARED BY FIRST AMERICAN TITLE COMPANY ON MAY 16, 2019, AFFECT THE SUBJECT PARCEL AND HAVE BEEN NUMBERED TO CORRESPOND WITH SAID PRELIMINARY REPORT.
- APN: 5748-036-028, 029 AND 5754-005-007
- AN EASEMENT FOR STREET WIDENING OF COLORADO STREET RECORDED APRIL 28, 1927 AS BOOK 6612, PAGE 280 OF O.R.
 - VACATION OF VARD ALLEY AND PORTION OF NINA STREET RECORDED JANUARY 19, 1968 AS INSTRUMENT NO. 2575 IN BOOK 3890, PAGE 703 OF O.R. AND BY QUITCLAIM DEED RECORDED MARCH 29, 1968 AS INSTRUMENT NO. 823 IN BOOK D-3954, PAGE 516 OF O.R. AND QUITCLAIM DEED RECORDED FEBRUARY 4, 1975 AS INSTRUMENT NO. 20663 OF O.R.
 - AN EASEMENT FOR STREET AND INCIDENTAL PURPOSES RECORDED MARCH 29, 1968 AS INSTRUMENT NO. 824 OF O.R.
 - AN EASEMENT FOR STORM DRAIN AND INCIDENTAL PURPOSES RECORDED AUGUST 5, 1974 IN INSTRUMENT NO. 2571 OF O.R.
 - SAME AS EXCEPTION 3
 - SAME AS EXCEPTION 6
 - AN EASEMENT FOR STREET AND INCIDENTAL PURPOSES RECORDED APRIL 1, 1968 AS INSTRUMENT NO. 3517 OF O.R.



CG-03: PROPOSED SITE PLAN

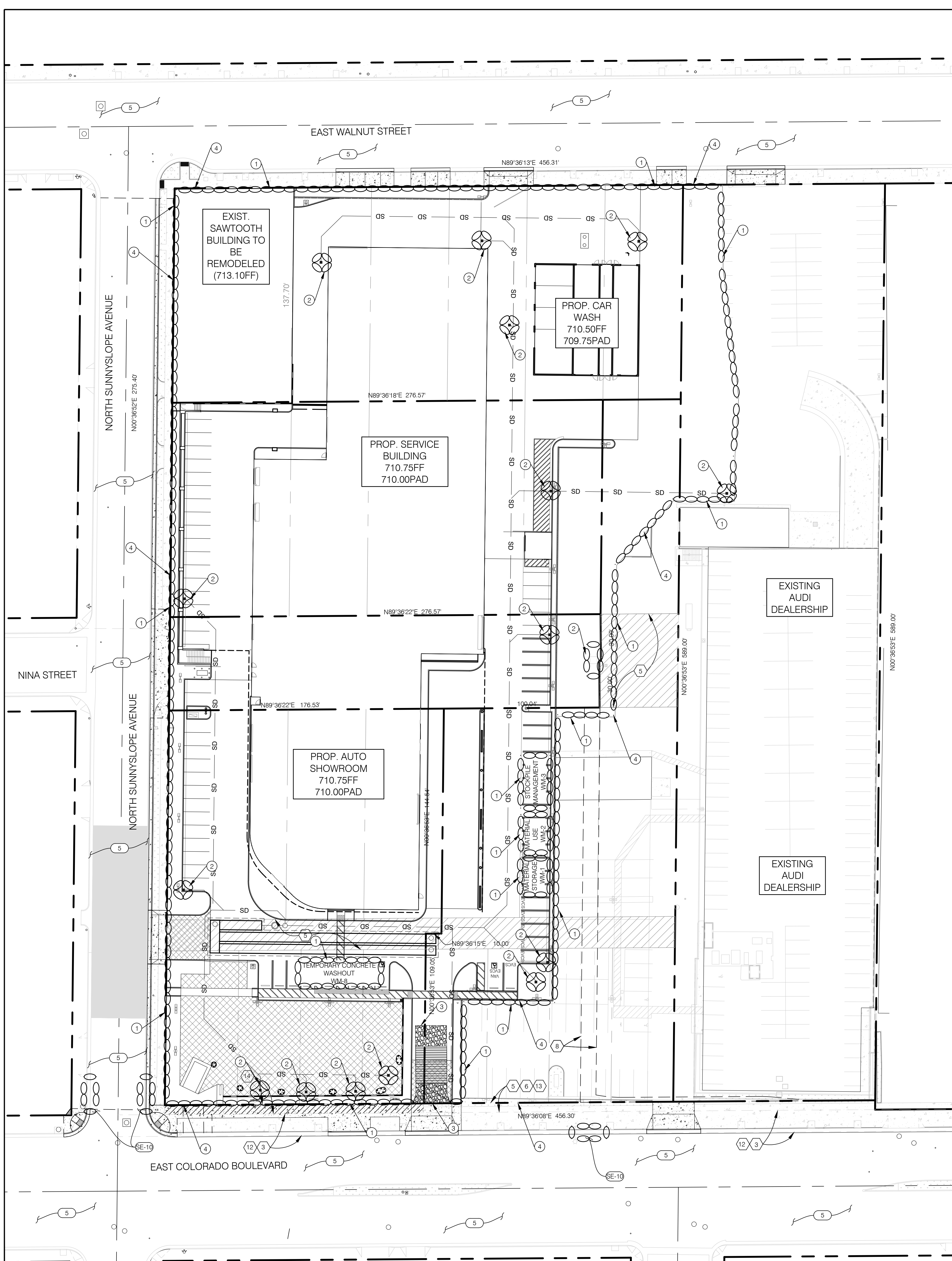


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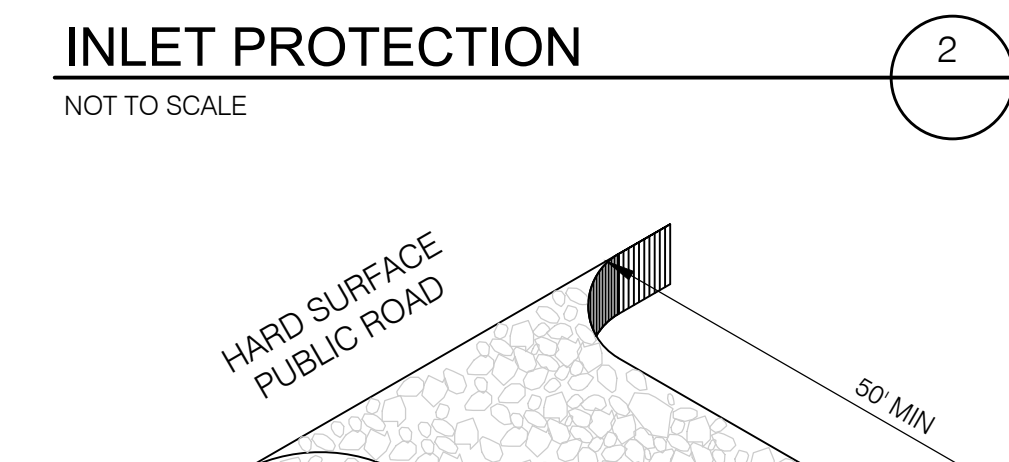
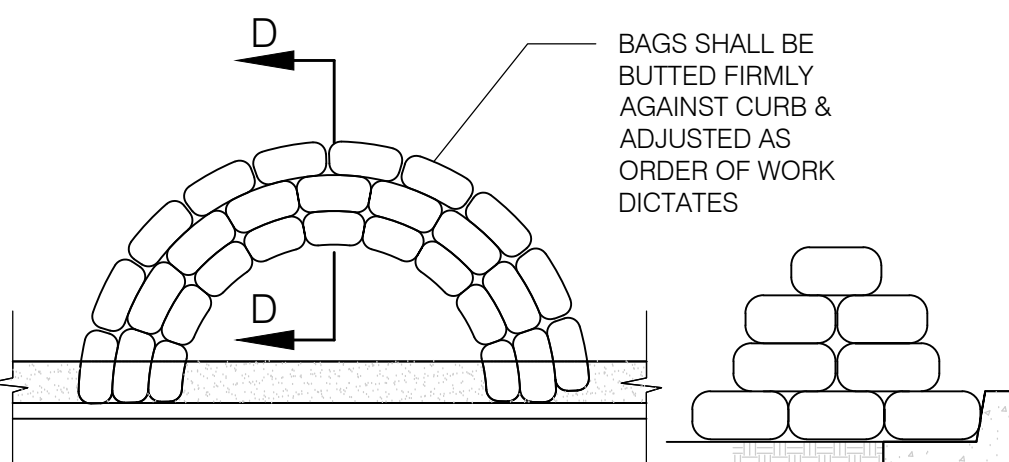
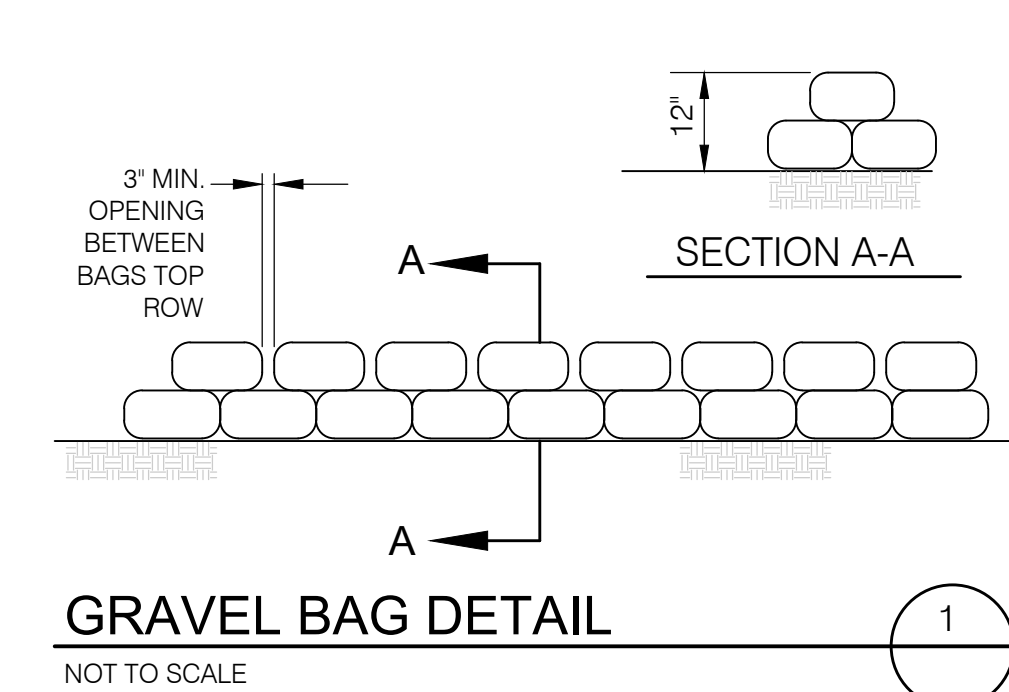
DATE 05/10/2024
AARON M. ALBERTSON R.C.E. 65513 EXP. 9/30/25

DRAWN BY	REVISIONS				
	MARK	DATE	DESCRIPTION	BY	CHKD. APPROVED
DESIGNED BY					
CHECKED BY					
	AS BUILT				

CITY OF PASADENA- DEPARTMENT OF PUBLIC WORKS		SHEET 03 OF 03
PROJECT PORSCHE PASADENA		DWG. NO.
ADDRESS 2915 EAST COLORADO BLVD. PASADENA, CA		
SCALE AS SHOWN	ACCOUNT NUMBER	



- CONSTRUCTION NOTES:**
- 1 GRAVEL BAGS. SEE DETAIL 'A' THIS SHEET
 - 2 GRAVEL BAG INLET PROTECTION PER DETAIL 'B', THIS SHEET.
 - 3 STABILIZED CONSTRUCTION ENTRANCE. SEE DETAIL 'C' THIS SHEET
 - 4 6'-0" HIGH CONSTRUCTION FENCE TO BE INSTALLED AROUND PERIMETER OF SITE
 - 5 PERFORM SWEEPING AND VACUUMING DAILY (SE-7)



NON-STORM WATER MANAGEMENT	
NS-6	ILLEGAL CONNECTION/ILLEGAL DISCHARGE
NS-8	VEHICLE AND EQUIPMENT CLEANING
NS-9	VEHICLE AND EQUIPMENT FUELING
NS-10	VEHICLE AND EQUIPMENT MAINTENANCE

WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL	
WM-1	MATERIAL DELIVERY AND STORAGE
WM-2	MATERIAL USE
WM-3	STOCKPILE MANAGEMENT
WM-4	SPILL PREVENTION AND CONTROL
WM-5	SOLID WASTE MANAGEMENT
WM-8	CONCRETE WASTE MANAGEMENT

EROSION CONTROL BMP'S	
EC-1	SCHEDULING

TEMPORARY SEDIMENT CONTROL	
SE-1	SILT FENCE
SE-6	GRAVEL BAG BERM
SE-7	STREET SWEEPING AND VACUUMING
SE-9	STRAW BALE BARRIER
SE-10	STORM DRAIN INLET PROTECTION

WIND EROSION CONTROL	
EC-1	SCHEDULING

TRACKING CONTROL	
TC-1	STABILIZED CONSTRUCTION EXIT

DESCRIPTION	SYMBOL
EXISTING CONCRETE	[Symbol]
CONCRETE PAVEMENT	[Symbol]
LANDSCAPING	[Symbol]
COLDMILL AND RESURFACE	[Symbol]
CONCRETE CURB	[Symbol]
CURB & GUTTER	[Symbol]
RETAINING WALL	[Symbol]
BUILDING WALL	[Symbol]
EASEMENT	[Symbol]
CENTERLINE	[Symbol]
PROPERTY LINE	[Symbol]
GRAVEL BAGS	[Symbol]
CONSTRUCTION ENTRANCE AGGREGATE	[Symbol]
CONSTRUCTION ENTRANCE RIDGED STEEL PANELS	[Symbol]

ABBREVIATIONS:

(XX.XX)	EXISTING ELEVATION
BOW	BACK OF WALK
BOX	BOX
BW	BOTTOM OF WALL
C&G	CURB & GUTTER
CF	CURB FACE
CM&C	CEMENT-MORTAR LINED & COATED
GUTT	GUTTER
ELEV	ELEVATION
ELEC	ELECTRICAL
ECC	EDGE OF CONCRETE
EP	EXISTING PAVEMENT
EX	EXISTING
FF	FINISH FLOOR
FH	FIRE HYDRANT
FL	FLOW LINE
FG	FINISH GRADE
FS	FINISH SURFACE
GB	GRADE BREAK
INV	INVERT
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
MWD	MUNICIPAL WATER DISTRICT
OC	ON CENTER
OHW	OVER-HEAD WIRE
PL	PROPERTY LINE
PP	POWER POLE
PROP	PROPOSED
ROW	RIGHT OF WAY
SD	STORM DRAIN
SF	SQUARE FOOTAGE
TC	TOP OF CURB
TG	TOP OF GRATE
TW	TOP OF WALL
TYP	TYPICAL
VCP	VITRIFIED CLAY PIPE
WM	WATER METER
WV	WATER VALVE

EXISTING EASEMENTS/EXCEPTIONS

- THE FOLLOWING EASEMENTS, DESCRIBED IN PRELIMINARY REPORT ORDER NO. NHSC-5949354 (29), PREPARED BY FIRST AMERICAN TITLE COMPANY ON MAY 15, 2019, AFFECT THE SUBJECT PARCEL AND HAVE BEEN NUMBERED TO CORRESPOND WITH SAID PRELIMINARY REPORT.
- APN: 5748-036-001, 002, 003, 004, 005, 032
3. DOCUMENT FOR "COVENANT AND AGREEMENT TO PROVIDE PARKING" RECORDED AUGUST 11, 1989 AS INSTRUMENT NO. 89-12950 OF O.R.
- AFFECTS: PARCEL C
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 8. AN EASEMENT FOR STORM DRAIN AND INCIDENTAL PURPOSES RECORDED AUGUST 5, 1974 IN INSTRUMENT NO. 2571 OF O.R.
 12. SAME AS EXCEPTION 3
 13. SAME AS EXCEPTION 6
 14. AN EASEMENT FOR STREET AND INCIDENTAL PURPOSES RECORDED APRIL 1, 1968 AS INSTRUMENT NO. 3517 OF O.R.

EC-01: CONCEPTUAL EROSION CONTROL PLAN

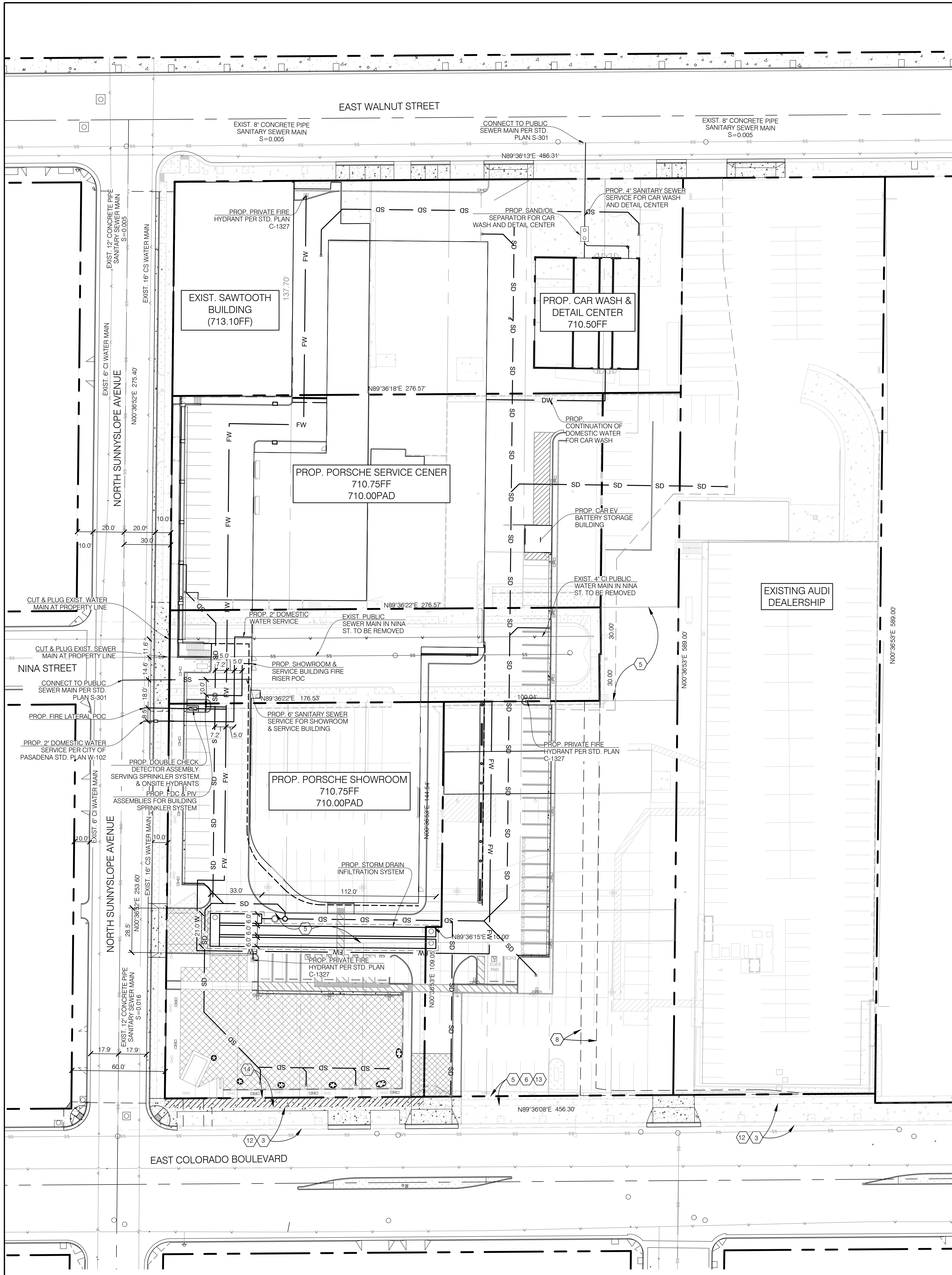


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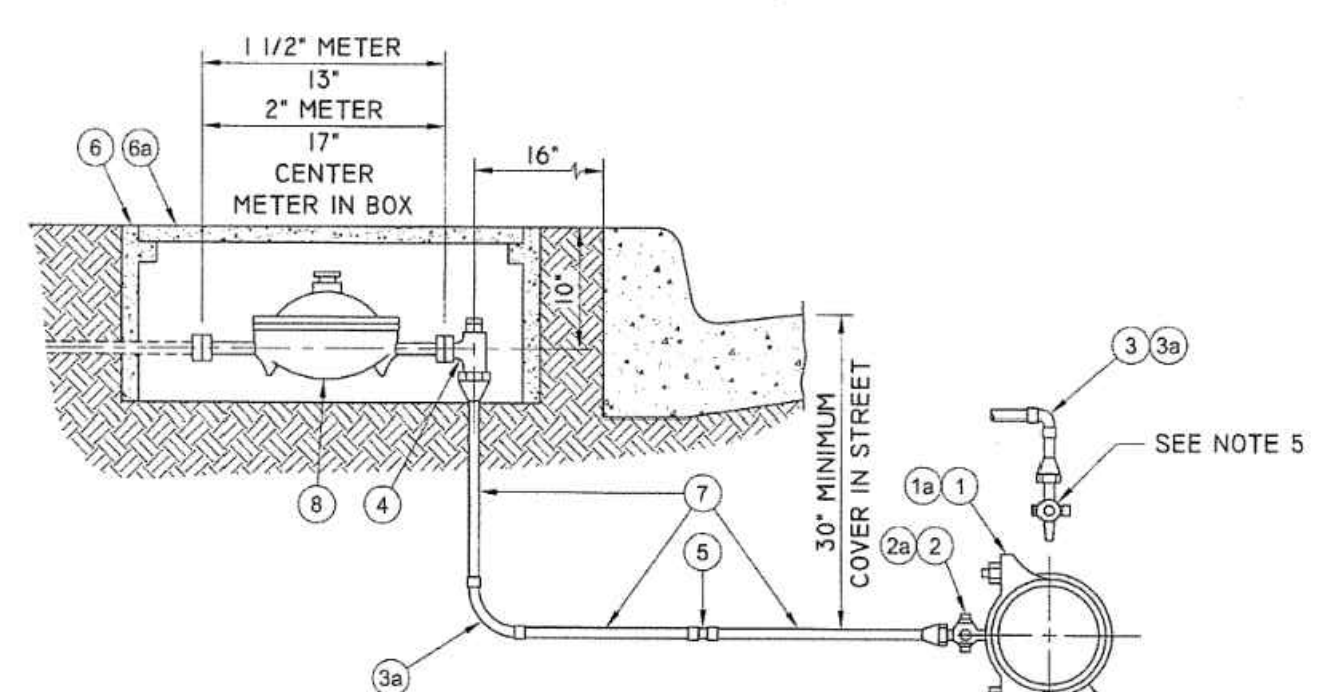
DATE 05/10/2024
 AARON M. ALBERTSON R.C.E. 65513 EXP. 9/30/25

DRAWN BY	REVISIONS			
	MARK	DATE	DESCRIPTION	BY
DESIGNED BY				
CHECKED BY				
	AS BUILT			

CITY OF PASADENA - DEPARTMENT OF PUBLIC WORKS	
PROJECT PORSCHE PASADENA	SHEET 01 OF 01
ADDRESS 2915 EAST COLORADO BLVD. PASADENA, CA	DWG. NO.
SCALE AS SHOWN	ACCOUNT NUMBER



ITEM	DESCRIPTION	FORD	JONES	MUELLER
1	DOUBLE STRAP SERVICE SADDLE C.I.	2028 CC TAP	J-979 CC TAP	2R2B CC TAP
1a	DOUBLE STRAP SERVICE SADDLE STL	2028S CC TAP	J-969 CC TAP	2R2BS CC TAP
2	CORPORATION STOP (CC x COMPRESSION)	F18100-40 or Q	J-9375G	B-24278-200-3
2a	CORPORATION STOP (CC x FIP)	F18100-40 or G	J-1932	
3	90° ELL COMPRESSION x MIP	L84-77-G or Q	J-2619SG	H-15531
3a	90° ELL COMPRESSION x COMPRESSION	L44-77-G or Q	J-26119SG	H-15526
4	ANGLE METER STOP	BFA43-77WR-G or Q	J-1978WSGLS	B-24258-100-3
5	COPPER TO COPPER COMPRESSION UNION	C44-77-G or Q	J-2609SG	H-15403
6	METER BOX			
6a	POLYMER CONCRETE COVER & LID			
7	2" COPPER TUBING, TYPE K, 20' LENGTHS, SOFT ONLY			
8	WATER METER			



- NOTES:**
- INSTALL CORPORATION STOP WITH KEY UP.
 - SERVICE SADDLE AND CORPORATION STOP SHALL BE CC (AWWA) THREAD.
 - TAPS SHALL BE MADE AT LEAST 24" FROM ANY OTHER TAP OR COUPLING.
 - STANDARD 2" SERVICE IS USED FOR 1-1/2" METER AND 2" METER.
 - WATER MAIN MAY BE TAPPED W/SERVICE SADDLE CORPORATION STOP FROM TOP WHEN FINISHED SURFACE IS GREATER THAN 5 FEET OVER TOP OF PIPE.
 - A TRAFFIC LOAD RATING COVER SHALL BE USED IN AREAS WITHOUT CURB. IN AREAS WITH ROLLED OR TYPE "F" CURB, OR WHERE THE METER IS LOCATED WITHIN 5 FEET OF THE BCR, ECR OR A DRIVEWAY APPROACH.
 - ANGLE METER STOPS SHALL BE PROVIDED WITH 360° TEE HEAD ROTATION WITH LOCK TAB.
 - TURBINE METER REQUIRES WATER ENGINEERING APPROVAL.
 - NO PACK JOINT COMPRESSION FITTINGS.

CITY OF PASADENA-WATER AND POWER

2-INCH WATER SERVICE INSTALLATION

DESIGNED BY: NELSON RODRIGUEZ	APPROVED BY: JOSEPH CACCHER	DATE: 05/10/2024	PROJECT NO.: XXXXX SUPPES NORTH IX 007	REVISION: 1	SHEET: 1	TITLE: W-102
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DESCRIPTION	SYMBOL
EXISTING CONCRETE	[Symbol]
CONCRETE PAVEMENT	[Symbol]
LANDSCAPING	[Symbol]
RETAINING WALL	[Symbol]
BUILDING WALL	[Symbol]
EASEMENT	[Symbol]
CENTERLINE	[Symbol]
PROPERTY LINE	[Symbol]
EXIST. SEWER LINE TO BE REMOVED	[Symbol]
EXIST. WATER MAIN TO BE REMOVED	[Symbol]
PROP. SEWER LATERAL	[Symbol]
PROP. WATER LATERAL	[Symbol]
PROP. FIRE WATER LINE	[Symbol]

ABBREVIATIONS

EX	EXISTING
FS	FINISHED SURFACE
FG	FINISHED GRADE
FF	FINISHED FLOOR
INV	INVERT OF PIPE
TF	TOP OF FOOTING
BF	BOTTOM OF FOOTING
TC	TOP OF CURB
TG	TOP OF GRATE
TW	TOP OF WALL
FL	FLOWLINE
HP	HIGH POINT
TS	TOP OF STEP
BW	BOTTOM OF WALL
BLDG	BUILDING
SD	STORM DRAIN
SS	SANITARY SEWER
SDRSD	UTILITY
UTIL	PUBLIC UTILITY EASEMENT
SPFPWC	STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION
DISP	DISPLAY

EXISTING EASEMENTS/EXCEPTIONS

THE FOLLOWING EASEMENTS, DESCRIBED IN PRELIMINARY REPORT ORDER NO. NHSC-5949354 (29), PREPARED BY FIRST AMERICAN TITLE COMPANY ON MAY 15, 2019, AFFECT THE SUBJECT PARCEL AND HAVE BEEN NUMBERED TO CORRESPOND WITH SAID PRELIMINARY REPORT.

APN: 5748-036-001, 002, 003, 004, 005, 032

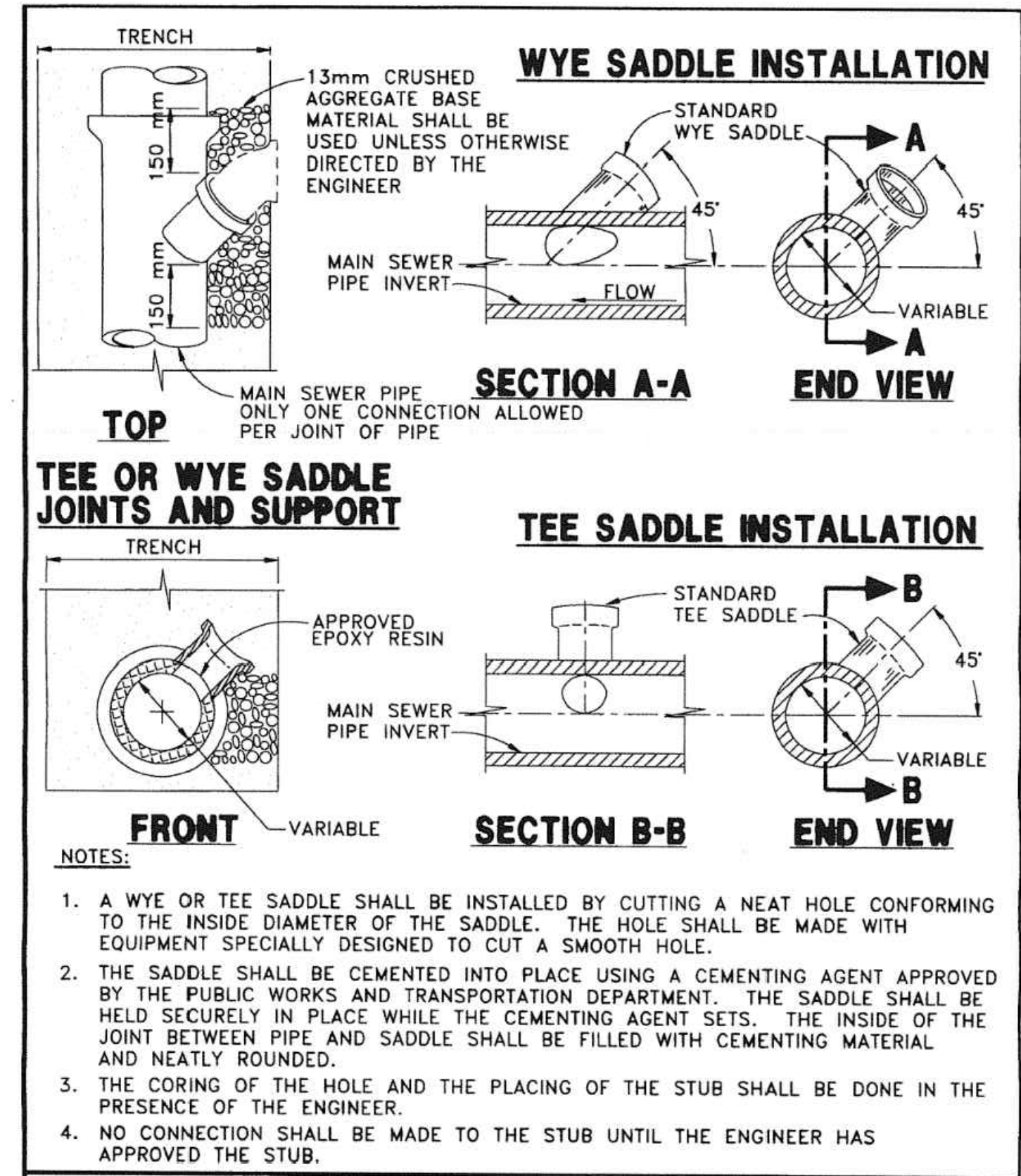
3. DOCUMENT FOR 'COVENANT AND AGREEMENT TO PROVIDE PARKING' RECORDED AUGUST 11, 1989 AS INSTRUMENT NO. 89-12950 OF O.R.

AFFECTS: PARCEL C
LOCATION OF THE AGREEMENT CANNOT BE DETERMINED FROM THE RECORD.

THE FOLLOWING EASEMENTS, DESCRIBED IN PRELIMINARY REPORT ORDER NO. NHSC-5949382 (29), PREPARED BY FIRST AMERICAN TITLE COMPANY ON MAY 16, 2019, AFFECT THE SUBJECT PARCEL AND HAVE BEEN NUMBERED TO CORRESPOND WITH SAID PRELIMINARY REPORT.

- APN: 5748-036-028, 029 AND 5754-005-007
- 3. AN EASEMENT FOR STREET WIDENING OF COLORADO STREET RECORDED APRIL 28, 1927 AS BOOK 6612, PAGE 280 OF O.R.
 - 5. VACATION OF VARD ALLEY AND PORTION OF NINA STREET RECORDED JANUARY 19, 1968 AS INSTRUMENT NO. 2575 IN BOOK 3890, PAGE 703 OF O.R. AND BY QUITCLAIM DEED RECORDED MARCH 129, 1968 AS INSTRUMENT NO. 623 IN BOOK D-3954, PAGE 516 OF O.R. AND QUITCLAIM DEED RECORDED FEBRUARY 4, 1975 AS INSTRUMENT NO. 2063 OF O.R.
 - 6. AN EASEMENT FOR STREET AND INCIDENTAL PURPOSES RECORDED MARCH 29, 1968 AS INSTRUMENT NO. 824 OF O.R.
 - 8. AN EASEMENT FOR STORM DRAIN AND INCIDENTAL PURPOSES RECORDED AUGUST 5, 1974 IN INSTRUMENT NO. 2571 OF O.R.
 - 12. SAME AS EXCEPTION 3
 - 13. SAME AS EXCEPTION 6
 - 14. AN EASEMENT FOR STREET AND INCIDENTAL PURPOSES RECORDED APRIL 1, 1968 AS INSTRUMENT NO. 3517 OF O.R.

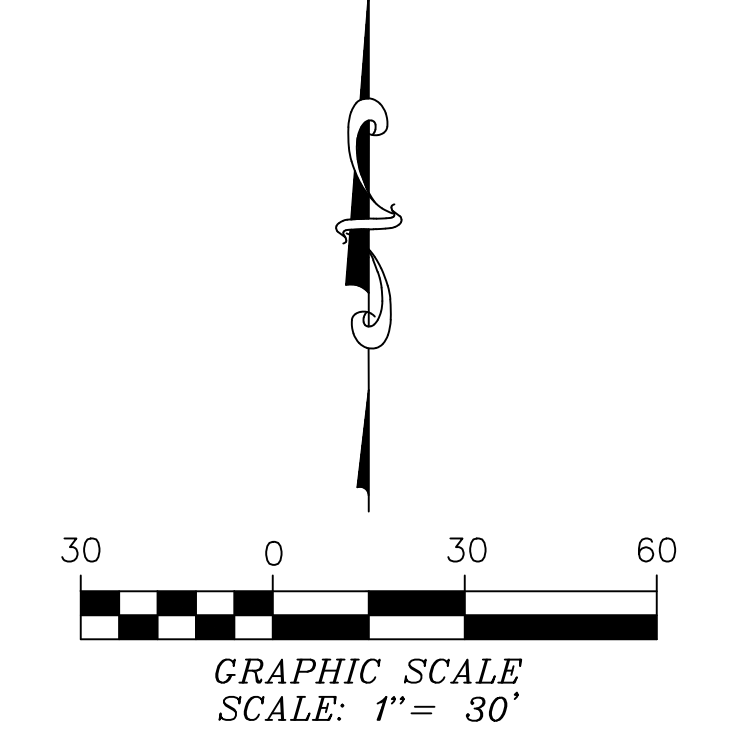
- UTILITY NOTES**
- ALL EXISTING PUBLIC WET UTILITY INFRASTRUCTURE INCLUDING STORM DRAIN WITHIN NINA STREET RIGHT OF WAY TO BE REMOVED.
 - ALL EXISTING WATER METERS AND BACKFLOW PREVENTERS SERVING PROPERTIES WITHIN THE SCOPE OF WORK TO BE REMOVED.
 - ALL EXISTING PRIVATE UTILITY SERVICES TO BE CUT AND CAPPED AT THE EXISTING PROPERTY LINE.
 - UTILITIES SHOWN HERE FOR REFERENCE ONLY. CONTRACTOR TO VERIFY AND CONFIRM LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO STARTING WORK.
 - ALL PROPOSED IMPROVEMENTS TO BE INSTALLED PER CITY OF PASADENA STANDARD PLANS AND DRAWINGS.



CITY OF PASADENA - PUBLIC WORKS & TRANSPORTATION DEPARTMENT

SADDLE FOR HOUSE LATERALS

DRAWN BY: DAVID PHAN	APPROVED BY: William J. DeC...	REVISION: 1	DATE: 5/10/24
CHECKED BY: JAMES LLOYD	CITY ENGINEER	SHEET: 1	OF 1



UT-01: CONCEPTUAL UTILITY PLAN



CD Commercial Development Resources

Today's Ideas. Tomorrow's Reality.

695 Town Center Drive #110 Costa Mesa CA 92626
T 949-415-8987 www.cdrw.com

DATE 05/10/2024
AARON M. ALBERTSON R.C.E. 65513 EXP. 9/30/25

REVISIONS				
MARK	DATE	DESCRIPTION	BY	CHKD. APPROVED

CITY OF PASADENA- DEPARTMENT OF PUBLIC WORKS		PROJECT PORSCHE PASADENA		SHEET 01 OF 01	
ADDRESS 2915 EAST COLORADO BLVD. PASADENA, CA		SCALE AS SHOWN		DWG. NO.	
		ACCOUNT NUMBER			

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