



Planning & Community Development Department

1501-1525 E. WALNUT STREET PREDEVELOPMENT PLAN REVIEW

City Council
May 9, 2022





Predevelopment Plan Review (PPR)

Planning & Community Development Department

- Purpose of PPR
- Projects of Communitywide Significance
- Informational Only – No Action Required



Project Description

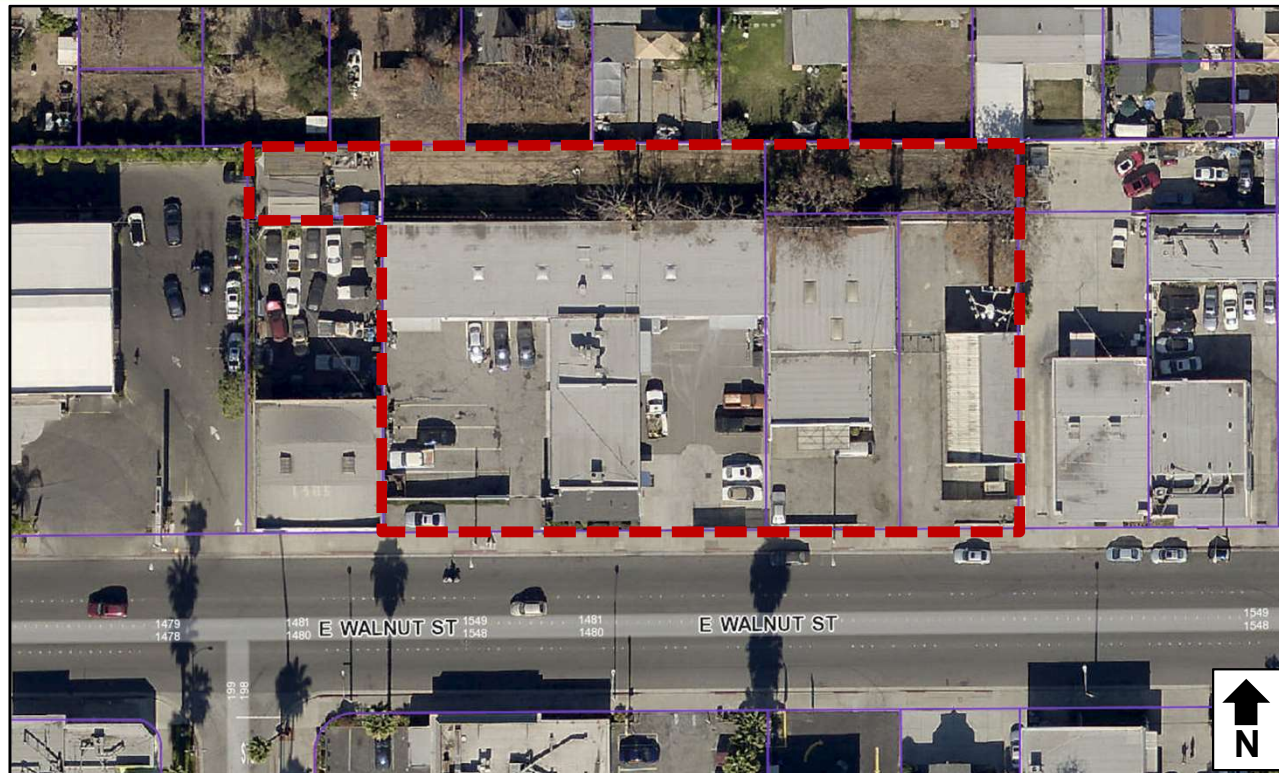
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- **Proposed Project:**
 - > Four-story Single-Room Occupancy project
 - 81 units
 - » 80 Single-Room Occupancy (30 at affordable levels)
 - » One resident manager unit
 - 45 feet tall
 - 60 surface parking spaces



Project Location

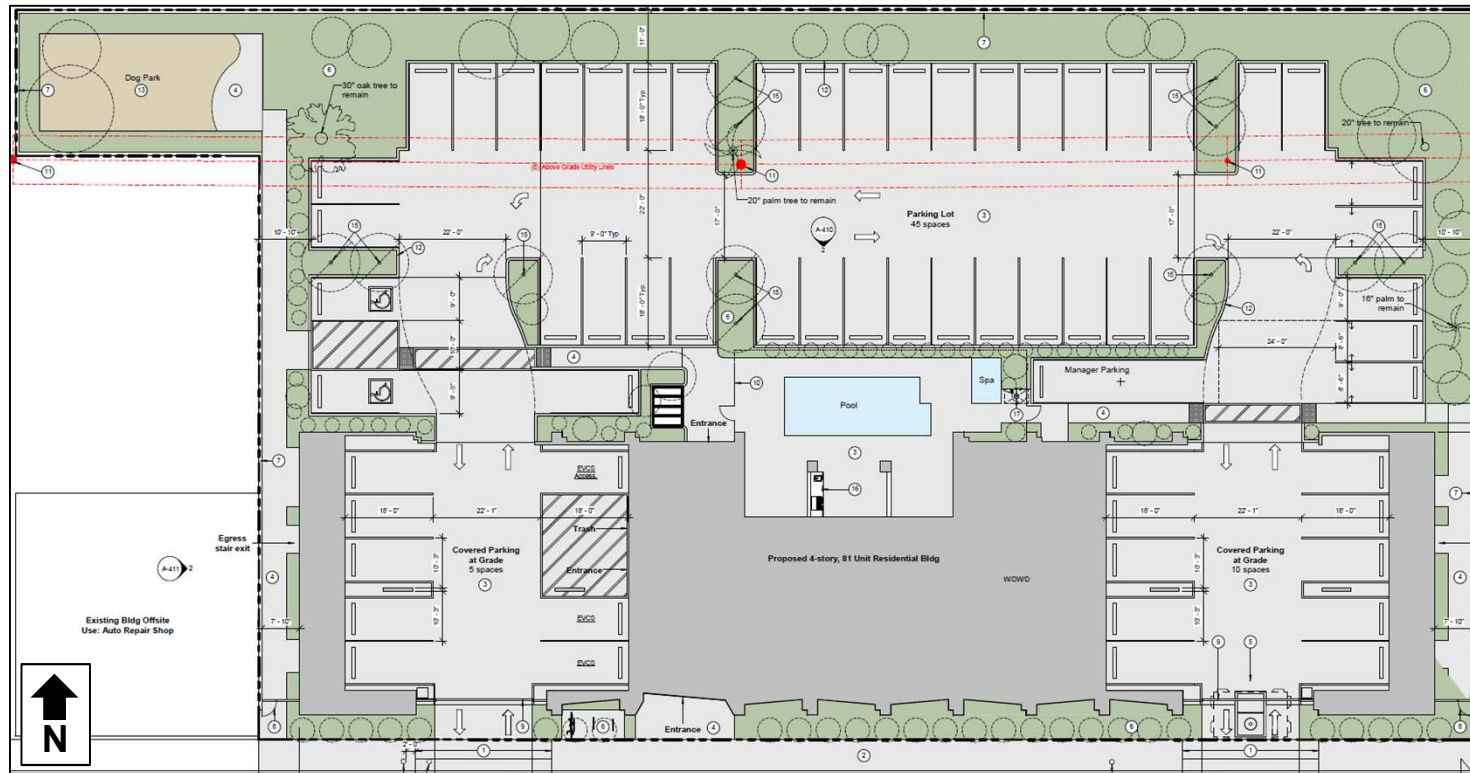
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Site Plan

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Preliminary Perspective (looking northeast)

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Current Planning PPR Comments

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Standard	Requirement	Proposed
Floor Area Ratio	0.80 (31,413 square feet)	1.06 (41,756 square feet)*
Height	45 feet	45 feet
Common Area	10 sq. ft. / unit or 250 sq. ft., whichever is greater	2,884 square feet
Setbacks		
E. Walnut Street (front)	Five feet minimum	Five feet
Northern property line (rear)	15 feet minimum	86'-10"
All other property lines (side)	No setback required	7'-10"

*With Density Bonus



Entitlement Process/Next Steps

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- **Design Review (Design Commission)**
 - > Preliminary Consultation (January 11, 2022)
 - > Concept Design Review
 - > Final Design Review
- **Environmental Review will occur during Concept Design Review**



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Current Planning PPR Comments

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Standard	Requirement/Allowed	Proposed
Parking		
Single-Room Occupancy (Affordable: 30 units)	One parking space for every four single-room occupancy units, plus two spaces for the resident manager. (8 spaces)	60 spaces
Single-Room Occupancy (Market Rate: 50 units)	One parking space for every one single-room occupancy unit, plus two spaces for the resident manager. (52 spaces)	