

ATTACHMENT C
PREDEVELOPMENT PLAN REVIEW PLANS



Early Conceptual rendering by City Fabrick

PASADENA, CA

PPR Submittal

June 18 2021



RAMONA SENIOR HOUSING



PROJECT DESCRIPTION

The Ramona Senior Housing Project is a new 5-Story 112 unit Senior affordable housing project located on the Northwest corner of Holly Street and Garfield Avenue. Common on-site amenities for the Senior residents include a Community Room with kitchen and computer workstations, two common laundry with lounge, property management and resident support offices. Outdoor amenities include a semi-public landscaped ground level courtyard that opens and an upper-level private courtyard. The project includes one level subterranean parking garage providing 44 stalls.

TABLE OF CONTENTS

OWNER

National Community Renaissance (NCRC)
9421 Haven Avenue
Rancho Cucamonga, CA 91730

COMMUNITY ENGAGEMENT

City Fabrick
425 East 4th Street, Unit E
Long Beach, CA 90802

ARCHITECTS

ONYX ARCHITECTS
2540 E. Colorado Blvd.
Pasadena, CA 91107

LANDSCAPE ARCHITECT

CIVIL ENGINEER

DK Engineering Corp
6420 Wilshire Blvd, Suite 1000
Los Angeles, CA 90048

SURVEYOR

Fusco Engineering Inc.
600 Wilshire Boulevard, Suite 1470,
Los Angeles, CA 90017

GENERAL

G01	COVER SHEET
G02	PROJECT INTRODUCTION
G03	PROJECT SUMMARY
G04	DESIGN INSPIRATION

SITE

ALTA TOPOGRAPHIC SURVEY 1 OF 2
ALTA TOPOGRAPHIC SURVEY 2 OF 2

CIVIL

C0.01	TITLE SHEET
C1.00	SUPPLEMENTAL UTILITY + TREE INVENTORY
C1.10	DEMOLITION + EROSION CONTROL
C1.20	ROUGH GRADING
C1.30	GRADING PLAN
C1.31	GRADING PLAN
C1.40	UTILITY + LID PLAN
C1.41	UTILITY + LID PLAN
C1.50	HORIZONTAL CONTROL+PAVING
C1.51	HORIZONTAL CONTROL+PAVING
C2.00	DETAILS

ARCHITECTURAL

A00	SITE CONTEXT
A01	CONTEXTUAL SITE
A02	VISUAL CONTEXT
A02.1	VISUAL CONTEXT ADJACENT BUILDINGS
A05	SITE PLAN
A06	SITE ZONING ENVELOPE
A07	SITE OPEN SPACE
A08	AXONOMETRIC DIAGRAM
A09	CIRCULATION DIAGRAM
A10	GARAGE P1
A11	LEVEL 1
A12	LEVEL 2
A13	LEVEL 3
A14	LEVEL 4
A15	LEVEL 5
A16	ROOF PLAN
A30	SECTION E-W
A31	COURTYARD SECTION
A32	BUILDING SECTION AT RAMP
A40	ENTRY CORNER LOGGIA
A41	ELEVATION STUDY
A42	COURTYARD AERIAL VIEW
A50	COURTYARD VIEW LOOKING WEST
A51	COURTYARD SOUTHWEST VIEW



RAMONA SENIOR HOUSING

JUNE 18 2021

PROJECT INTRODUCTION

G02

PROJECT INFORMATION

APN: 5723-018-910 279 E Holly St [280 Ramona St] Pasadena CA 91101
SITE AREA: 43,258 SF = 0.99 ACRES

ZONING: CD-2 (CIVIC CENTER / MIDTOWN)

SPECIFIC PLAN(S): BENNETT PLAN, CIVIC CENTER SPECIFIC PLAN, OLIN PASADENA CIVIC CENTER PLAN

FAR: 2.25 MAX [97,330 SF] / PROPOSED FAR = 1.91 [83,050 SF]

ALLOWABLE DENSITY: 87 DWELLING UNITS (DU) / ACRE [87 DU / 0.99 ACRE = 86.13 DU = **ROUND DOWN TO 86 DU**]

DENSITY BONUS: ALLOWED UNITS x 30% = ALLOWED UNITS AFTER BONUS
 86 DU x 30% = 25.8 DU = **ROUND UP TO 26 DU**
 86 DU + 26 DU = 112 DU ALLOWED

PROPOSED UNITS: 112 UNITS [100% OF THE UNITS WILL BE AFFORDABLE*]
 *EXCLUSIVE OF 2 BEDROOM MANAGER'S UNIT

GROSS FLOOR AREA: 17.80.020 (inside face of exterior walls)

FIRST FLOOR	18,185 SF (includes parking ramp)
SECOND FLOOR	16,295 SF
THIRD FLOOR	16,280 SF
FOURTH FLOOR	16,280 SF
FIFTH FLOOR	16,010 SF
NET FLOOR AREA:	83,050 SF

63,800 NSF (excludes garage, corridor, lobbies, elevators, and stairs)

BUILDING AREA:

FIRST FLOOR	19,490 SF
SECOND FLOOR	17,350 SF
THIRD FLOOR	16,940 SF
FOURTH FLOOR	16,820 SF
FIFTH FLOOR	16,670 SF
TOTAL	87,270 SF (excludes basement level garage)

SEMI-SUBTERRANEAN PARKING LEVEL | 23,056 SF
TOTAL WITH SUBTERRANEAN PARKING: 110,326 SF

BUILDING FOOTPRINT: 19,425 SF

LOT COVERAGE: 45 % = (19,425 SF / 43,258 SF)

NO. OF STORIES: 5 STORIES ABOVE GRADE + 1 LEVEL SEMI-SUBTERRANEAN PARKING

BUILDING HEIGHT: 60 FT MAX ALLOWED HEIGHT (PROPOSED HEIGHT +/- 59' - 9")

PARKING: 44 PARKING SPACES

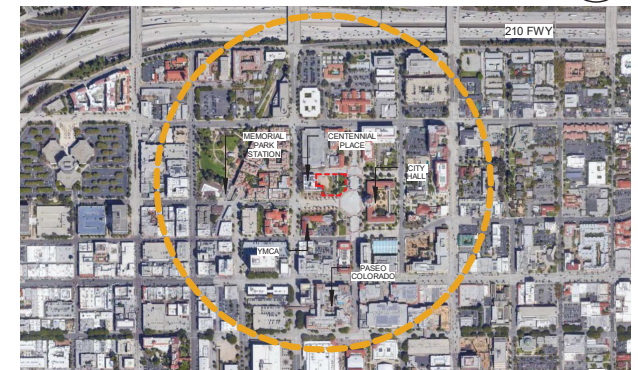
TYPE OF CONSTRUCTION: 5 LEVELS TYPE-IIIA OVER 1 LEVEL TYPE-1A

UNIT MIX:

UNIT TYPE	AREA GSF (NSF)	NO. OF UNITS
STUDIO A1	393-405 (364 -374)	37
STUDIO A2	460 (416)	3
STUDIO A3	382 (347)	4
STUDIO A4	455 (420)	4
STUDIO A5	355-365 (325-345)	9
1 BEDROOM	573-585 (530-545)	54
2 BEDROOM	812 (760)	1
TOTAL		112



VICINITY MAP



VICINITY MAP (1/4 MILE RADIUS)

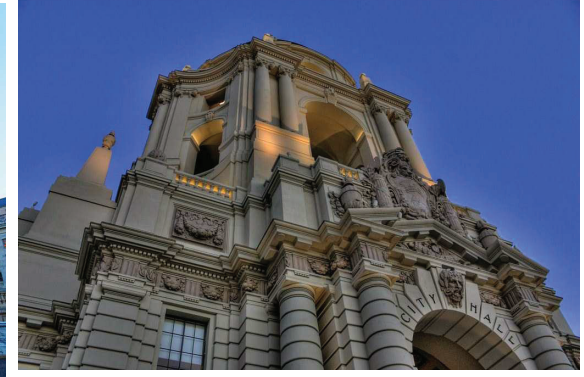


PROJECT SUMMARY



RAMONA SENIOR HOUSING

JUNE 18 2021



ONYX

RAMONA SENIOR HOUSING

DESIGN INSPIRATION

JUNE 18 2021

G04

ALTA/NSPS LAND TITLE SURVEY

ASSESSOR PARCEL NUMBER:
5723-018-910

TITLE INFORMATION

THE TITLE INFORMATION SHOWN HEREON IS PER PRELIMINARY REPORT ORDER NO. 187-3003186-A-AMM, DATED OCTOBER 8, 2020, AS PREPARED BY TITLY NATIONAL TITLE COMPANY, PASADENA, CA. TITLE OFFICER: ANDREW MARINO, TELEPHONE: (951) 710-9900. NO INSURANCE OF CONTENT, COMPLETENESS OR ACCURACY OF SAID REPORT IS ASSURED BY THE SIGNER OF THE SURVEY.

RECORD OWNER:

THE CITY OF PASADENA, A MUNICIPAL CORPORATION

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF PASADENA, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THOSE PORTIONS OF LOTS 1 AND 2 OF MRS. BOWEN'S SUBDIVISION, IN THE CITY OF PASADENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 26, PAGE 23 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AND

TOGETHER WITH THAT PORTION OF LOT 3 OF PASADENA CIVIC CENTER, IN THE CITY OF PASADENA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 181, PAGES 32 AND 33 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY LINE OF RAMONA STREET (60.00 FEET WIDE) DOWN WESTERLY 108.12 FEET FROM THE WESTERLY LINE OF GARFIELD AVENUE (150.00 FEET WIDE), THENCE WESTERLY ALONG SAID SOUTHERLY LINE OF RAMONA STREET SOUTH BY 25.12 FEET (14.43 FEET); THENCE SOUTH BY 29.50 FEET (EAST 83.57 FEET); THENCE NORTH BY 30.10 FEET (EAST 60.00 FEET); THENCE SOUTH BY 29.50 FEET (EAST 43.00 FEET); THENCE SOUTH BY 19.00 FEET (WEST 189.00 FEET TO THE EASTERLY LINE OF MARGARET AVENUE (SAD NORTH 88.00 FEET); THENCE SOUTHWESTERLY ALONG SAID EASTERLY LINE SOUTH BY 31.27 FEET (EAST 32.55 FEET) TO THE NORTHERLY LINE OF HOLLY STREET (150.00 FEET WIDE); THENCE ALONG SAID NORTHERLY LINE NORTH BY 19.00 FEET (EAST 132.18 FEET) TO A POINT IN A NON-IDENTICAL CURVE CONVERSE CIRCUMFERENTIALLY HAVING A RADIUS OF 122.50 FEET, A CHORD LINE TO SAID POINT BEARS NORTH 58° 24' 51" WEST; THENCE NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 34° 29' 34" TO SAID POINT; THENCE SOUTH BY 29.50 FEET TO A POINT IN THE WESTERLY LINE OF SAID GARFIELD AVENUE (150.00 FEET WIDE), A RADIAL LINE TO SAID POINT BEARS S 32° 43' WEST 133.74 FEET TO THE SOUTHERLY LINE OF SAID RAMONA STREET; THENCE ALONG SAID SOUTHERLY LINE SOUTH BY 25.12 FEET (WEST 108.12 FEET) TO THE POINT OF BEGINNING.

TITLE EXCEPTIONS:

ITEMS SHOWN AS (1) HAVE BEEN PLOTTED ON THE SURVEY.

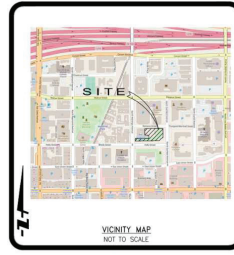
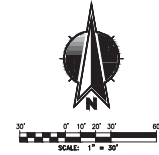
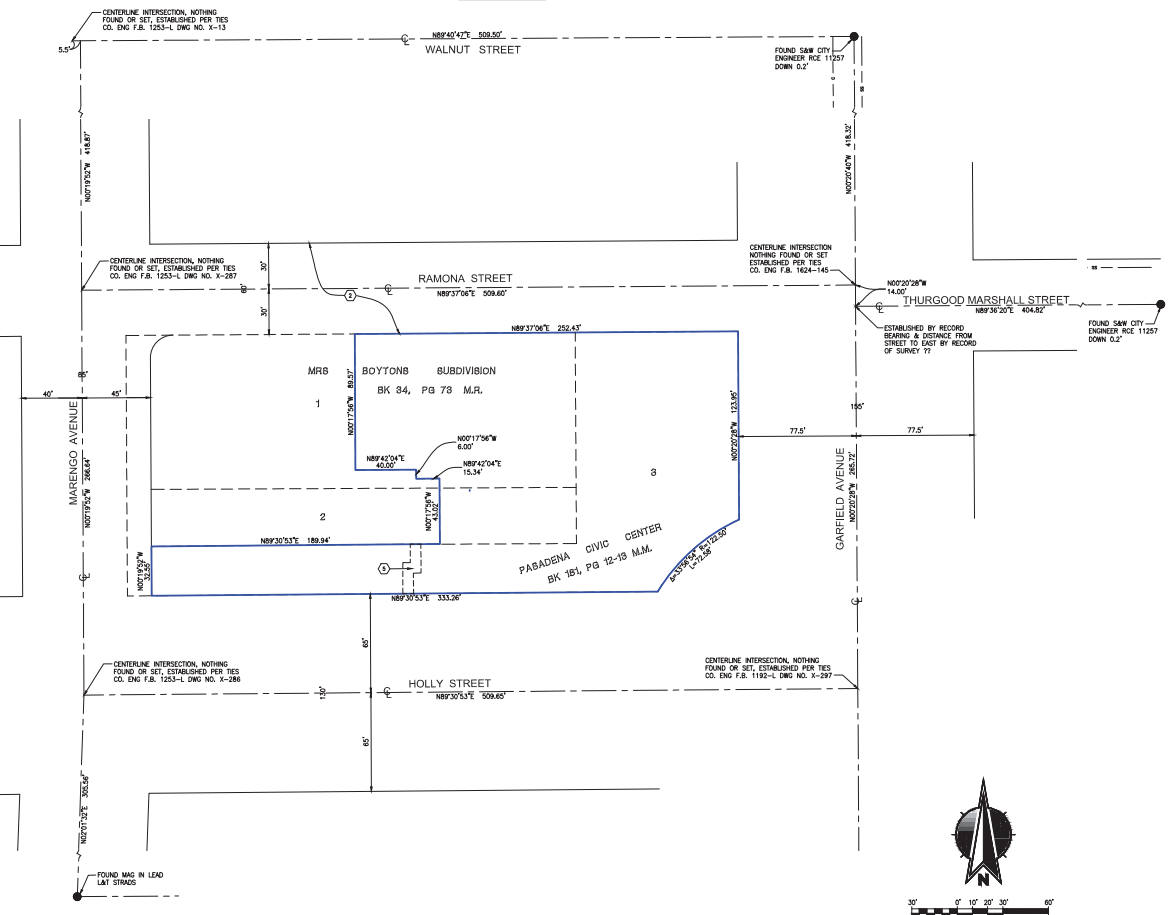
- A. INTENTIONALLY DELETED
- B. GENERAL AND SPECIAL CITY AND/OR COUNTY TAXES, BONDS, OR ASSESSMENTS WHICH MAY BECOME DUE ON OR AGAINST SAID LAND OR SAID LANDS NO LONGER VESTED IN A GOVERNMENTAL OR QUASIGOVERNMENTAL AGENCY, TAX PARCELS FOR SAID LANDS IS CURRENTLY AS OF 9/23/2018-9/10/20
- C. THE LIEN OF SUPPLEMENTAL OR ESCROW ASSESSMENTS OF PROPERTY TAXES, IF ANY, MADE PURSUANT TO THE PROVISIONS OF CHAPTER 3.2, COMMENCING WITH SECTION 780 OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA AS A RESULT OF THE TRANSFER OF INTEREST IN SAID LANDS AS SCHEDULED A OR AS A RESULT OF CHANGES IN OWNERSHIP OR NEW CONSTRUCTION OCCURRING PRIOR TO DATE OF THIS SURVEY
1. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.
- (2) EASEMENTS FOR THE PURPOSES(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS CONSIDERED BY AN INSTRUMENT:
ENTITLED: FINAL JUDGMENT COURT SUPERIOR COURT CASE NO: 144436
PURPOSE: STREET PURPOSES
RECORDING NO: BOOK 4607, PAGE 172, OF OFFICIAL RECORDS
AFFIDAVIT: THE NORTH 8 FEET OF SAID LAND, AS CONTAINED FOR THE WIDENING OF RAMONA STREET.
3. THE LAND DESCRIBED HEREIN IS INCLUDED WITHIN A PROJECT AREA OF THE REDEVELOPMENT AGENCY SHOWN BELOW, AND THAT PROCEEDINGS FOR THE REDEVELOPMENT OF SAID PROJECT HAVE BEEN INITIATED UNDER THE REDEVELOPMENT LAW (SUCH DEVELOPMENT TO PROCEED ONLY AFTER THE ADOPTION OF THE REDEVELOPMENT PLAN AS DISCLOSED BY A DOCUMENT, REDEVELOPMENT AGENCY: THE PASADENA DOWNTOWN REDEVELOPMENT PROJECT AREA.
RECORDING DATE: DECEMBER 29, 1979
RECORDING NO: 2042, OF OFFICIAL RECORDS
4. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT
ENTITLED: LICENSE AGREEMENT NO. 20599
EXECUTED BY: CITY OF PASADENA, AS SUCCESSOR AGENCY TO THE PASADENA COMMUNITY DEVELOPMENT COMMISSION, A MUNICIPAL CORPORATION AND THE CENTENNIAL PLACE LIMITED PARTNERSHIP, A CALIFORNIA LIMITED PARTNERSHIP
RECORDING DATE: JUNE 04, 2012
RECORDING NO: 20120840027, OF OFFICIAL RECORDS
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.
- (3) EASEMENTS FOR THE PURPOSES(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: INTEREST AND EASEMENTS
RECORDING DATE: JUNE 04, 2012
RECORDING NO: 20120840027, OF OFFICIAL RECORDS
AFFIDAVIT: SAID LANDS AS MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT, (OWNED HEREON)
6. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT
ENTITLED: CERTIFICATE OF COMPLIANCE
DATED MAY 31, 1991
EXECUTED BY: CITY OF PASADENA
RECORDING DATE: JULY 25, 1991
RECORDING NO: 91-1013607, OF OFFICIAL RECORDS
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

7. COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILY STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, CITIZENSHIP, IMMIGRATION STATUS, PRIMARY LANGUAGE, ANCESTRY, SOURCE OF INCOME, GENERATOR IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, EXCEPT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT RECORDING DATE: JULY 27, 1991
RECORDING NO: 89-1442965, OF OFFICIAL RECORDS
8. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT
ENTITLED: AGREEMENT CONTAINING COVENANTS AFFECTING REAL PROPERTY
DATED: SEPTEMBER 12, 1989
EXECUTED BY: PASADENA COMMUNITY DEVELOPMENT COMMISSION, A PUBLIC BODY, CORPORATION AND POLICE AND CENTENNIAL PLACE LIMITED PARTNERSHIP, A CALIFORNIA LIMITED PARTNERSHIP
RECORDING DATE: SEPTEMBER 12, 1989
RECORDING NO: 89-1442965, OF OFFICIAL RECORDS
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.
9. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT
ENTITLED: SPECIAL USER HOUSING REHABILITATION PROGRAM MEMORANDUM OF REGULATORY AGREEMENT
DATED: SEPTEMBER 12, 1989
EXECUTED BY: CENTENNIAL PLACE LIMITED PARTNERSHIP AND THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT
RECORDING DATE: SEPTEMBER 12, 1989
RECORDING NO: 89-1442965, OF OFFICIAL RECORDS
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

TITLE EXCEPTIONS CONTINUED:

10. COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILY STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, CITIZENSHIP, IMMIGRATION STATUS, PRIMARY LANGUAGE, ANCESTRY, SOURCE OF INCOME, GENERATOR IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, EXCEPT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT RECORDING DATE: JULY 27, 1991
RECORDING NO: 91-1013608, OF OFFICIAL RECORDS
11. PLEASE BE ADVISED THAT OUR SEARCH DID NOT DISCLOSE ANY OPEN DEEDS OF TRUST OF RECORD, IF YOU SHOULD HAVE KNOWLEDGE OF ANY OUTSTANDING OBLIGATION, PLEASE CONTACT THE TITLE DEPARTMENT IMMEDIATELY FOR FURTHER REVIEW PRIOR TO CLOSING.
12. ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS, OR WHICH THE COMPANY WILL REQUIRE, FOR REVIEW, A FULL AND COMPLETE COPY OF ANY UNRECORDED INSTRUMENT, INCLUDING LICENSE AND/OR LICENSE CONTINGENT UPON SURRENDER, THE ASSIGNMENT AND ASSIGNMENT THERETO, BEFORE ISSUING ANY PORTION OF TITLE INSURANCE WITHOUT EXHAUSTING THIS FEEL FROM CLOSING.
13. THE COMPANY RESERVES THE RIGHT TO EXCEPT ADDITIONAL FEES AND/OR MAKE ADDITIONAL REQUIREMENTS WITH REGARDING SAID DOCUMENTS.
MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTOR AND/OR BY A CORRECT ALTA/NSPS AND THE SIGNER OF SAID MAP THAT IS UNDISCLOSED TO THE CHANGING ADDRESS BY INQUIRY OF THE PARTIES IN POSSESSION THEREOF.

BOUNDARY PROCEDURE:



ALTA/NSPS TABLE A ITEMS:

- ITEM 2 THE SITE ADDRESS OBSERVED WHILE CONDUCTING THE SURVEY IS: 280 N RAMONA STREET, PASADENA, CA.
- ITEM 3 THE LAND SHOWN ON THIS SURVEY LIES WITHIN FLOOD ZONE "X" UNDEVELOPED BEING DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP FROM THE COMMUNITY PANEL NUMBER 0603013705, REVISION DATED SEPTEMBER 26, 2008.
- ITEM 4 THE GROSS LAND AREA IS: 43,435 SF / 0.9971 ACRES
- ITEM 5 THE ELEVATIONS HEREON ARE IN TERMS OF THE NATIONAL GEODETIC VERTICAL DATUM OF 1928 (NGVD83), BASED LOCALLY ON THE CITY OF PASADENA BENCHMARK DESCRIBED AS:
BOLT IN E CURB ENCLD. CL PRD# RAMONA ST.
ELEVATION = 841.58 FEET
THE CENTER INTERVAL IN THIS PLAT IS 0.5'
- ITEM 6(a) ZONING: CENTRAL DISTRICT SPECIFIC PLAN CD-20(C)C(C) CENTER/MOT(M)M
- ITEM 6(b) GARFIELD AVE = 10'
RAMONA ST. = SETBACK NOT REQUIRED
MIN 10'
- ITEM 6(c) SIDE: HOLLY STREET: MIN 10'-30" MIN
PER CIVIC CENTER(MOT(M)M) REPORT
- ITEM 6(d) THE ZONING SUMMARY WAS PROVIDED BY THE OWNER, NO RESPONSIBILITY OF CONTENT, COMPLETENESS OR ACCURACY OF SAID SUMMARY IS ASSURED BY THIS PLAT OR THE SURVEYOR.
- ITEM 7(a) SEE THE SURVEY PLAT FOR EXTERIOR DIMENSIONS OF BUILDINGS AT GROUND LEVEL.
- ITEM 7(b)(1) SEE THE SURVEY PLAT FOR THE SQUARE FOOTAGE OF THE EXTERIOR FOOTPRINT OF BUILDINGS AT GROUND LEVEL.
- ITEM 7(b) SEE THE SURVEY PLAT FOR THE MEASURED HEIGHT ABOVE GRADE OF AT GROUND LEVEL.
- ITEM 8 SEE THE SURVEY PLAT FOR SUBSTANTIAL FEATURES OBSERVED IN THE PROCESS OF CONDUCTING THE SURVEY.
- ITEM 9 SEE THE SURVEY PLAT FOR PARKING STRIPING AND TYPE OF PARKING SPACE. THE ADJACENT OFFSITE PARKING COUNT IS AS FOLLOWS:
REGULAR SPACES 37
HANDICAP SPACES 3
TOTAL SPACES 40
- ITEM 10(a) (PARTY WALLS) THERE ARE NO PARTY WALLS ON THE SUBJECT PROPERTY.
- ITEM 10(b) (PARTY WALLS - PLUMB) THERE ARE NO PARTY WALLS ON THE SUBJECT PROPERTY.
- ITEM 11 SEE THE SURVEY PLAT FOR THE LOCATION OF UTILITY EVIDENCE OBSERVED WHILE CONDUCTING THE SURVEY.
UTILITY LINES SHOWN HEREON ARE PLOTTED FROM FACILITY MAPS OBTAINED FROM UTILITY PROVIDERS OR PUBLIC RECORDS OBTAINED FROM CITY/COUNTY AGENCIES (SEE THE "UTILITY PURVEYORS" TABLE HEREON). INFORMATION OF THIS SURVEY BY THE LAND SURVEYOR DOES NOT CONSTITUTE A REPRESENTATION AS TO THE ACCURACY OF THE LOCATION OR THE EXISTENCE OR NON-EXISTENCE OF ANY UNDERGROUND UTILITY PIPE OR SUBSTRUCTURE WITHIN OR ADJACENT TO THE LIMITS OF THE SUBJECT PROPERTY, NOR IS IT INTENDED TO BE USED AS A METHOD TO DETERMINE EXACT LOCATIONS OF THE UTILITIES TO AVOID CONFLICTS.
- ITEM 12 UTILITIES SHOWN IN THE TABLE AS "CONTACTED - NO RESPONSE" HAVE NOT PROVIDED PLANS AT A LATER DATE. THE SURVEY WILL BE UPDATED TO INCORPORATE THEIR FACILITIES.
NO WORKING DAYS BEFORE EXAMINATIONS, CALL UNDERGROUND SERVICE ALERT (USA) OF SOUTHERN CALIFORNIA AT 1-800-227-9600.
- ITEM 13 SEE THE SURVEY PLAT FOR THE DISTANCE TO THE NEAREST INTERSECTING STREET.
- ITEM 14 SEE THE SURVEY PLAT FOR THE DISTANCE TO THE NEAREST INTERSECTING STREET.
- ITEM 15 THE TOPOGRAPHIC INFORMATION SHOWN HEREON WAS COMPILED PHOTOGRAMMETRICALLY FROM AERIAL PHOTOGRAPHY DATED JANUARY 26, 2021 AND SUPPLEMENTED BY A FIELD SURVEY COMPLETED IN FEBRUARY 2021.
- ITEM 16 THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK WITHIN RECENT YEARS.
- ITEM 17 THERE ARE NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES, OR OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- ITEM 18 THE SURVEYOR DID NOT OBSERVE DELINEATION MARKERS FOR NET LAND AREAS ON THE SUBJECT PROPERTY.
- ITEM 19 THE COMMITMENT DID NOT LIST OFFSITE EASEMENTS OR SERVICUES BENEFITING THE SURVEYED PROPERTY.
- ITEM 20 PROFESSIONAL LIABILITY INSURANCE WAS IN EFFECT THROUGHOUT THE CONTRACT TERM.

BASIS OF BEARING:

BEARINGS HEREON ARE IN TERMS OF THE CALIFORNIA COORDINATE SYSTEM OF 1983 (CGCS-83) ZONE 10, 2012.00 EPOCH, AS DERIVED LOCALLY BY GPS CONTINUALLY OPERATING REFERENCE STATION CITY, JPLA, PRD# AND VECT# AS PUBLISHED BY THE CALIFORNIA STATE REFERENCE CENTER, ALL DISTANCES WERE SCALED TO GROUND BY APPLYING THE COMPUTED CORRECTION FACTOR (CF) 0.999941820.

SURVEYOR'S CERTIFICATE:

TO: THE CITY OF PASADENA, A MUNICIPAL CORPORATION AND FIDELITY NATIONAL TITLE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2018 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS. I HAVE ESTABLISHED AND ADJUSTED BY ALTA AND NSPS, AND INDICES (STARS 1, 2, 3, 4, 5, 6(a), 6(b) FROM 7(b)(2), 7(c), 8, 9, 10, 11, 12, 13, 14, 15, 16(a), 16(b), 17, 18, 19, 20, 25 AND 27 OF TABLE A THERETO) THE FOLLOWING WAS COMPLETED ON APRIL 13, 2021.

Robert R. Triggall, PLS
ROBERT R. TRIGGALL, PLS #254
EMAIL: rtriggall@plsoia.com

04/29/2021
DATE

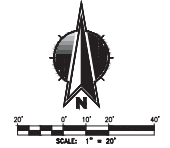
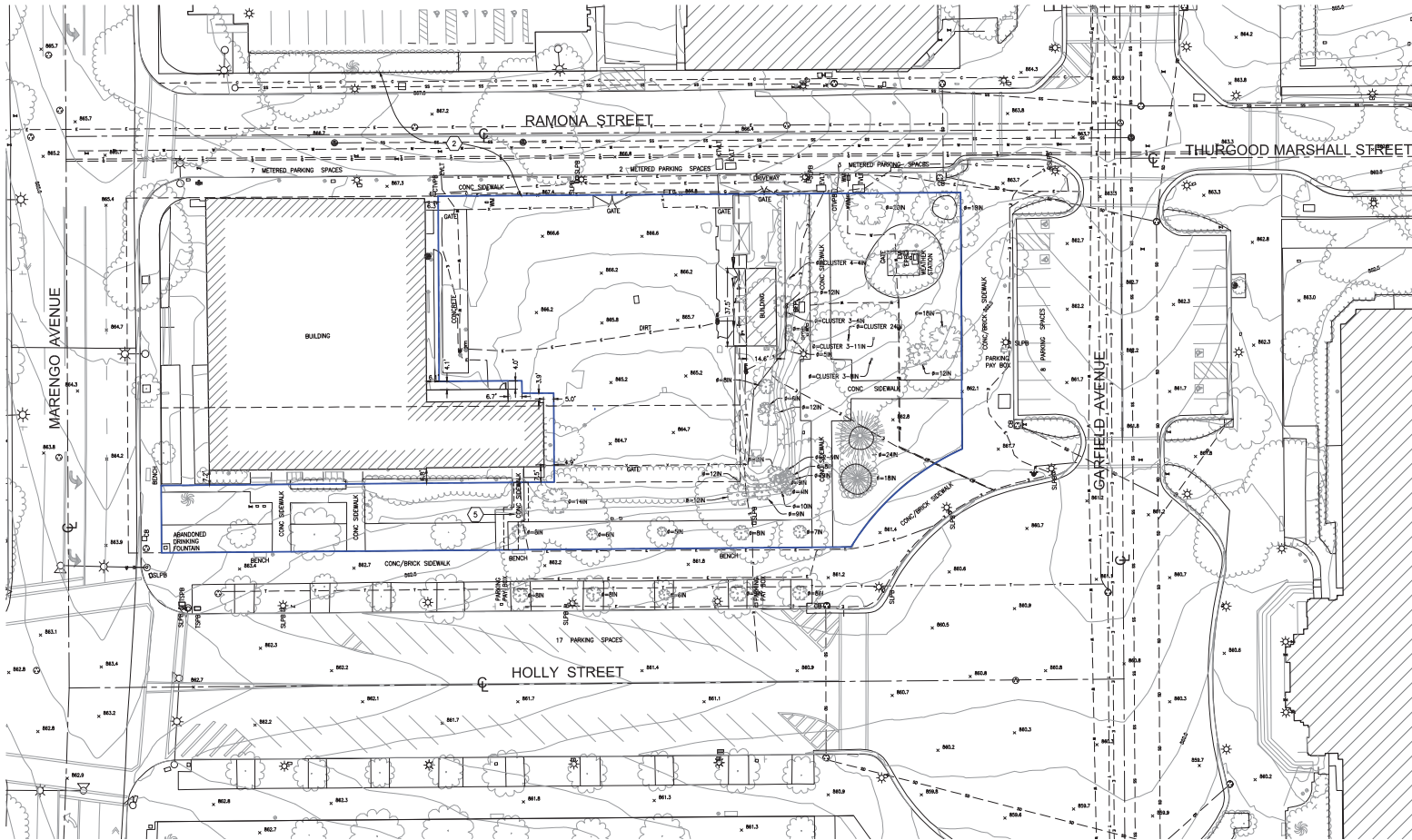
NO.	DATE	REVISION



ALTA/NSPS LAND TITLE SURVEY
OF: ROMONA SEAND HOUSING
280 N. RAMONA STREET
PASADENA, CA 91101
for: NATIONAL CORE

DATE: April 28, 2021
FILE: 1853-013 ALTA
JOB: 1853-013-00700
DRAWN BY: BLS
CHECKED BY: JMT
SHEET 1 OF 2

ALTA/NSPS LAND TITLE SURVEY



- LINE LEGEND:**
- SUBJECT PROPERTY LINES
 - CENTERLINES
 - - - EASEMENT LINES
 - - - ADJACENT PROPERTY LINES
 - EXISTING SEWER
 - EXISTING SEWER DRAIN
 - EXISTING WATER
 - EXISTING TELEPHONE CONDUIT/DUCT BANK
 - EXISTING COMMUNICATIONS CONDUIT/DUCT BANK
 - EXISTING ELECTRICAL CONDUIT/DUCT BANK
 - EXISTING GAS LINE

- SYMBOL LEGEND:**
- ▲ FIRE HYDRANT
 - LIGHT-AREA
 - LIGHT-STREET W/ARM
 - ⊙ MANHOLE-UNKNOWN UTILITY
 - POST
 - ⊙ TRAFFIC SIGNAL WITH ARM AND LIGHT
 - ⊙ VALVE-UNKNOWN

- ABBREVIATIONS:**
- BFP BACK FLOW PREVENTOR
 - CB CATCH BASIN
 - CL CENTERLINE
 - EW ELECTRIC WALK
 - EPB ELECTRIC PULL BOX
 - FSK FUSE BOX
 - FLSFB STREET LIGHT PULL BOX
 - TSPB TRAFFIC SIGNAL PULL BOX
 - TWT TELEPHONE WALK
 - VLT VALVE
 - WM WATER METER

TOPOGRAPHY NOTE:
 THE TOPOGRAPHY SHOWN HEREON IS BY:
 VERTICAL MAPPING RESOURCES
 2202 S. COUNTY CLUB DR, SUITE 105
 MESA, ARIZONA 85210
 PHOTO DATE: 1/26/21
 0.5' FOOT CONTOURS

NO.	DATE	REVISION



ALTA/NSPS LAND TITLE SURVEY of: ROMONA SENIOR HOUSING 280 N. RAMONA STREET PASADENA, CA 91101 for: NATIONAL CORE	DATE: April 28, 2021 FILE: 1653-013 ALTA JOB: 1653-013-00/00 DRAWN BY: BJA CHECKED BY: HRT SHEET 2 OF 2
---	--



February 5, 2021

Mr. Dave Gurnay
 DE Engineering Corporation
 6420 Wilshire Boulevard, Suite 1000
 Los Angeles, California 90048

Subject: Fire Flow Results for 279 East Holly Street

Dear Mr. Gurnay:

In response to your request for information on water pipeline pressure and fire flow at 279 East Holly Street, a fire flow test was conducted on fire hydrant number 516-B on February 4, 2021 and the results were as follows:

Fire Hydrant number 516-B:

Static Pressure:	78	psi
Flow Pressure:	75	psi
Flow:	55	gal
Total Observed Flow:	1351	gpm
Flow at 20-psi residual:	6192	gpm

Fire hydrant number 516-A is located on the north-south of Holly Street, on the northeast corner of Holly Street and Garfield Avenue. The residual pressure was taken at fire hydrant number 516-1E.

If you have any questions, please contact our Water Utility Services Planning Section, at (626) 744-4495.

Sincerely,

Brad Borman
 Brad Borman
 Engineering Manager
 Pasadena Water and Power Department

PR 9 20 Public Access 4 Size 100 x Pasadena, CA 91101

ABBREVIATIONS:

Qa	25 YEAR PEAK FLOW RATE	N	NORTH
Qa	10 YEAR PEAK FLOW RATE	NAGST	NORTH AMERICAN DATUM OF 1983
ADA	AMERICANS WITH DISABILITIES ACT	NIS	NOT TO SCALE
AC	ASPHALTIC CONCRETE	ONS	OFFSET
AW	WAD OF WALL	OVG	ON CENTER
BCE	BENCH CLAVE RETURN	OV	OVERHEAD AIRS
BH	BENCHMARK	PCI	PACIFIC COAST HIGHWAY
BPM(S)	BEST MANAGEMENT PRACTICES(S)	PLH	PLUM TREE
BOS	BOTTOM OF STEP	PL	PAVEL
BOX	BOX	POD	POSTAL
GTV	CABLE TELEVISION	PVC	POLYVINYL CHLORIDE
GA	GABINET	KCC	PORTLAND CEMENT CONCRETE
CA/TN&E	CALIFORNIA DEPARTMENT OF TRANSPORTATION	PP	POWER POLE
Q/TN	CALIFORNIA REAL TIME NETWORK	PL	PROPERTY LINE
CP	CAST IRON PIPE	PROP.	PROPOSED
CB	CATCH BASIN	PWB	PUBLIC WORKS FIELD BOOK
CL	CENTER LINE	RS	RAIL ROAD/SPIRE
CLF	CHAIN LINK FENCE	REF	REFERENCE
DLA, COL	CITY OF LONG BEACH	R/W	RIGHT-OF-WAY LINE
CF	CURB FACE	RG	ROAD GRADE
CFS	CURB FEET PER SECOND	SS	SANITARY SEWER
COM	COMMUNICATION	SSH/SHH	SANITARY SEWER MANHOLE
COMH	COMMUNICATION MANHOLE	SON	SON
CONC	CONCRETE	SF	SLOPE FEET/100
DS	DOWNDRAFT	S	SOUTH
DW	DOMESTIC WATER	S'	SOUTH OF
DWF	DRAINWAY	SKR	SKRIP
E	EAST	SF	SQUARE FEET
ELY	EASTERLY	STD	STANDARD
ESC	EDGE OF CONCRETE	SPVIC	STANDARD PLAN FOR PUBLIC WORKS CONSTRUCTION
ES	EDGE OF CURB	STN	STATION
EP	EDGE OF PAVEMENT	ST	STREET
ELEC	ELECTRIC	SD	STORM DRAIN
E&R	ELECTRICAL BOX	SSH	SEWER MANHOLE
EMH	ELECTRICAL MANHOLE	S	STREET LIGHT
EL, ELEV.	ELEVATION	S.B	STREET LIGHT BOX
EO	END CLAVE RETURN	TEL	TELEPHONE
EO, OR, CL	ENDING	TC	TOP OF CURB
FF	FINISHED FLOOR	TG	TOP OF GRADE
FG	FINISHED GRADE (LANDSCAPE)	TOS	TOP OF STEP
FS	FINISHED SURFACE (PAVING)	TW	TOP OF WALL
FW	FIRE HYDRANT	TR	TRAFFIC MARKING
FW	FIRE WATER	TS	TRAFFIC SIGNAL
FL	FLOW LINE	TSS	TRAFFIC SIGNAL BOX
FD	FLUO	TL	TRAFFIC SIGNAL LIGHT
GPM	GALLONS PER MINUTE	TSSB	TRAFFIC SIGNAL FULL BOX
G	GAS	TYP	TYPICAL
GV	GAS VALVE	UG	UNDER GROUND CONDUIT
GB	GRADE BREAK	UNT	UNITS
Hwy	HIGHWAY	VERT	VERTICAL
IMP	IMPERVIOUSNESS	VCP	VITRIFIED CLAY PIPE
IN	INCHES	WGR	WASHER
IN	INSET	WH	WATER METER
JP	JOINT POWER POLE	WW	WATER VALVE
LT	LIGHT	W	WEST
LL	LOT LINE	WLY	WESTLY
HP	MANHOLE	WLD, ADA RRP	WHEELCHAIR RAMP
MB	MANHOLE	W	W
MSL	MEAN SEA LEVEL	YMCA	YOUNG MEN'S CHRISTIAN ASSOCIATION
MSC	MISCELLANEOUS		
MW	MONITORING WELL		
MDN	NONPARENT		
NAD83	NATIONAL GEODETIC VERTICAL DATUM OF 1983		
NG	NATURAL GRADE		
NI	NEW		

GENERAL NOTES:

- WORK ON PLANS SHALL BE COMPLETED PER LOCAL BUILDING CODE AND DETAILS AND LATEST "GENERAL CONDITIONS".
- GRADING SHALL BE PER LA CITY SLOPE APPROVAL LETTER AND PROJECT GEOTECHNICAL REPORT BY AN INC. DATED 06/01/20.
- PROJECT TOPOGRAPHY WILL BE SURVEYED BY FUSCO ENGINEERING, DATED MARCH 10, 2021.
- PRIDE TO ANY CONTRACTOR CHANGES TO APPROVED CIVIL PLANS, CONTRACTOR SHALL OBTAIN APPROVAL BY MEETING FROM PROJECT ENGINEER OF RECORD.
- EXISTING UTILITY INFORMATION OBTAINED FROM PROJECT SURVEY AND/OR PUBLIC UTILITY RECORDS, CONTRACTOR SHALL FIELD VERIFY UTILITY LOCATIONS, SIZES, AND DEPTHS.
- CONTRACTOR SHALL VERIFY PROJECT GEOTECHNICAL ENGINEER OF RECORD'S UNFAVORABLE GEOTECHNICAL CONDITIONS ARE DISCOVERED.
- GRADES SHOWN ON THE FIRE GRADING PLAN REPRESENT THE FINAL CONDITIONS, CONTRACTOR TO SURVEY AND MAKE FIELD MEASUREMENTS TO VERIFY SOUP GRAD ELEVATIONS.
- WATER LINES SHALL BE INSTALLED A MIN 36" BELOW FINISH GRADE PER LOCAL CODES.

GRADING NOTES:

- ALL GRADING SLOPES SHALL BE FINISHED AND SPURVEINED (703.1).
- STANDARD 12" HIGH BERM IS REQUIRED AT TOP OF ALL GRADED SLOPES (703.1.3).
- NO FILL TO BE PLACED, UNTIL THE CITY GRADING INSPECTOR HAS INSPECTED AND APPROVED THE BOTTOM ELEVATION.
- FINISHED FILL SHALL BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 90% MAX. DRY DENSITY WITHIN 40 FEET BELOW FINISH GRADE AND 90% OF MAX. DRY DENSITY DEEPER THAN 40 FEET BELOW FINISH GRADE, UNLESS A LOWER RELATIVE COMPACTION (NOT LESS THAN 90% OF MAX. DRY DENSITY) IS SPECIFIED BY THE SOILS ENGINEER.
- TEMPORARY EROSION CONTROL TO BE INSTALLED BY THE CONTRACTOR AND SHALL BE, OPENING GRADING INSPECTORS AND DEPARTMENT OF PUBLIC WORKS APPROVAL OF PROPOSED PROCEDURES (1-2000) (700.1).
- REGISTERED DEPTH GRADING INSPECTOR IS REQUIRED ON GRADING AND FOUNDATION GATHWORK WHERE SITE EXCEEDS 60% OF CUT OR FILL SLOPES EXCEED 3:1 CUTS EXCEED 4FT IN HEIGHT AND WITHIN 10 FT OF A PROPERTY LINE. FOUNDATION ELEVATION BELOW 2.1 PLANE FROM PROPERTY LINE, PROJECTS INVOLVE UNUSUAL METHODS OR GRADING WORKING INCLUDING SLOPES (1-2000).
- STANDING WALLS LOCATED CLOSER TO THE PROPERTY LINE THAN THE HEIGHT OF WALL SHALL BE BACKFILLED NOT LATER THAN 10 DAYS AFTER COMPLETION OF THE WALL AND NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS SPECIFIED OTHERWISE BY RESPONSIBLE ENGINEER.

PROJECT INFORMATION:

LEGAL DESCRIPTION:
 PORTIONS OF LOTS 1 AND 2 OF THE BENTONVILLE SUBDIVISION,
 PORTION OF LOT 1 OF RAMONA CORE CENTER

OWNER:
 NATIONAL CORE
 942 HANBY AVE.
 BAKERSFIELD, CALIFORNIA, CA 93309

CIVIL ENGINEER:
 ONYX ENGINEERS, INC.
 2540 E. Colorado Boulevard
 Pasadena, California 91107
 v. 026.603.001

CONTRACT NO. INCHENR-17-0001
 17-0001-010
 MONROVIA, CA 91016

CIVIL SHEET INDEX:

C0-01	TITLE SHEET
C0-02	SURVEY (FOR REFERENCE ONLY)
C0-03	EROSION CONTROL AND DEWATERATION PLAN
C0-04	ROUGH GRADING PLAN
C0-05	GRADING PLAN
C0-06	UTILITY AND LID PLAN
C0-07	UTILITY AND LID PLAN
C0-08	HORIZONTAL CONTROL AND PAVING PLAN
C0-09	HORIZONTAL CONTROL AND PAVING PLAN
C0-10	DETAILS



VICINITY MAP
 NOT TO SCALE

1-800-227-2600
 CALL USA/SC FOR
 UNDERGROUND LOCATING
 48 HOURS BEFORE YOU
 DIG!

IMPORTANT NOTICE
 SECTION 4216/4217 OF THE GOVERNMENT CODE
 REQUIRES A QUALIFIED IDENTIFICATION NUMBER
 BE OBTAINED BEFORE A PERMIT TO EXCAVATE
 WILL BE ISSUED. FOR YOUR PROTECT ED
 NUMBER CALL UNDERGROUND SERVICE ALERT
 TOLL FREE 1-800-227-2600 TWO WORKING
 DAYS BEFORE YOU DIG.



NO. DESCRIPTION DATE
 PPR SUBMITTAL 04/12/2021

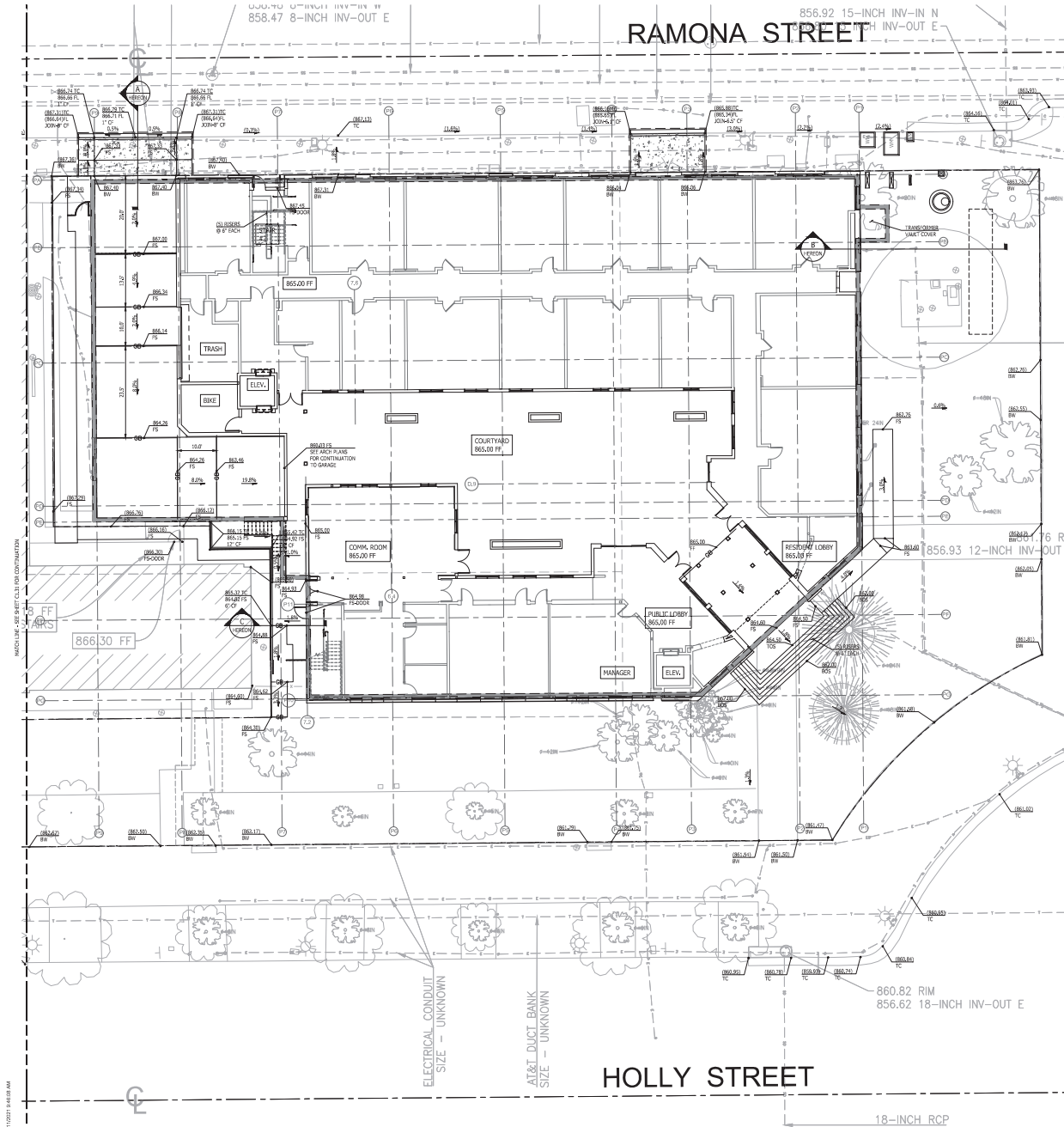
NCR NATIONAL CORE

RAMONA SENIOR HOUSING
 PASADENA, CA

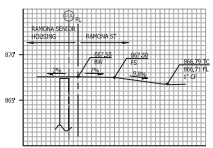
PROJECT PHASE
 SCHEMATIC DESIGN

TITLE SHEET

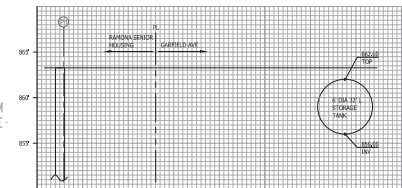
C-0.01



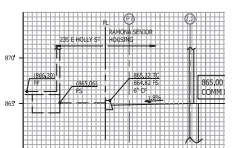
- LEGEND:**
- PROPERTY LINE
 - LIMIT OF WORK
 - [Pattern] CONCRETE PAVING ON GRADE PER DETAIL 1, C.O.I.
 - [Pattern] CONCRETE OVER STRUCTURE PER STRUCTURAL PLAN, FINISH, COLOR AND DECORAL PATTERN PER LANDSCAPE ARCH.
 - [Pattern] PLANTER AREA PER LANDSCAPE
 - [Pattern] GRAVEL PER LANDSCAPING PLANS
 - [Symbol] TREES, REFER TO LANDSCAPE FOR DETAILS



SECTION A
SCALE: 1/4"



SECTION B
SCALE: 1/4"



SECTION C
SCALE: 1/4"



DKE
DKE ENGINEERS, CORP.
6430 WILSHIRE BLVD., #1000
LOS ANGELES, CA 90048
310.856.0246



2540 E Colorado Boulevard Pasadena, California 91107
v. 026.023.001 www.onyxarchitect.com



NO. DESCRIPTION DATE
PPR SUBMITTAL 04/12/2021

NCR NATIONAL CORE

RAMONA SENIOR HOUSING
PASADENA, CA

PROJECT PHASE
SCHEMATIC DESIGN

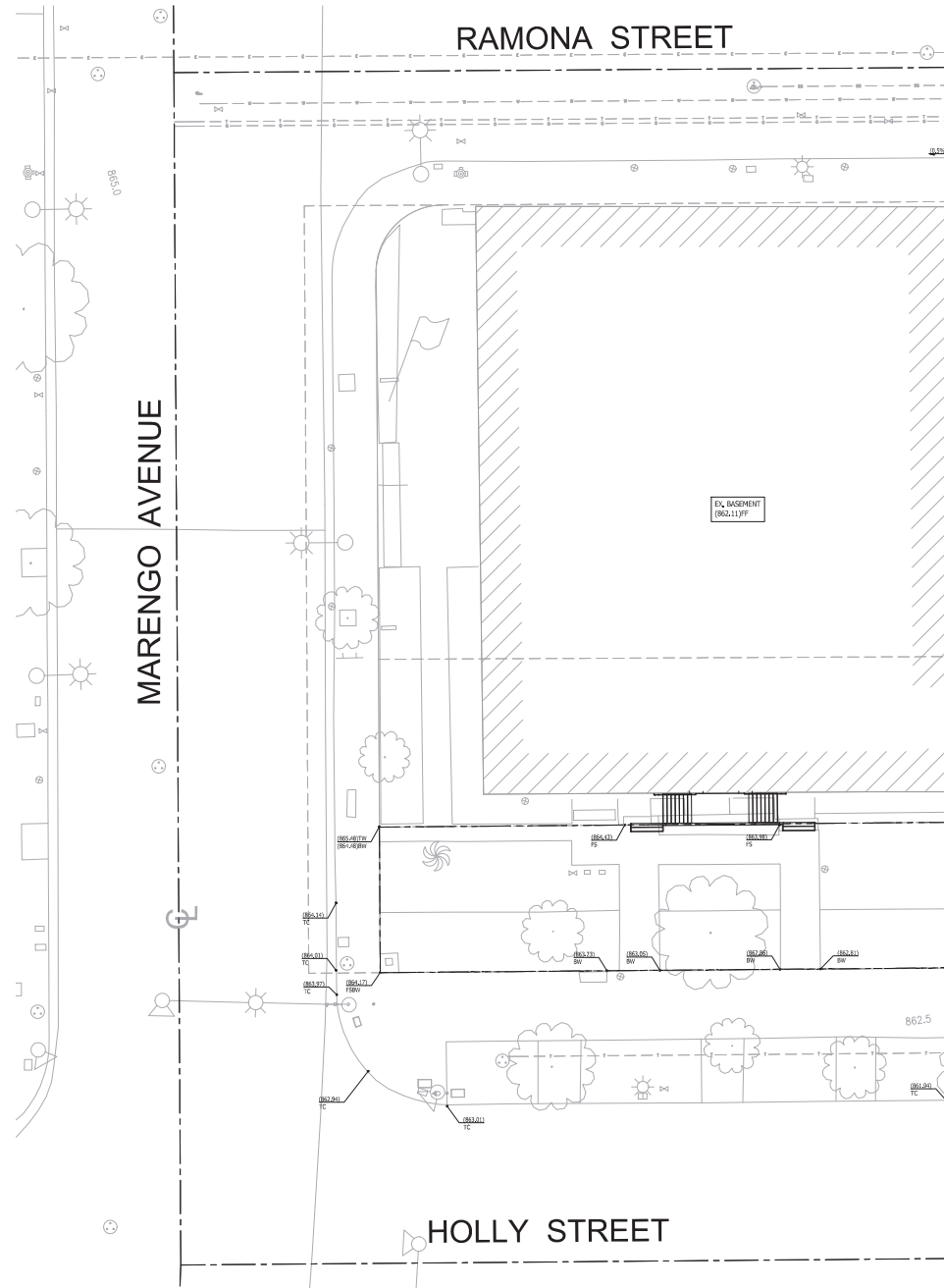
GRADING PLAN



C-1.30

3/11/2021 9:48:58 AM

© ONYX ARCHITECTS, INC. | PASADENA, CALIFORNIA



- LEGEND:**
- PROPERTY LINE
 - - - - - LIMIT OF WORK
 - [Pattern: Dotted] CONCRETE PAVING ON GRADE PER DETAIL 5, C201.
 - [Pattern: Cross-hatched] PERMEABLE PAVES PER DETAIL 7, C201.
 - [Pattern: Stippled] CONCRETE OVER STRUCTURE PER STRUCTURAL PLAN, FINISH COLOR AND SCORING PATTERN PER LANDSCAPE AND/1
 - [Pattern: Dotted with dots] PLANTER AREA PER LANDSCAPE
 - [Pattern: Stippled with dots] GRAVEL PER LANDSCAPING PLANS
 - [Symbol: Tree icon] TREE, REFER TO LANDSCAPE FOR DETAILS

INCOMPLETE - SEE SHEET C-132 FOR CONTINUATION



DKE
 DKE ENGINEERS, CORP.
 4420 WILSHIRE BLVD., #1000
 LOS ANGELES, CA 90048
 310.406.0246

ONYX
 2540 E Colorado Boulevard Pasadena, California 91107
 v. 528.462.0001 www.onyxarchitects.com



NO.	DESCRIPTION	DATE
1	PPR SUBMITTAL	04/12/2021

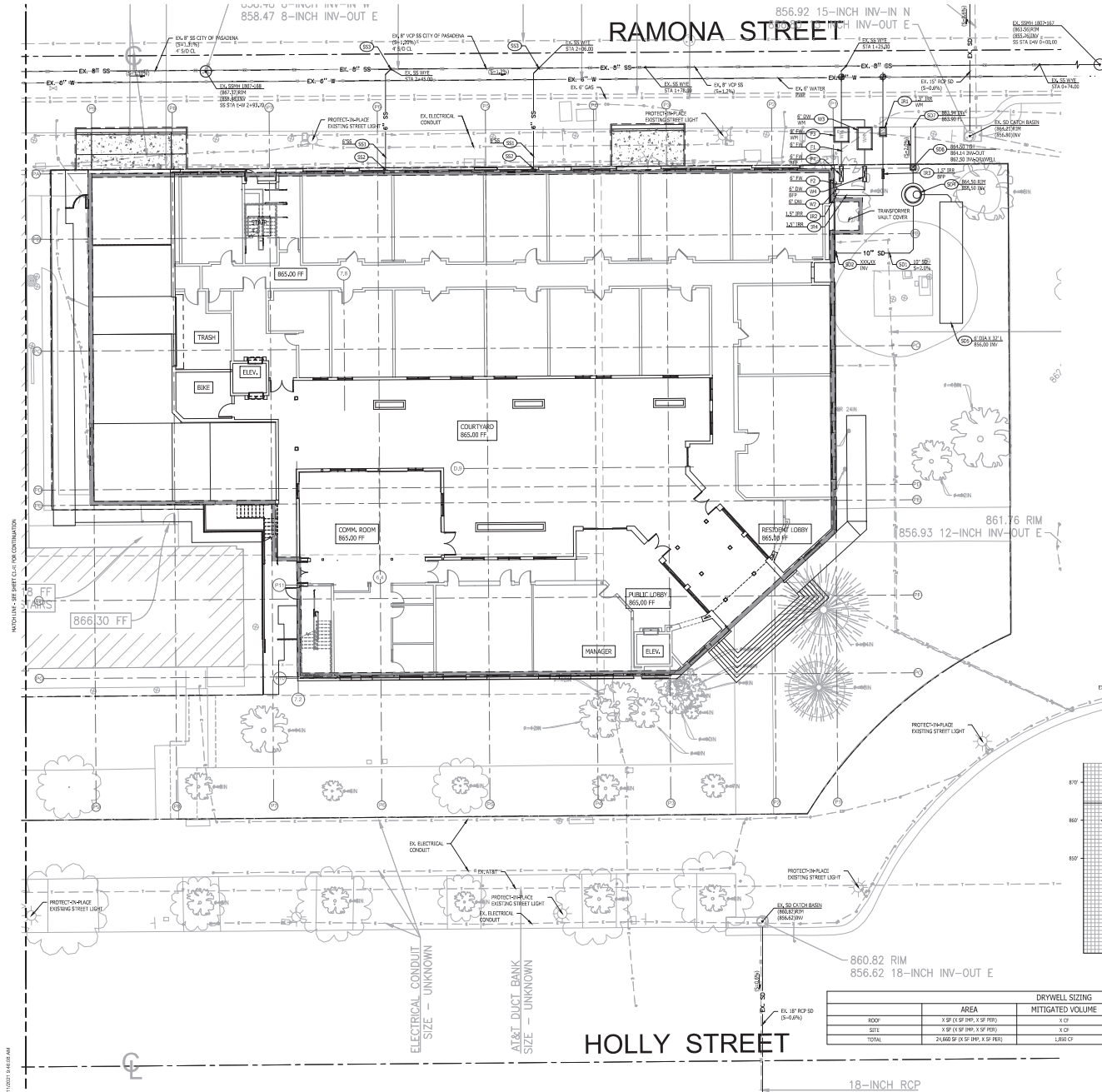
NCRC NATIONAL CORE

RAMONA SENIOR HOUSING
 PASADENA, CA

PROJECT PHASE
 SCHEMATIC DESIGN

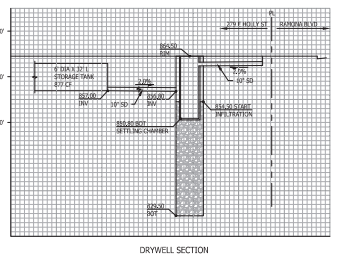
GRADING PLAN





- LEGEND:**
- STORM DRAIN: PROPERTY LINE
 - LINE OF WORK
 - CONCRETE PAVING ON GRADE PER DETAIL 3, C2.01
 - PERMEABLE PAVEMENT PER DETAIL 7, C2.01
 - CONCRETE OVER STRUCTURE PER STRUCTURAL PLAN, FINISH COLOR AND SPOCCING PATTERN PER LANDSCAPE ARCH
 - PLANTER AREA PER LANDSCAPE
 - GRAVEL FOR LANDSCAPING PLANS
 - TREE, REFER TO LANDSCAPE FOR DETAILS

- UTILITY CONSTRUCTION NOTES:**
- STORM DRAIN**
- INSTALL 30" PVC STORM DRAIN PIPE PER DETAIL 2, SHEET C2.00. SIZE PER PLAN.
 - POINT OF CONNECTION FROM BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
 - INSTALL 4" DIA. FLOOR DRAIN IN TRAYS. BY DRAIN OR APPROVED EQUAL.
 - 6" DIA. X 30' DEEP SPRINKLER BY TOMBERT. SEE DETAIL X, SHEET C2.00.
 - STORMWATER STORAGE TANK. SIZE AND LOCATION TO BE DETERMINED. SEE DETAIL X, SHEET C2.00.
 - 24" X 24" CATCH BASIN BY JENSEN OR APPROVED EQUAL. SEE DETAIL X, SHEET C2.00.
 - CURB DRAIN. SIZE AND LOCATION TO BE DETERMINED. SEE DETAIL X, SHEET C2.00.
- WATER**
- INSTALL 4" CPVC WATER PIPE PER DETAIL 2, SHEET C2.00.
 - POINT OF CONNECTION TO FROM BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
 - 4" WATER METER BY LAMAR. CONTRACTOR TO COORDINATE INSTALLATION WITH PASADENA WATER AND POWER.
 - INSTALL 4" REDUCED PRESSURE BACKFLOW PREVENTER. CONTRACTOR TO INSTALL PER MANUFACTURER'S SPEC.
 - THRUST BLOCK ON ALL WATER LINES ABOVE 2" PER A.P.A. GREEN BOOK STD 004-X DETAIL 3, SHEET C2.00.
- FIRE WATER**
- INSTALL 4" CPVC WATER PIPE PER DETAIL 2, SHEET C2.00. SIZE PER PLAN.
 - POINT OF CONNECTION TO FROM BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
 - 4" FIRE WATER VALVE. CONTRACTOR TO COORDINATE INSTALLATION WITH PASADENA WATER AND POWER.
 - INSTALL 4" REDUCED PRESSURE BACKFLOW PREVENTER WATTS MODEL 12000A OR APPROVED EQUAL.
 - INSTALL FDC. SEE FIRE SPRINKLER PLANS FOR DETAILS.
- DRY UTILITIES**
- PASADENA WATER AND POWER TRANSFORMER FOR MEP PLANS.
- IRRIGATION**
- 1" IRRIGATION WATER METER BY LAMAR. CONTRACTOR TO COORDINATE INSTALLATION WITH PASADENA WATER AND POWER.
 - POINT OF CONNECTION. SEE IRRIGATION PLANS FOR CONTINUATION.
 - 1" REDUCED PRESSURE BACKFLOW PREVENTER. SEE LANDSCAPE PLANS FOR DETAILS.
 - INSTALL SCHEDULE 40 PVC IRRIGATION PIPE. SIZE PER PLAN.
- SANITARY SEWER**
- INSTALL 30"-36" PVC SEWER PIPE PER DETAIL 2, SHEET C2.00. SIZE PER PLAN.
 - POINT OF CONNECTION TO FROM BUILDING. SEE PLUMBING PLANS FOR CONTINUATION. BACKWATER VALVE REQUIRED FOR FDC LATERAL.
 - W/ST EXISTING SEWER LATERAL. CONTRACTOR TO VERIFY INVERT AND CONDITION. IF NOT SUABLE, INSTALL W/ST CONNECTION PER CITY OF PASADENA PLAN 5-200. SEE DETAIL X, SHEET C2.00.



DRYWELL SIZING				
	AREA	MITIGATED VOLUME	BMP	BMP VOLUME
ROOF	1,816 SF (X 0.17 X SF PER)	1,029 CU FT	DRYWELL	-
SITE	1,816 SF (X 0.17 X SF PER)	1,029 CU FT	DRYWELL	-
TOTAL	3,632 SF (X 0.17 X SF PER)	2,058 CU FT	DRYWELL	1,029 CU FT



NO. DESCRIPTION DATE
PPR SUBMITTAL 04/12/2021

NCR NATIONAL CORE

RAMONA SENIOR HOUSING
PASADENA, CA

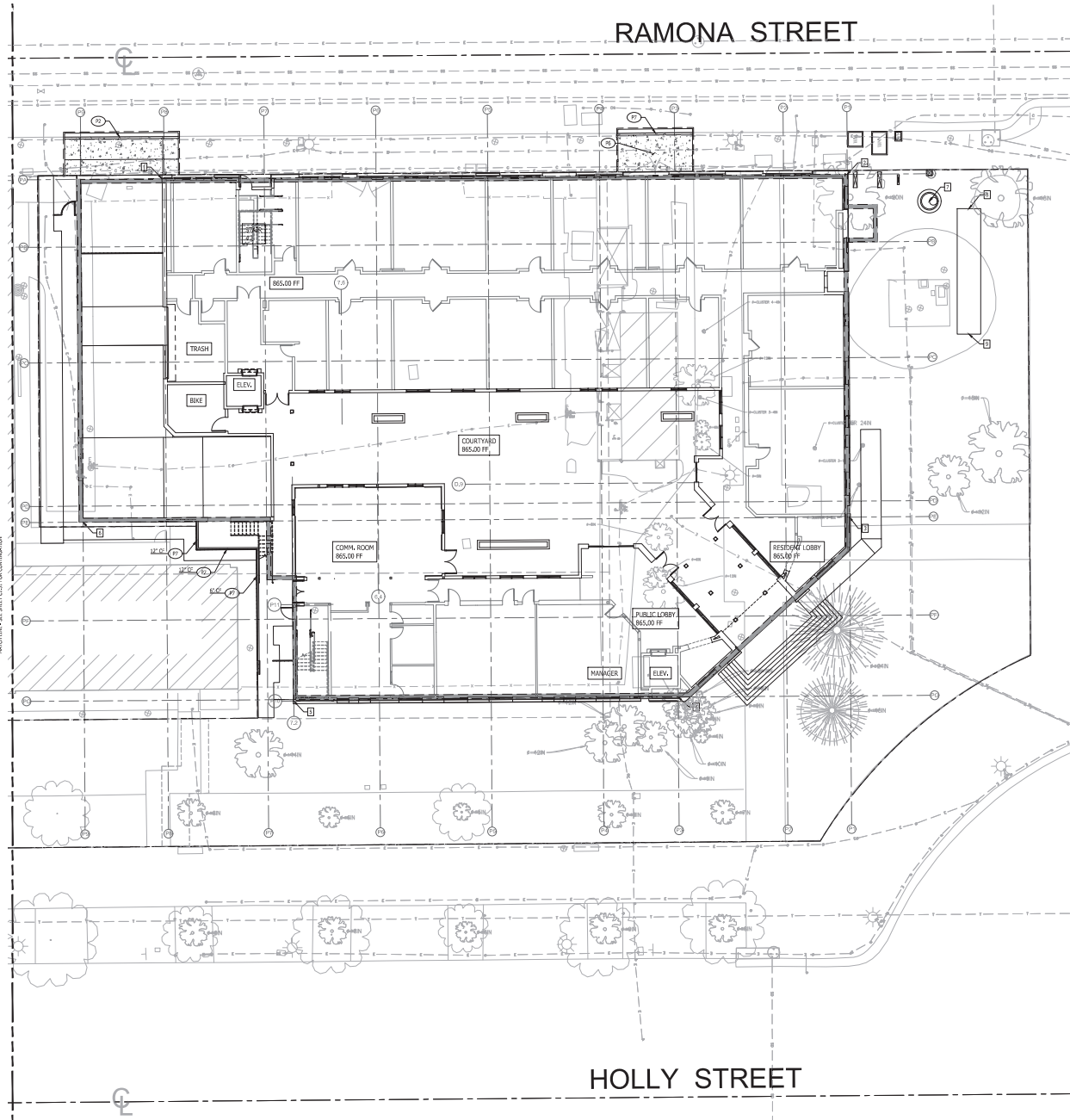
PROJECT PHASE
SCHEMATIC DESIGN

UTILITY PLAN



C-1.40

RAMONA STREET



- CONSTRUCTION NOTES:**
- 17 NEW RAMP WALL-4" GUARDRAIL PER ARCHITECTURAL PLAN SEE STRUCTURAL PLAN FOR WALL DETAILS.
 - 18 CONSTRUCT CONCRETE CURB/CHANNEL, SEE/VIEW PER CITY OF PASADENA STD PLAN S-413 DETAIL 4, C.C.O.B. @=27, A-C, 1-4, PER SEPARATE PUBLIC WORKS TRIPLES.
 - 19 NEW HOUSTONIAN CONCRETE PAVING PER DETAIL 5, C.C.O.B.
 - 20 TYPICATED DOORS.
 - 21 ISOLATION JOINT BETWEEN SITE CONCRETE AND EXISTING STRUCTURE.
 - 22 CONSTRUCT CONCRETE CURB AND GUTTER PER CITY OF PASADENA STD PLAN S-405 DETAIL 7, C.C.O.B. AND CONCRETE SIDEWALK PER STD S-411 DETAIL 8, C.C.O.B. FOR P.C. CURBS WITH A SEPARATE PUBLIC WORKS TRIPLES.
 - 23 CONCRETE CURB PER DETAIL 6, C.C.O.B.
 - 24 FENCE FOR LANDSCAPE PLANTING.

- LEGEND:**
- PROPERTY LINE
 - LIMIT OF WORK
 - [Pattern] CONCRETE PAVING ON GRADE PER DETAIL 3, C.C.O.B.
 - [Pattern] PERMEABLE PAVER PER DETAIL 7, C.C.O.B.
 - [Pattern] CONCRETE OVER STRUCTURE PER STRUCTURAL PLAN, FINISH, COLOR AND SCORING PATTERN PER LANDSCAPE ARCH.
 - [Pattern] PLANTER AREA PER LANDSCAPE
 - [Pattern] GRAVEL PER LANDSCAPE PLANS
 - [Symbol] TREE, REFER TO LANDSCAPE FOR DETAILS

POINT TABLE			
POINT NO.	NORTHING	EASTING	DESCRIPTION
1	187679.62	451773.96	GRDS PL, PA
2	187680.43	451787.25	GRDS PL, PA
3	187682.69	451788.33	GRDS PL, PE
4	187684.61	451789.63	GRDS PL, PS
5	187626.77	451746.64	GRDS PIS, T.2
6	187626.28	451762.88	GRDS PE, PS
7	187637.21	451793.20	GRDS PE, PS
8	187637.21	451793.27	GRDS PE, PS
9	187639.24	451793.27	GRDS PE, PS



DKE
 D.K. ENGINEERS, CORP.
 4420 VALLEY BLVD., #1000
 LOS ANGELES, CA 90048
 310.906.0246



2540 E Colorado Boulevard Pasadena, California 91107
 v. 525.623.0011 www.onyxarchitects.com



NO. DESCRIPTION DATE
 PPR SUBMITTAL 04/12/2021

NCR NATIONAL CORE

RAMONA SENIOR HOUSING
 PASADENA, CA

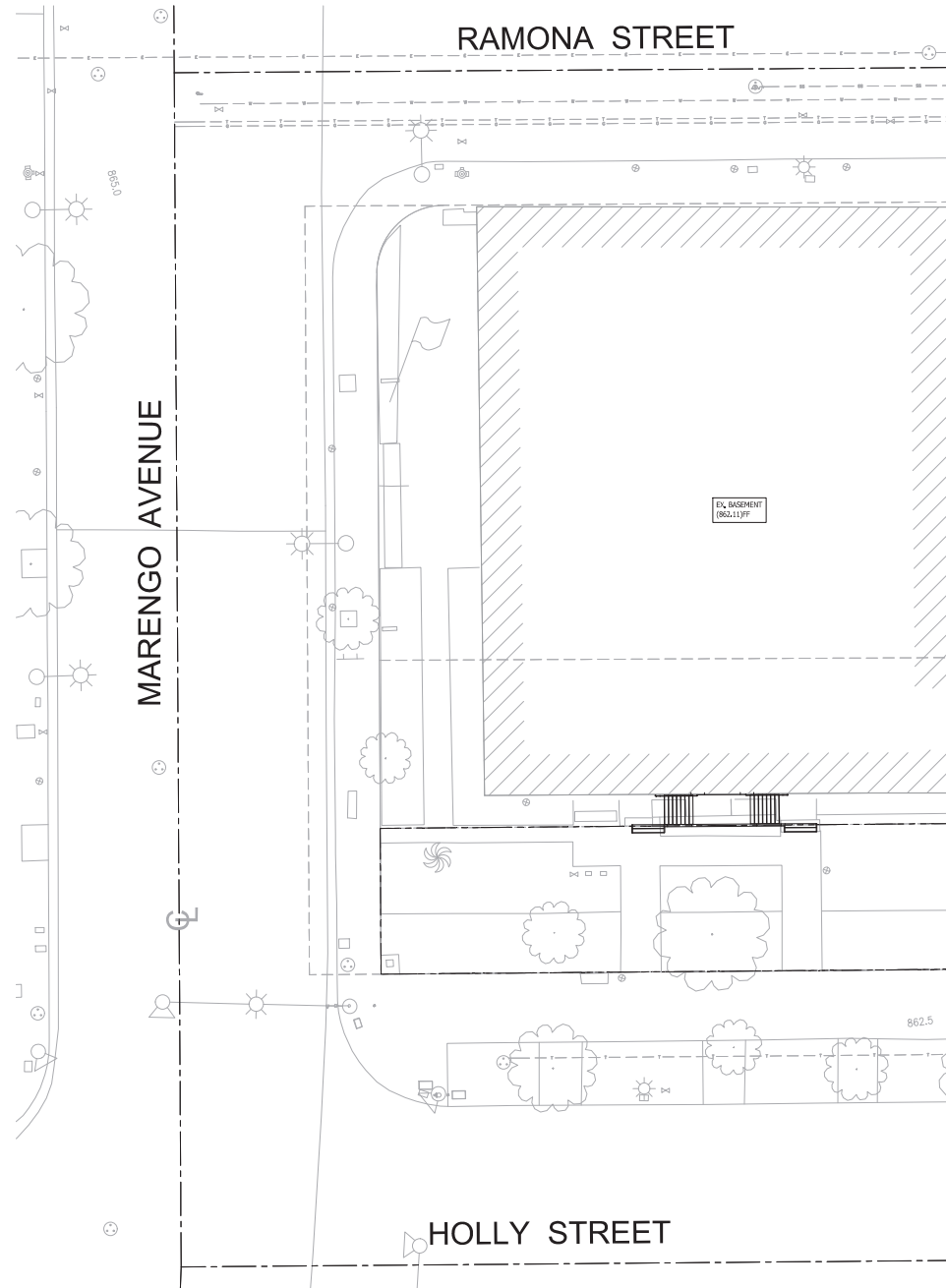
PROJECT PHASE
 SCHEMATIC DESIGN

HORIZONTAL CONTROL
 AND PAVING PLAN



C-1.50

3/11/2021 9:48:58 AM
 MODIFIED - SEE SHEET C-1.5 FOR CONTINUATION
 © ONYX ARCHITECTS, INC. | PASADENA, CALIFORNIA



CONSTRUCTION NOTES:

① ALL DIMENSIONS UNLESS OTHERWISE NOTED IN CONSTRUCTION RUMBLE.

LEGEND:

- PROPERTY LINE
- LIMIT OF WORK
- [Pattern] CONCRETE PAVING ON GRADE PER DETAIL 3, C201.
- [Pattern] PERMEABLE PAVEMENT PER DETAIL 7, C201.
- [Pattern] CONCRETE OVER STRUCTURE PER STRUCTURAL PLAN, FINISH, COLOR AND JOINTING PATTERNS PER LANDSCAPE ARCH.
- [Pattern] PLANTER AREA PER LANDSCAPE
- [Pattern] GRAVEL PER LANDSCAPING PLANS
- [Symbol] TREE, REFER TO LANDSCAPE FOR DETAILS

INCOMPLETE - SEE SHEET C-1 FOR CONTINUATION



DK ENGINEER, CORP.
 6430 VAN BUREN BLVD., #1000
 LOS ANGELES, CA 90048
 310.406.0246

ONYX
 2540 E Colorado Boulevard Pasadena, California 91107
 v. 528.462.0001 www.onyxarchitects.com



NO.	DESCRIPTION	DATE
1	PPR SUBMITTAL	04/12/2021

NCRC NATIONAL CORE

RAMONA SENIOR HOUSING
 PASADENA, CA

PROJECT PHASE
 SCHEMATIC DESIGN

HORIZONTAL CONTROL
 AND PAVING PLAN



ABBREVIATIONS
 WPJ WEAKENED PLANE JOINT
 EXJ EXPANSION JOINT
 BOR BEGINNING OF CURB RETURN
 EOR END OF CURB RETURN
 SL SCORING LINE

WEAKENED PLANE JOINT (WPJ)
 NO SCALE

SCORING LINE (SL)
 NO SCALE

EXPANSION JOINT (EXJ)
 NO SCALE

CITY OF PASADENA - DEPARTMENT OF PUBLIC WORKS

DESIGNED BY: DAVID WONG
 CHECKED BY: DANIEL DIAZ
 SUBMITTED BY: JAMES VALENTE
 CITY ENGINEER: JAMES VALENTE
 DATE: 7/16/2024
 SHEET NO. 1
 SHEET TOTAL 1

PCC SIDEWALK

REGION: 208
 DATE: 12/14/16
 PROJECT NO.: S-421
 SHEET 1 OF 1

8 SIDEWALK

TABLE OF "B" WIDTHS

CURB FACE	"B" 150 mm (6") GUTTER	"B" 200 mm (8") GUTTER
100 mm (4")	192 mm (7 1/2")	205 mm (8")
140 mm (5 1/2")	208 mm (8 1/4")	217 mm (8 1/2")
200 mm (8")	217 mm (8 1/2")	230 mm (9")
250 mm (10")	230 mm (9")	242 mm (9 1/2")
300 mm (12")	242 mm (9 1/2")	255 mm (10")

NOTES:
 1. PCC MIX DESIGN PER "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION," LATEST EDITION.
 2. STANDARD GUTTER SHALL BE 150 mm (6") THICK. AT ALLEY INTERSECTION APPROACHES, CROSS GUTTER SPANDRILLS AND BUS STOPS, GUTTER SHALL BE 200 mm (8") THICK.

CITY OF PASADENA - PUBLIC WORKS & TRANSPORTATION DEPARTMENT

DESIGNED BY: DAVID PHAN
 CHECKED BY: GEORGE WISS
 SUBMITTED BY: JAMES VALENTE
 CITY ENGINEER: JAMES VALENTE
 DATE: 12/14/16
 PROJECT NO.: S-406
 SHEET 1 OF 1

CURB AND GUTTER

REGION: 208
 DATE: 12/14/16
 PROJECT NO.: S-406
 SHEET 1 OF 1

7 CURB AND GUTTER

NOTES:
 1. ISOLATION JOINTS SHALL BE PLACED ONLY AS SPECIFIED.
 2. CONTROL JOINTS CONSISTING OF 7 DEEP SCOPS SHALL BE PLACED AT 10' INTERVALS O.C.
 3. WHERE A WALK IS ADJACENT TO THE CURB, THE JOINTS SHALL ALIGN WITH JOINTS IN THE WALK.

CITY OF PASADENA - DEPARTMENT OF PUBLIC WORKS

DESIGNED BY: ANDREW CLAYTON
 CHECKED BY: BRAN SINGHARY
 SUBMITTED BY: CARY CHANG
 CITY ENGINEER: CARY CHANG
 DATE: 12/14/16
 PROJECT NO.: S-403
 SHEET 1 OF 1

DRIVEWAY-DUSTPAN TYPE

REGION: 208
 DATE: 12/14/16
 PROJECT NO.: S-403
 SHEET 1 OF 1

6 CONCRETE CURB

NOTES:
 1. ALL TREAD SURFACES SHALL BE SLIP-RESISTANT.
 2. REFER TO ARCHITECTURAL DRAWINGS FOR COLOR, PATTERN, TEXTURE, AND FINISH.
 3. SEE LANDSCAPE PLAN FOR LOCATION OF CONTROL JOINTS.

CITY OF PASADENA - PUBLIC WORKS & TRANSPORTATION DEPARTMENT

DESIGNED BY: DAVID PHAN
 CHECKED BY: GEORGE WISS
 SUBMITTED BY: JAMES VALENTE
 CITY ENGINEER: JAMES VALENTE
 DATE: 12/14/16
 PROJECT NO.: S-301
 SHEET 1 OF 1

SADDLE FOR HOUSE LATERALS

REGION: 208
 DATE: 12/14/16
 PROJECT NO.: S-301
 SHEET 1 OF 1

5 PEDESTRIAN CONCRETE PAVEMENT

COMMERCIAL DRIVEWAY-DUSTPAN TYPE

PLAN

ELEVATION

SECTION A-A

CITY OF PASADENA - DEPARTMENT OF PUBLIC WORKS

DESIGNED BY: ANDREW CLAYTON
 CHECKED BY: BRAN SINGHARY
 SUBMITTED BY: CARY CHANG
 CITY ENGINEER: CARY CHANG
 DATE: 12/14/16
 PROJECT NO.: S-403
 SHEET 1 OF 1

DRIVEWAY-DUSTPAN TYPE

REGION: 208
 DATE: 12/14/16
 PROJECT NO.: S-403
 SHEET 1 OF 1

4 DRIVEWAY

WYE SADDLE INSTALLATION

TOP

FRONT

END VIEW

TEE OR WYE SADDLE JOINTS AND SUPPORT

TEE SADDLE INSTALLATION

FRONT

END VIEW

NOTES:
 1. A WYE OR TEE SADDLE SHALL BE INSTALLED BY CUTTING A NEAT HOLE CONFORMING TO THE INSIDE DIAMETER OF THE SADDLE. THE HOLE SHALL BE MADE WITH EQUIPMENT SPECIALLY DESIGNED TO CUT A SMOOTH HOLE.
 2. THE SADDLE SHALL BE CEMENTED INTO PLACE USING A CEMENTING AGENT APPROVED BY THE PUBLIC WORKS AND TRANSPORTATION DEPARTMENT. THE SADDLE SHALL BE NESTED SECURELY IN PLACE WHILE THE CEMENTING AGENT SETS. THE INSIDE OF THE JOINT BETWEEN PIPE AND SADDLE SHALL BE FILLED WITH CEMENTING MATERIAL AND NEATLY ROUNDED.
 3. THE CORING OF THE HOLE AND THE PLACING OF THE STUB SHALL BE DONE IN THE PRESENCE OF THE ENGINEER.
 4. NO CONNECTION SHALL BE MADE TO THE STUB UNTIL THE ENGINEER HAS APPROVED THE STUB.

CITY OF PASADENA - PUBLIC WORKS & TRANSPORTATION DEPARTMENT

DESIGNED BY: DAVID PHAN
 CHECKED BY: GEORGE WISS
 SUBMITTED BY: JAMES VALENTE
 CITY ENGINEER: JAMES VALENTE
 DATE: 12/14/16
 PROJECT NO.: S-301
 SHEET 1 OF 1

SADDLE FOR HOUSE LATERALS

REGION: 208
 DATE: 12/14/16
 PROJECT NO.: S-301
 SHEET 1 OF 1

3 SEWER CONNECTION

PIPE BEDDING AND TRENCH

NOTES:
 1. PAVEMENT FINISH SURFACE SHALL BE A SHOROT DISTRIBUTION OF SUBORDINATE FINISH SURFACE.
 2. ALL DUCTILE IRON PIPE INSTALLED UNDERGROUND SHALL BE WRAPPED WITH A PPL POLYSLEEV TO PREVENT CORROSION FROM SUBSURFACE SOIL.
 3. UTILITY TRENCH SECTION BASED ON RECOMMENDATIONS FROM THE PROJECT GEOTECHNICAL REPORTS.

TABLE OF TRENCH WIDTHS

PIPE DIAMETER (INCHES)	TRENCH WIDTH (INCHES)
4	18
6	24
12	30

CITY OF PASADENA - PUBLIC WORKS & TRANSPORTATION DEPARTMENT

DESIGNED BY: DAVID PHAN
 CHECKED BY: GEORGE WISS
 SUBMITTED BY: JAMES VALENTE
 CITY ENGINEER: JAMES VALENTE
 DATE: 12/14/16
 PROJECT NO.: S-301
 SHEET 1 OF 1

THRUST BLOCKS FOR PLASTIC PIPE

REGION: 208
 DATE: 12/14/16
 PROJECT NO.: S-301
 SHEET 1 OF 1

2 PIPE BEDDING AND TRENCH

THRUST BLOCKS FOR PLASTIC PIPE

NOTES:
 1. THRUST BLOCKS SHALL BE USED FOR PLASTIC PIPE 2" (50 mm) DIAMETER OR LARGER.
 2. THRUST BLOCKS SHALL BE PCC 400-3000 (285-5-14).
 3. ANCHOR BIDS SHALL BE GALVANIZED STEEL 1/2" (12 mm) DIAMETER, WARPED AROUND PIPE.
 4. SIZE OF THRUST BLOCKS SHALL BE AS SHOWN ON PLANS.
 5. ALL VIEWS ARE PLAN VIEW UNLESS OTHERWISE SHOWN.

CITY OF PASADENA - PUBLIC WORKS & TRANSPORTATION DEPARTMENT

DESIGNED BY: DAVID PHAN
 CHECKED BY: GEORGE WISS
 SUBMITTED BY: JAMES VALENTE
 CITY ENGINEER: JAMES VALENTE
 DATE: 12/14/16
 PROJECT NO.: S-301
 SHEET 1 OF 1

THRUST BLOCKS FOR PLASTIC PIPE

REGION: 208
 DATE: 12/14/16
 PROJECT NO.: S-301
 SHEET 1 OF 1

1 THRUST BLOCK



2540 E Colorado Boulevard Pasadena, California 91107 v. 026.603.001 www.onyxtests.com



NO. DESCRIPTION DATE
 PPR SUBMITTAL 04/11/2021

NCR NATIONAL CORE

RAMONA SENIOR HOUSING PASADENA, CA

PROJECT PHASE SCHEMATIC DESIGN

DETAILS



ONYX

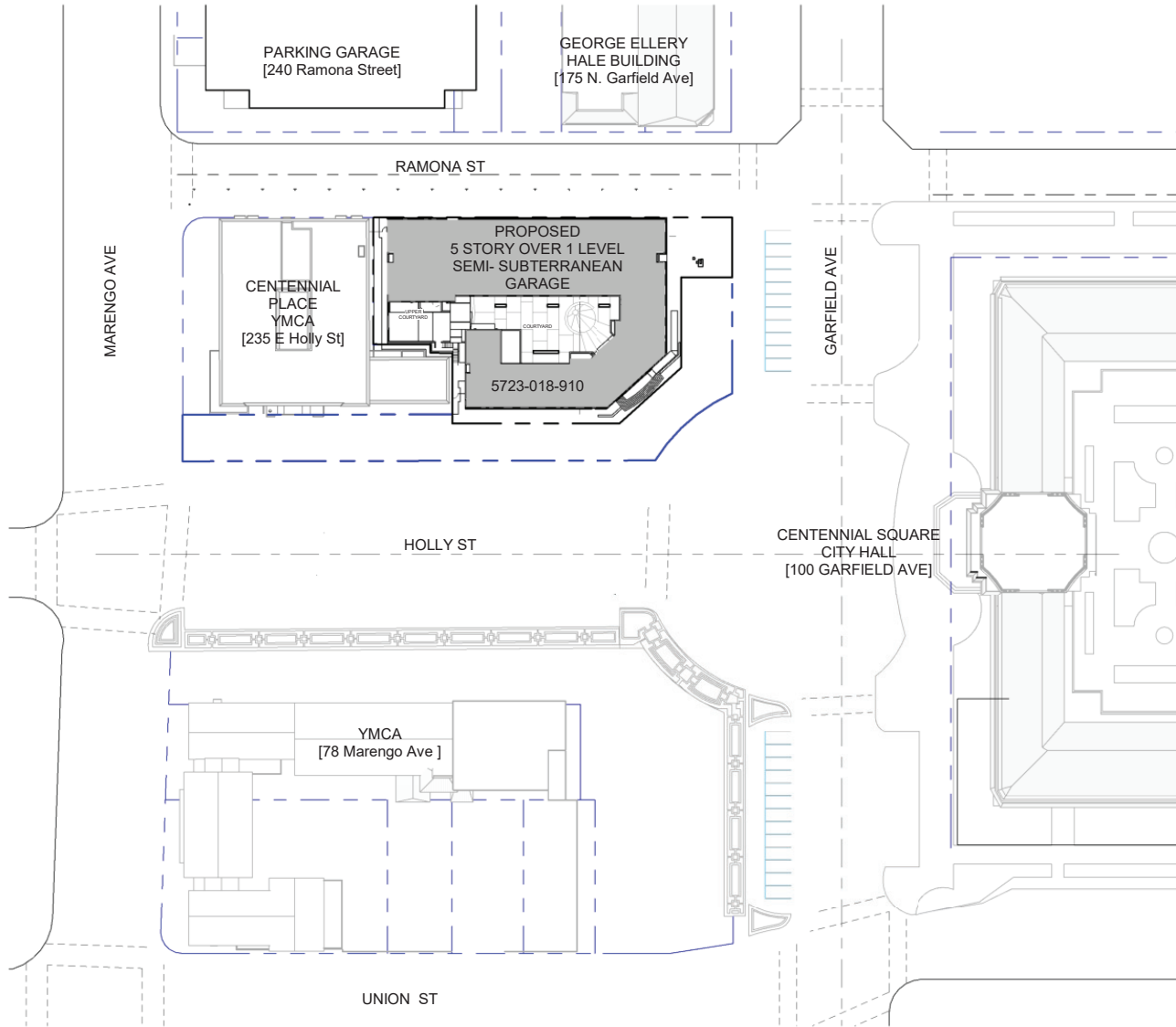
RAMONA SENIOR HOUSING

JUNE 18 2021

SITE CONTEXT

1" = 300'-0"

A00



ONLYX

RAMONA SENIOR HOUSING



CONTEXTUAL SITE
1" = 80'-0"

JUNE 18 2021

A01

WALNUT ST



333 WALNUT ST



333 WALNUT ST



285 WALNUT ST



221 WALNUT ST

RAMONA ST



252 - 280 RAMONA ST



240 RAMONA ST

UNION ST



267 UNION ST



238 UNION & 48 MARENGO AVE

HOLLY ST



279 HOLLY ST



235 HOLLY ST



151 HOLLY ST

EUCLID AVE



132 EUCLID AVE



80 EUCLID AVE

MARENGO AVE



215 MARENGO AVE



189 MARENGO AVE



171 MARENGO AVE



95 MARENGO AVE



78 MARENGO AVE



75 MARENGO AVE

GARFIELD AVE



207 GARFIELD AVE



200 GARFIELD AVE



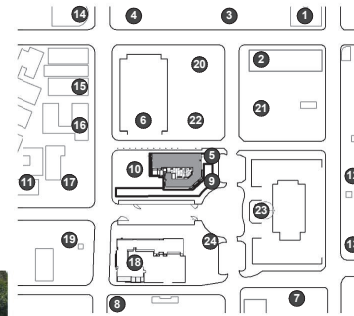
175 GARFIELD AVE



100 GARFIELD AVE



95 GARFIELD AVE



REFERENCE MAP



ONYX

RAMONA SENIOR HOUSING

VISUAL CONTEXT

1 : 6000

JUNE 18 2021

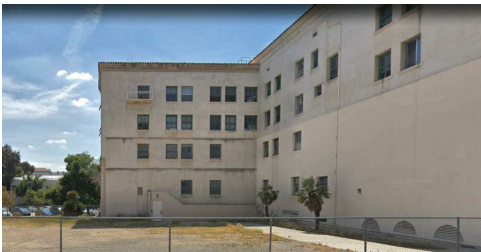
A02



235 HOLLY ST YMCA CENTENNIAL PLACE VIEW ALONG HOLLY



YMCA CENTENNIAL PLACE VIEW FACING WEST ELEV. OF PROPOSED



YMCA CENTENNIAL PLACE VIEW FACING COURTYARD OF PROPOSED



YMCA CENTENNIAL PLACE CORNER OF RAMONA + MARENGO



YMCA CENTENNIAL PLACE CORNER OF HOLLY + MARENGO



240 RAMONA ST (PARKING GARAGE)



175 GARFIELD AVE GEORGE ELLERY HALE BUILDING VIEW FACING NORTH ELEVATION OF PROPOSED



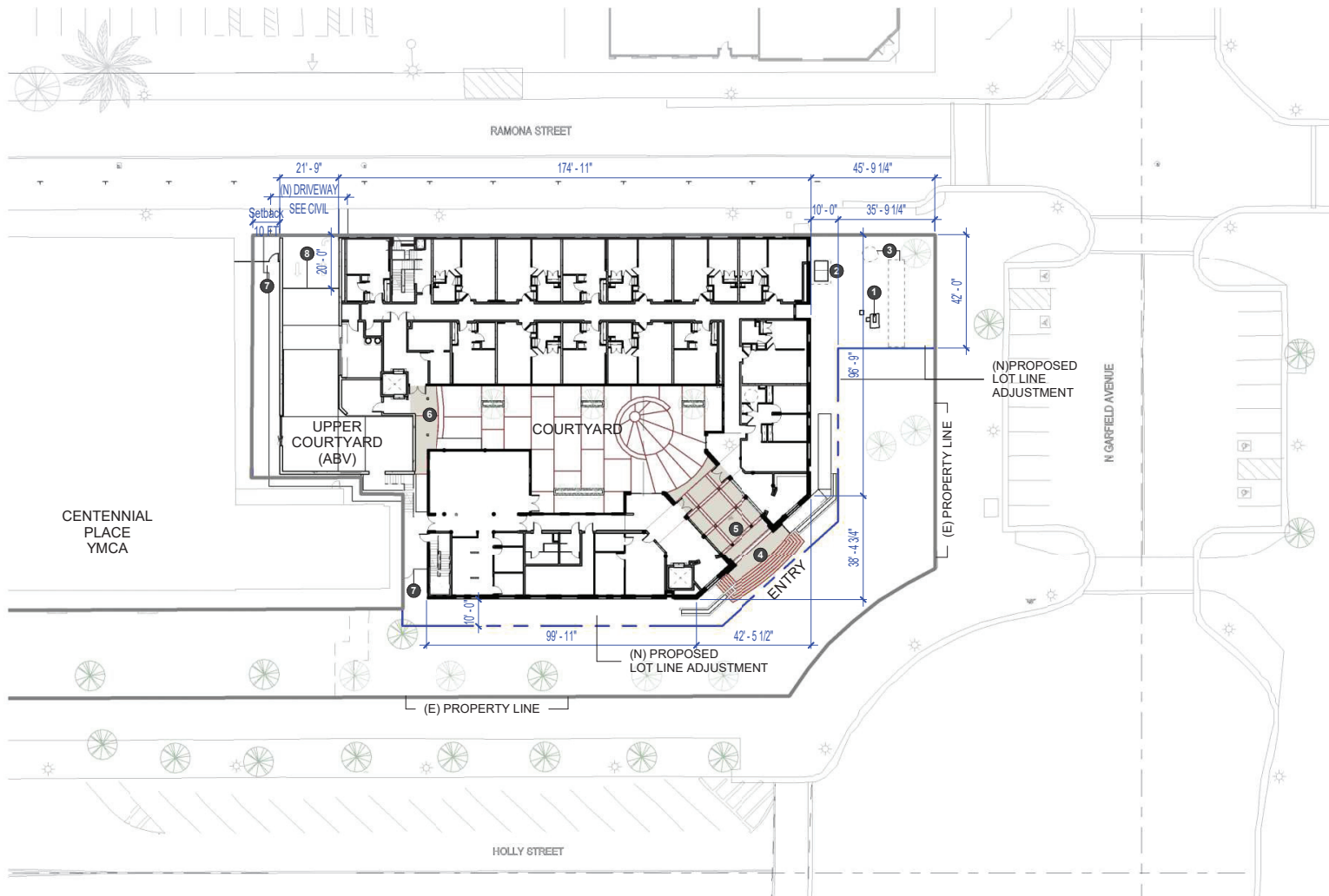
GEORGE ELLERY HALE BUILDING VIEW FROM CORNER OF GARFIELD + HOLLY



RAMONA SENIOR HOUSING

VISUAL CONTEXT ADJACENT BUILDINGS

JUNE 18 2021



KEYNOTES

- ① (E) HISTORIC LANDMARK WEATHER STATION - RELOCATION TO BE DETERMINED
- ② (N) TRANSFORMER VAULT COVER
- ③ (N) UNDERGROUND STORM-DRAIN SYSTEM, SEE CIVIL PLANS
- ④ (N) ENTRY PLINTH, STAIRS, AND ACCESSIBLE WALK
- ⑤ (N) ENTRY LOGGIA
- ⑥ (N) COVERED "STAGE" LOGGIA ABOVE
- ⑦ (N) PEDESTRIAN GATE + FENCE
- ⑧ (N) VEHICULAR GATE

0' | 20' | 40' | 80' | 160'



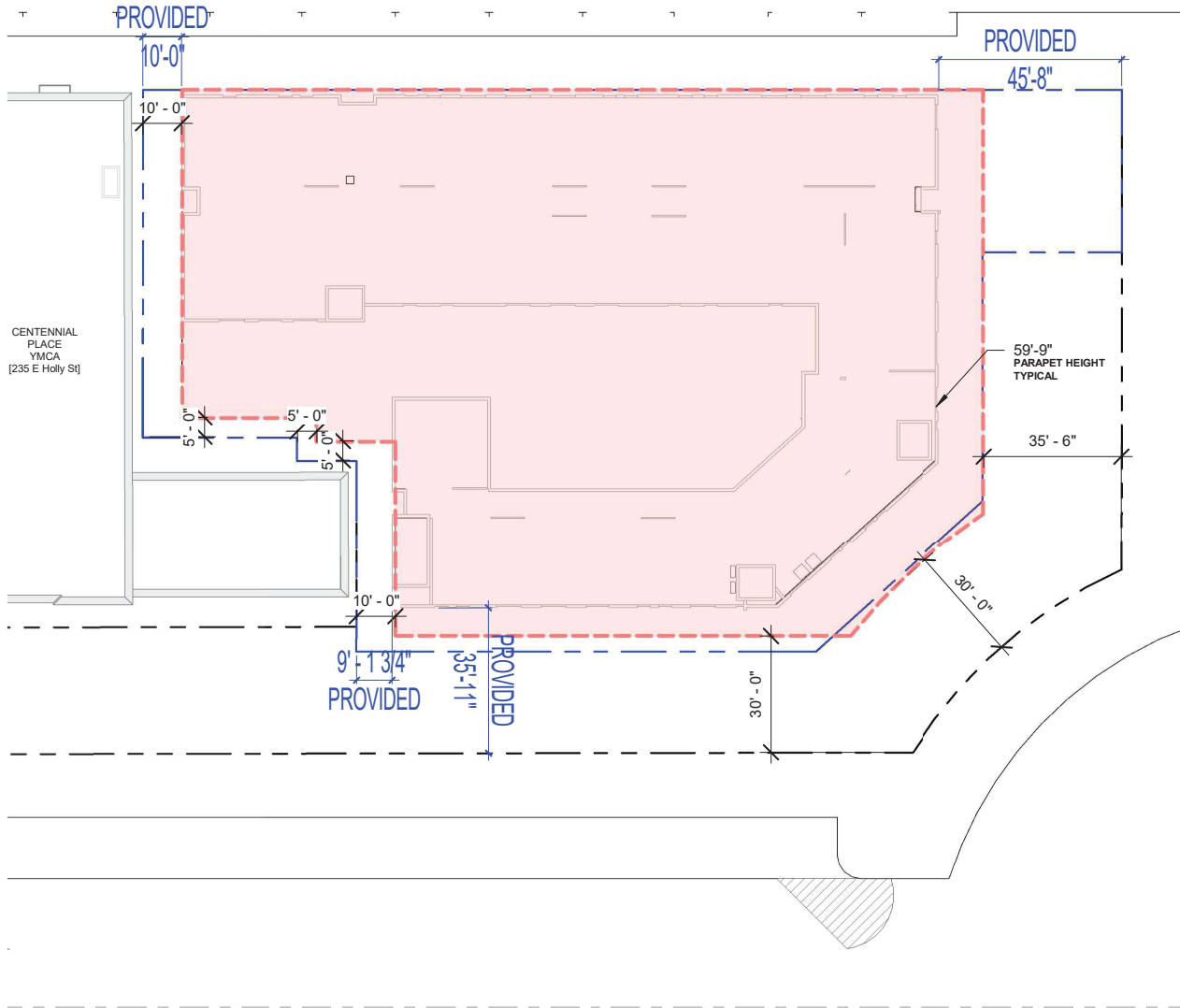
ONYX

RAMONA SENIOR HOUSING

SITE PLAN
As indicated

JUNE 18 2021

A05



MAXIMUM BUILDING HEIGHT

SECTION 17.30.020; FIGURE 3-6

CENTRAL DISTRICT MAXIMUM HEIGHT = 60 FT
 CCSP; CIVIC CENTER TASK FORCE (1997); PAGE 46

THE HEIGHT OF THE TWO CENTENNIAL SQUARE BUILDINGS SHALL NOT EXCEED THE TOP FLOOR OF THE CITY HALL = 62 FT

MAX BUILDING HEIGHT = 60' ALLOWED

PROPOSED BUILDING HEIGHT = +/- 59' - 9" PROVIDED

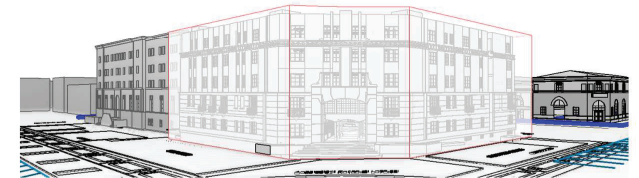
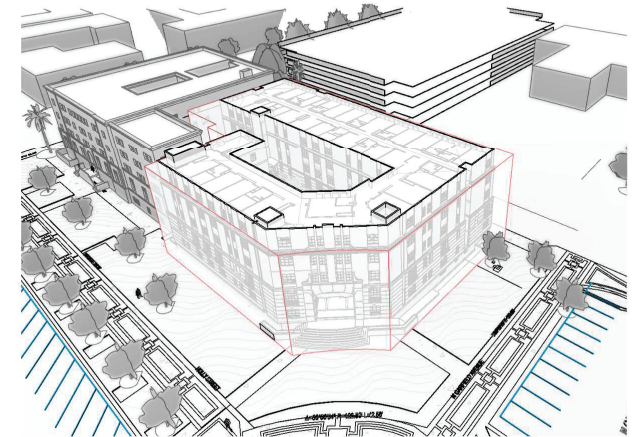
MAXIMUM PARCEL FAR

CENTRAL DISTRICT SPECIFIC PLAN; SECTION 4; PAGE 51

LOCATIONS NEAR DOWNTOWN RAIL STATIONS AND ALONG THE 210 FREEWAY ARE TYPICALLY ASSIGNED AN FAR OF AT LEAST 2.25 TO PROMOTE TRANSIT-ORIENTED DEVELOPMENT, INCLUDING HIGH DENSITY, URBAN HOUSING.

MAX FAR = 2.25 ALLOWED

43,258 SF (TOTAL LOT AREA) /
 85,808 SF (TOTAL BUILDING AREA) = 1.99



SITE ZONING ENVELOPE

1" = 30'-0"

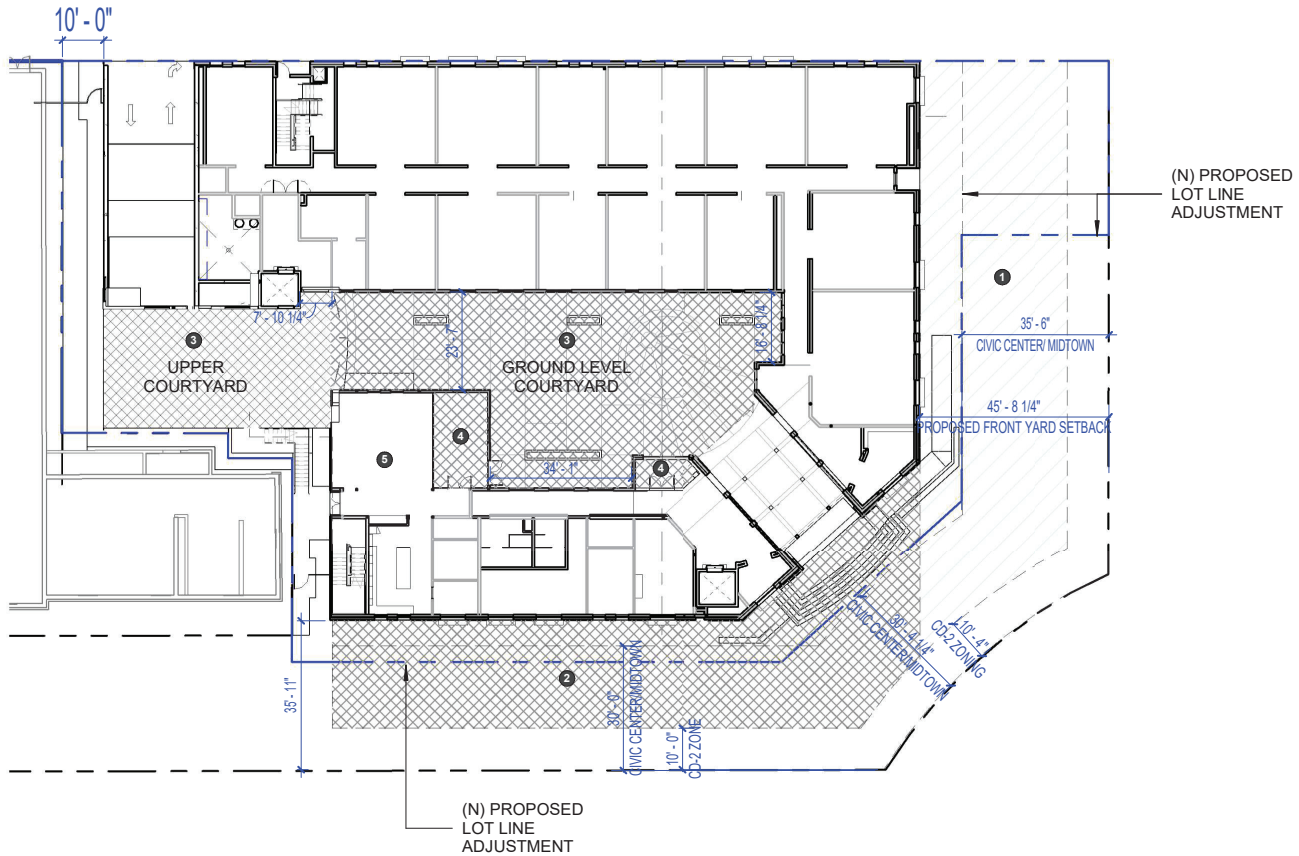


ONYX

RAMONA SENIOR HOUSING

JUNE 18 2021

RAMONA STREET



KEY NOTES

- ① FRONT YARD DEDICATED TO PUBLIC OPEN SPACE (CITY OWNED)
- ② CORNER SIDE SETBACK AREA
- ③ COURTYARD AREA (GROUND + UPPER LEVEL)
- ④ 2ND & 3RD LEVEL ROOF DECK
- ⑤ COMMUNITY CENTER

OPEN SPACE CALCULATION

SECTION 17.50.350

AT LEAST 30% OF THE NET FLOOR AREA OF THE STRUCTURE SHALL BE DEDICATED OPEN SPACE

30% x 63,800 SF = 19,140 SF

1) PORTION OF FRONT YARD=	[4,612 SF]	
2) PORTION OF CORNER SIDE YARD =		4,330 SF
(PER CD-2 ZONING CODE)		
3) GROUND LEVEL COURTYARD =		3,680 SF
UPPER LEVEL COURTYARD =		1,615 SF
4) ROOF DECK =		390 SF
TOTAL OUTDOOR OPEN SPACE =		10,015 SF

INCLUDES AREAS 2, 3, & 4 (PER CD-2 ZONING CODE)

INDOOR RECREATIONAL (COMMUNITY ROOM)=	1,524 SF
TOTAL=	11,539 SF

COURTYARD REQUIREMENT

SECTION 17.50.350

GROUND-FLOOR COURTYARD WITH AT LEAST 20 FEET IN ANY DIRECTION IS PROVIDED

COURTYARD OPENING:
17 FEET (HEIGHT) X 20'-1" (WIDTH) X 31'-9" (DEPTH)

COURTYARD ENTRY GATE SHALL HAVE A MINIMUM OF 75 PERCENT TRANSPARENCY

SECTION 17.50.350.E OPEN SPACE REQUIREMENTS:

1. MINIMUM OF 30% OF THE NET FLOOR AREA OF THE STRUCTURE SHALL BE PROVIDED AS OPEN SPACE

2. MINIMUM DIMENSION OF ANY OPEN SPACE SHALL BE SIX FEET IN ANY DIRECTION. THE PORTION OF A FRONT OR CORNER SIDE YARD SETBACK THAT IS GREATER THAN THE MINIMUM REQUIREMENT MAY BE COUNTED AS OPEN SPACE

4. PLANTER BALCONIES THAT ARE TWO FEET OR LESS IN WIDTH SHALL NOT BE COUNTED AS OPEN SPACE.

SECTION 17.50.350.F COURTYARD REQUIREMENTS:

1. THERE SHALL BE GROUND-FLOOR COURTYARD THAT SHALL BE A MINIMUM OF 20 FEET IN ANY DIRECTION. BALCONIES MAY PROJECT UP TO FOUR FEET INTO THE COURTYARD.

HOLLY STREET

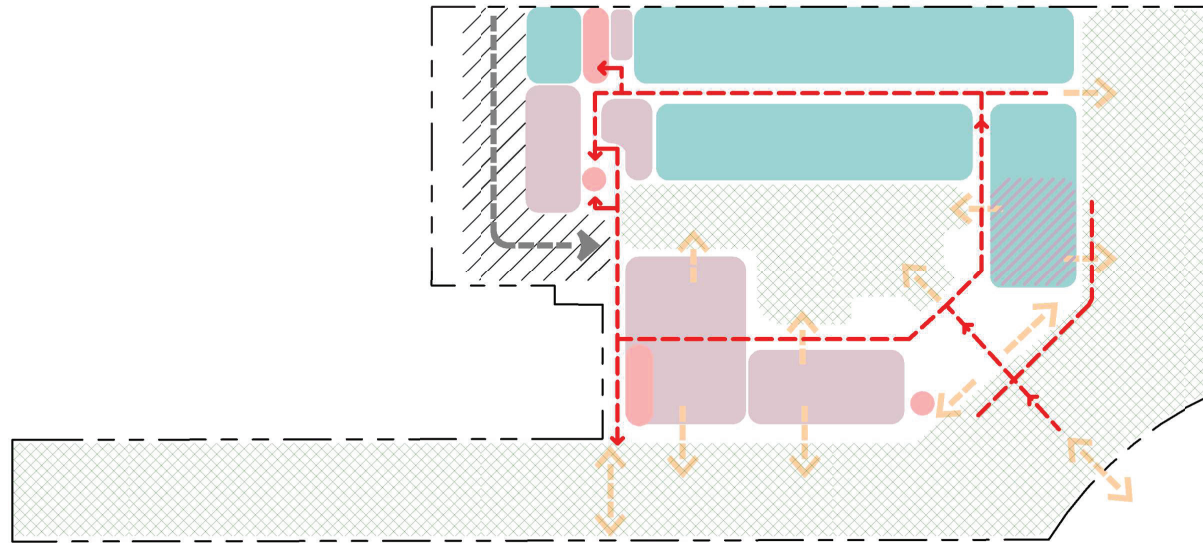


RAMONA SENIOR HOUSING

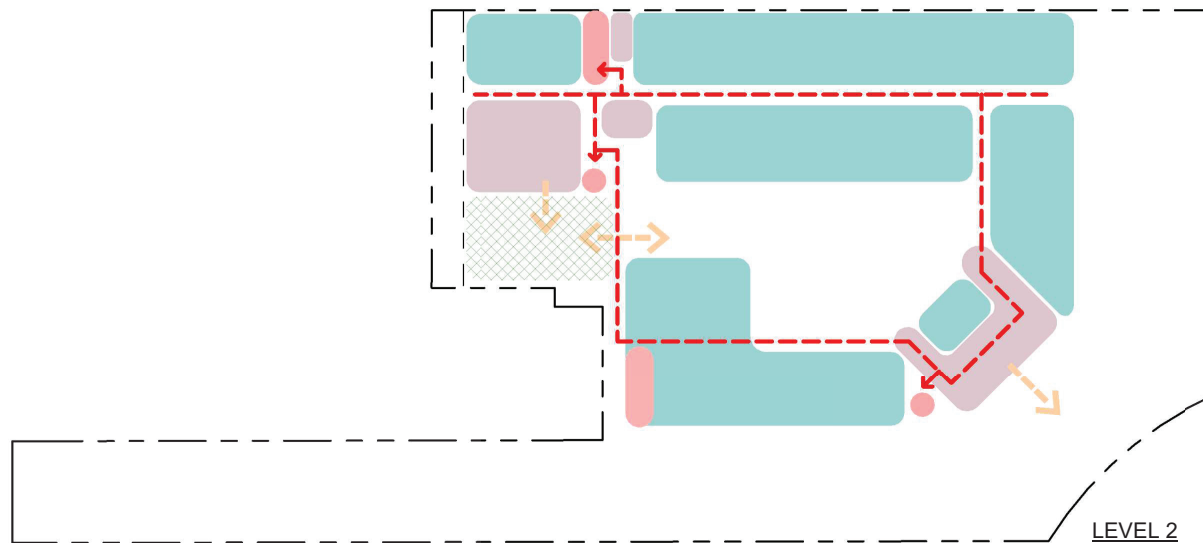
JUNE 18 2021

SITE OPEN SPACE

1" = 30'-0"



LEVEL 1



LEVEL 2

LEGEND

- RESIDENTIAL USE
- COMMON USE
- VERTICAL CIRCULATION
- OPEN SPACE
- GARAGE
- PEDESTRIAN CIRCULATION
PRIMARY [ACCESSIBLE ROUTE]
- VIEWS [VISIBILITY + SECURITY]
- VEHICULAR CIRCULATION



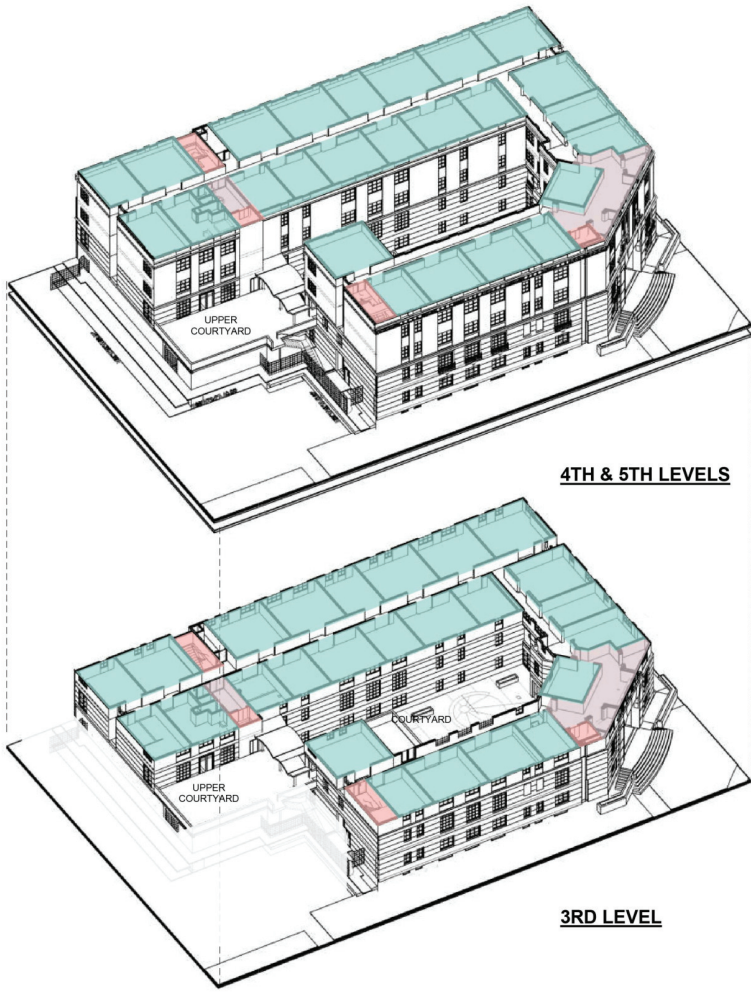
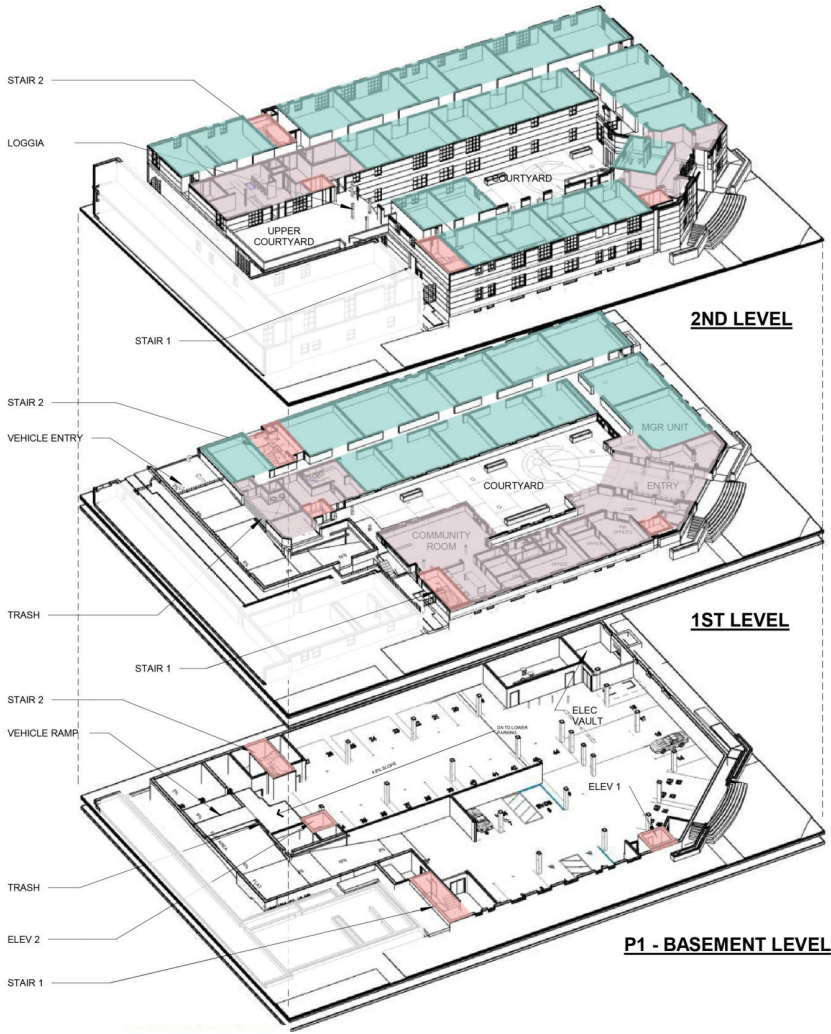
RAMONA SENIOR HOUSING

CIRCULATION DIAGRAM

1" = 40'-0"



JUNE 18 2021



LEGEND

■	RESIDENTIAL USE
■	COMMON USE
■	VERTICAL CIRCULATION



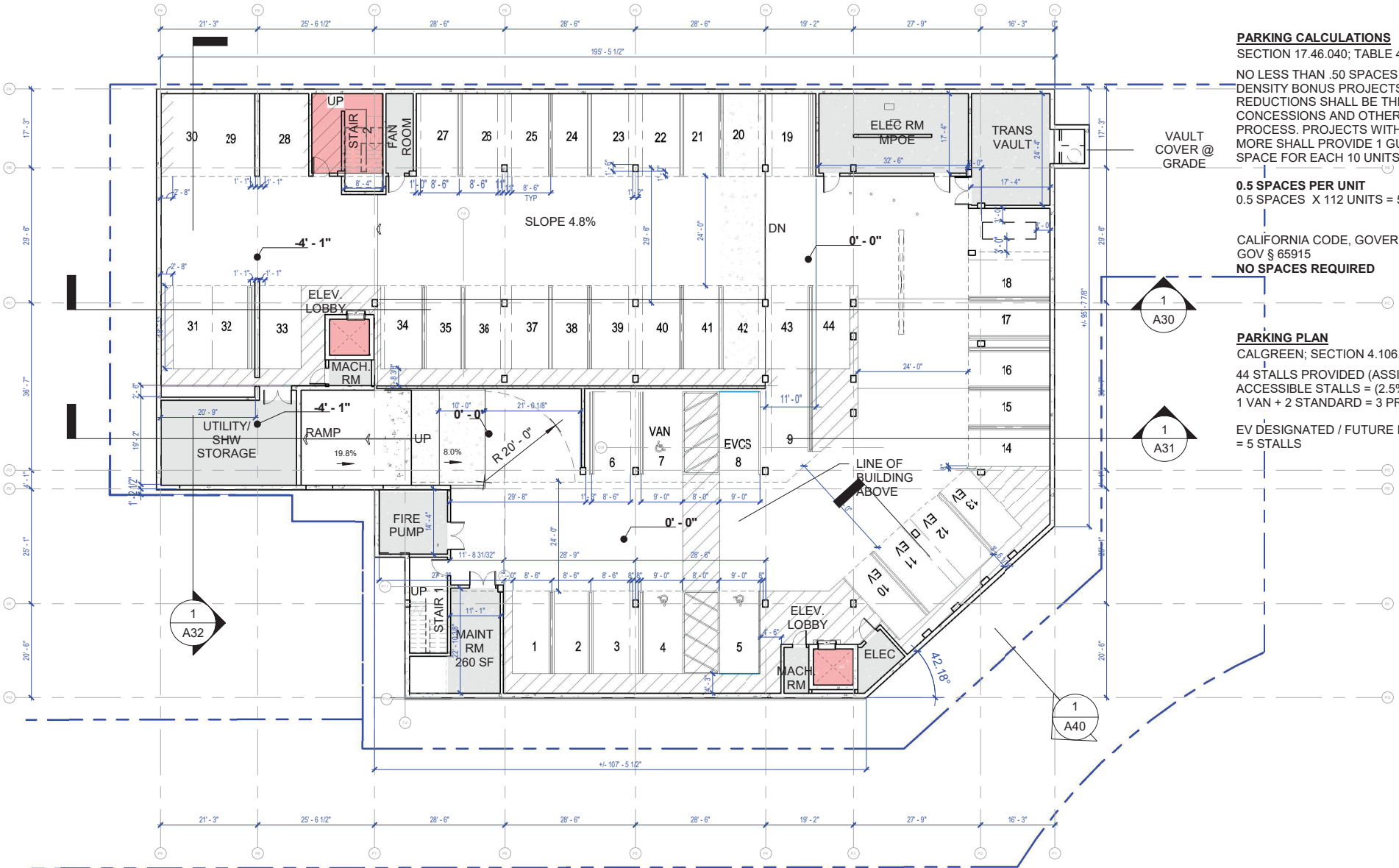
ONYX

RAMONA SENIOR HOUSING

AXONOMETRIC DIAGRAM

JUNE 18 2021

A08



PARKING CALCULATIONS
SECTION 17.46.040; TABLE 4-6

NO LESS THAN .50 SPACES PER UNIT FOR DENSITY BONUS PROJECTS. FURTHER REDUCTIONS SHALL BE THROUGH THE CONCESSIONS AND OTHER INCENTIVES PROCESS. PROJECTS WITH 10 UNITS OR MORE SHALL PROVIDE 1 GUEST PARKING SPACE FOR EACH 10 UNITS.

0.5 SPACES PER UNIT
0.5 SPACES X 112 UNITS = 56 STALLS

CALIFORNIA CODE, GOVERNMENT CODE - GOV § 65915
NO SPACES REQUIRED

PARKING PLAN
CALGREEN; SECTION 4.106.4.2

44 STALLS PROVIDED (ASSIGNED)
ACCESSIBLE STALLS = (2.5%)
1 VAN + 2 STANDARD = 3 PROVIDED

EV DESIGNATED / FUTURE EVCS (10%) = 5 STALLS



RAMONA SENIOR HOUSING



GARAGE P1
1" = 20'-0"

JUNE 18 2021

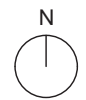
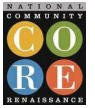
A10



LEVEL 1 UNITS | 14

5	STUDIO
8	1 BEDRM
1	2 BEDRM MGR

ONYX RAMONA SENIOR HOUSING



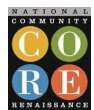
LEVEL 1
1" = 20'-0"

JUNE 18 2021

A11



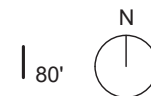
LEVEL 2 UNITS | 23
 12 STUDIO
 11 1 BEDRM



ONYX

RAMONA SENIOR HOUSING

0' | 10' | 20' | 40'



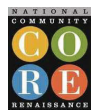
LEVEL 2
 1" = 20'-0"

A12

JUNE 18 2021



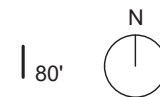
LEVEL 3 UNITS | 25
 13 STUDIO
 12 1 BEDRM



ONYX

RAMONA SENIOR HOUSING

0' | 10' | 20' | 40'



LEVEL 3
 1" = 20'-0"

A13

JUNE 18 2021

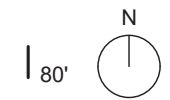


LEVEL 4 + 5 UNITS 25	
13	STUDIO
12	1 BEDRM



ONYX

RAMONA SENIOR HOUSING



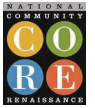
LEVEL 4
1" = 20'-0"

A14

JUNE 18 2021



LEVEL 5 UNITS | 25
 13 STUDIO
 12 1 BEDRM



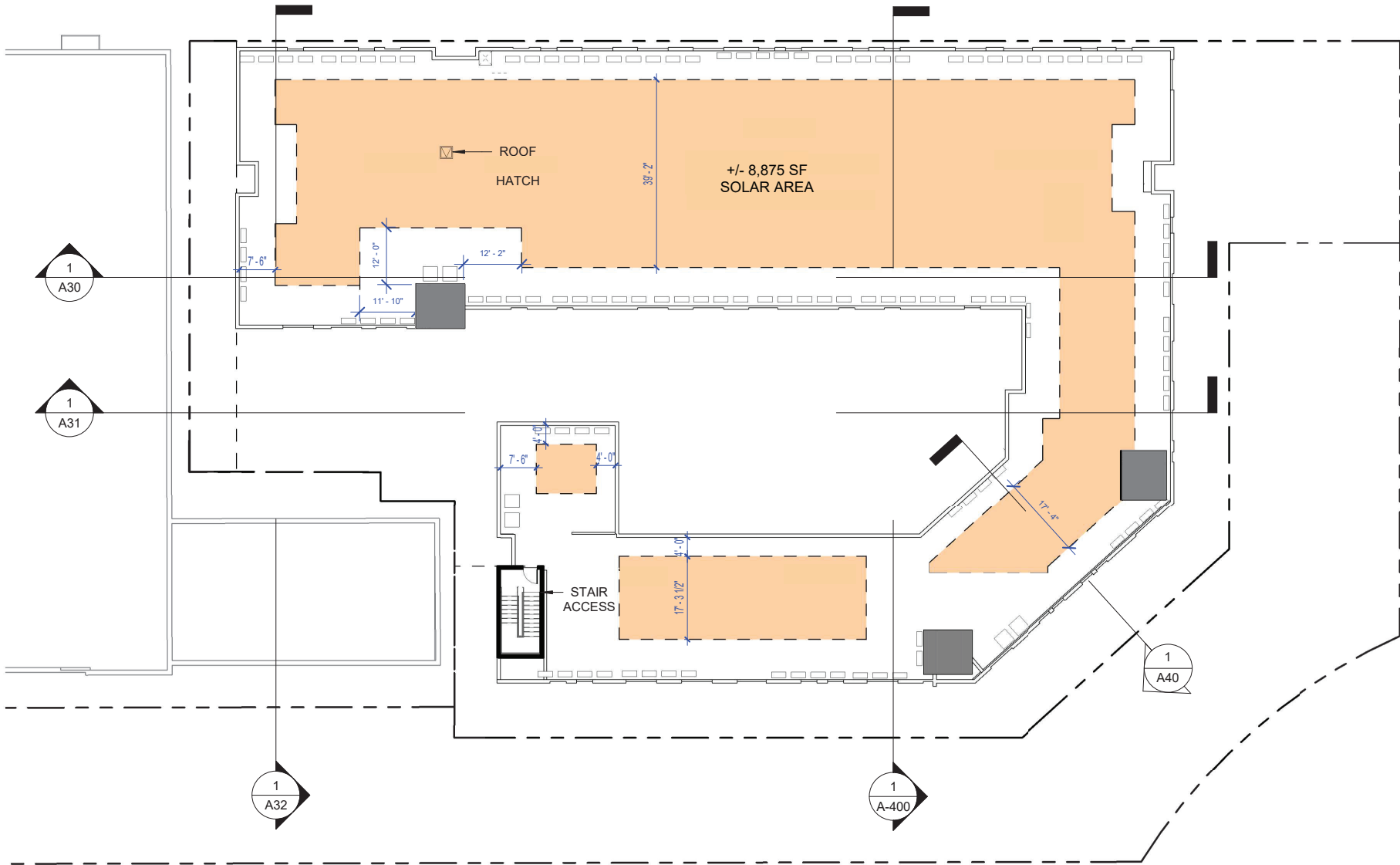
ONYX RAMONA SENIOR HOUSING

JUNE 18 2021



LEVEL 5
 1" = 20'-0"

A15



ONLYX

RAMONA SENIOR HOUSING

0' | 10' | 20' | 40'

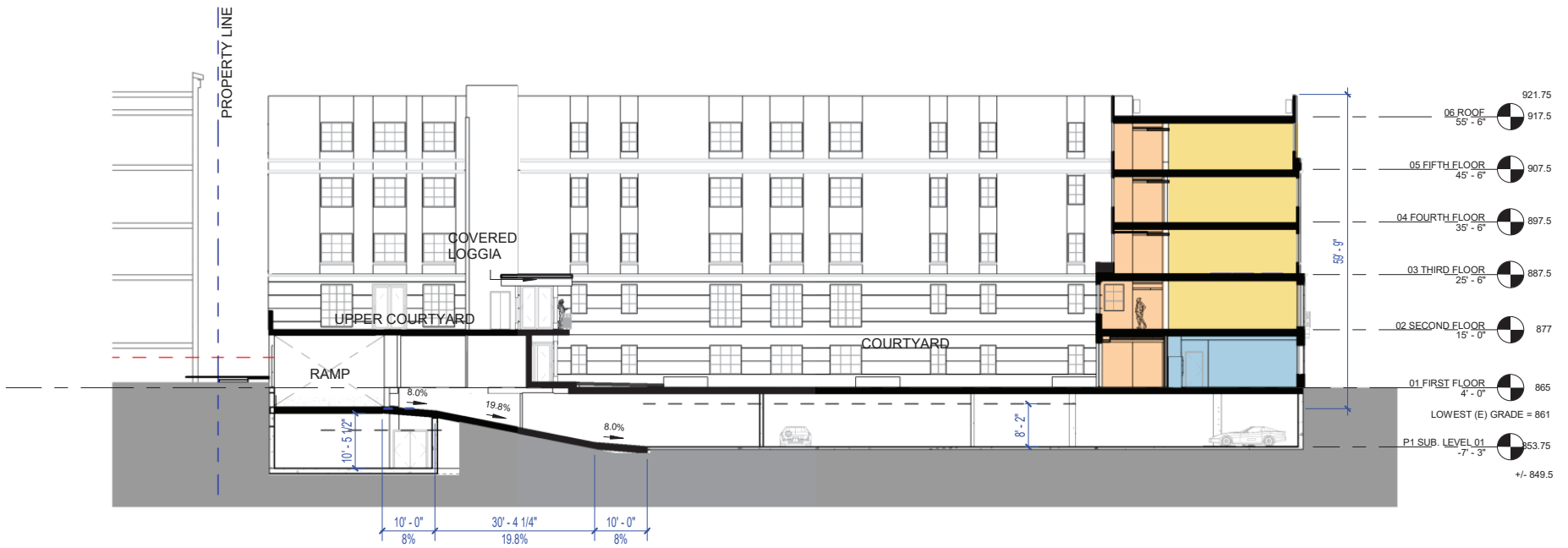
80'



ROOF PLAN
1" = 20'-0"

JUNE 18 2021

A16



ONYX

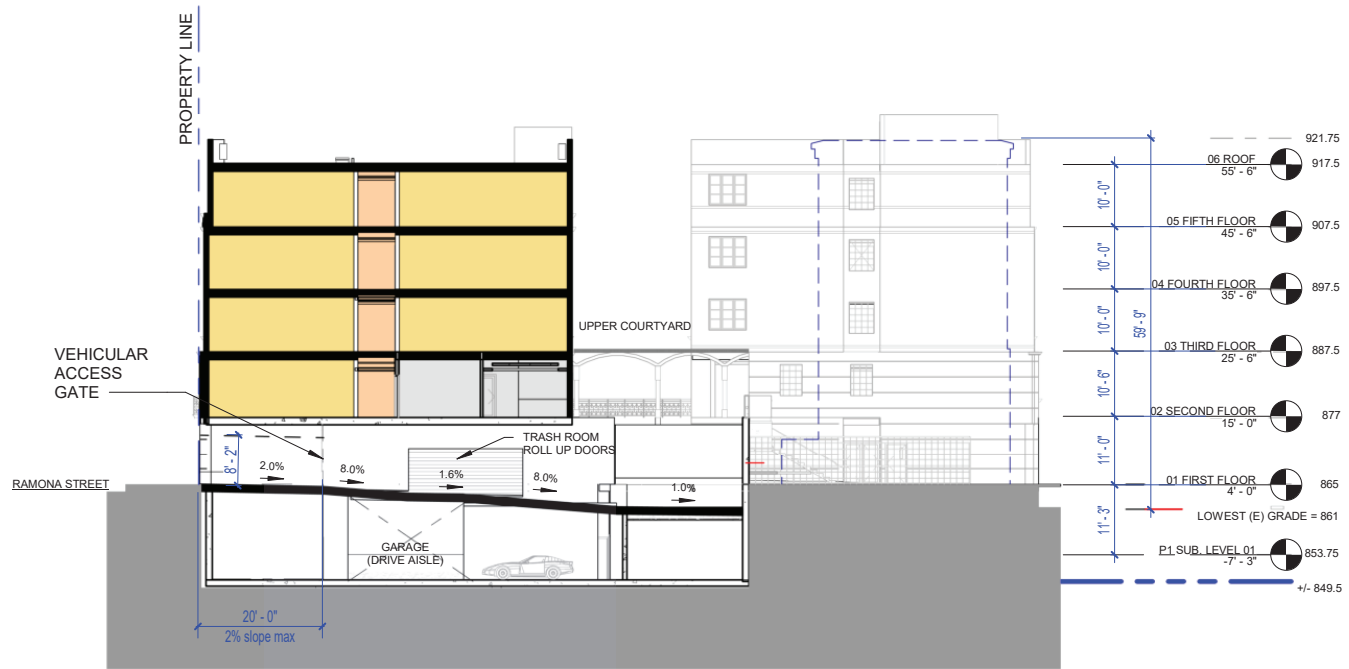
RAMONA SENIOR HOUSING

COURTYARD SECTION

1" = 20'-0"

JUNE 18 2021

A31



ONYX

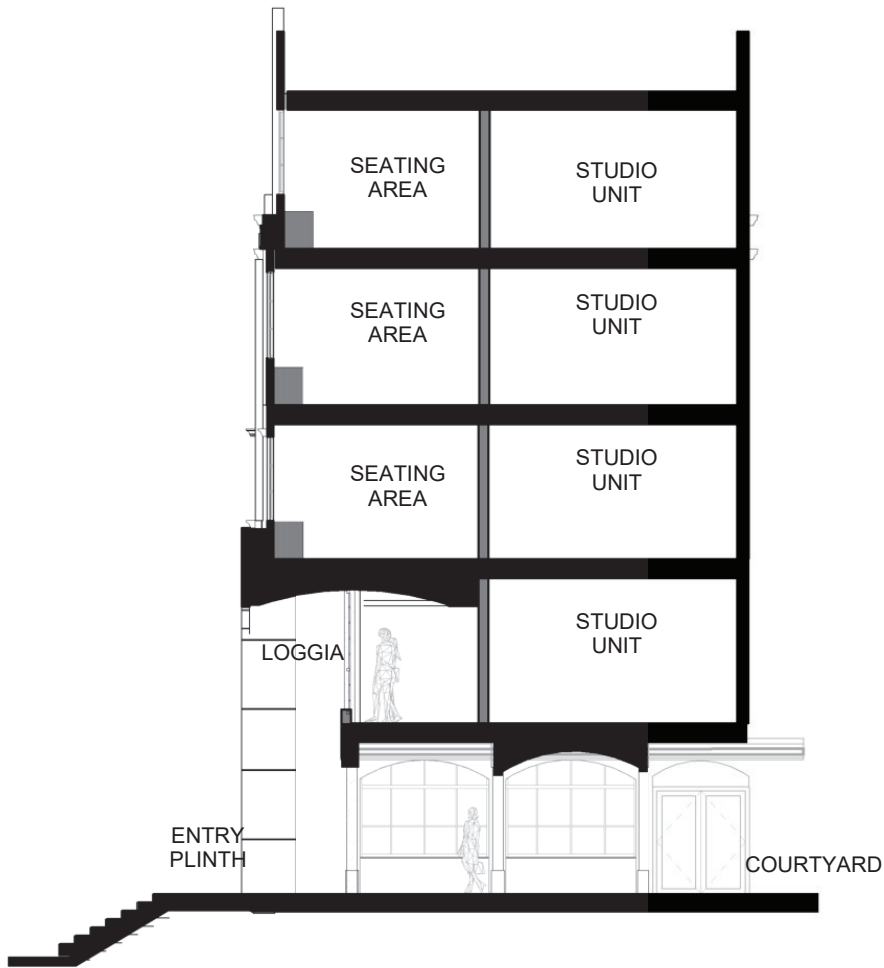
RAMONA SENIOR HOUSING

JUNE 18 2021

BUILDING SECTION AT RAMP

1" = 20'-0"

A32



ONYX

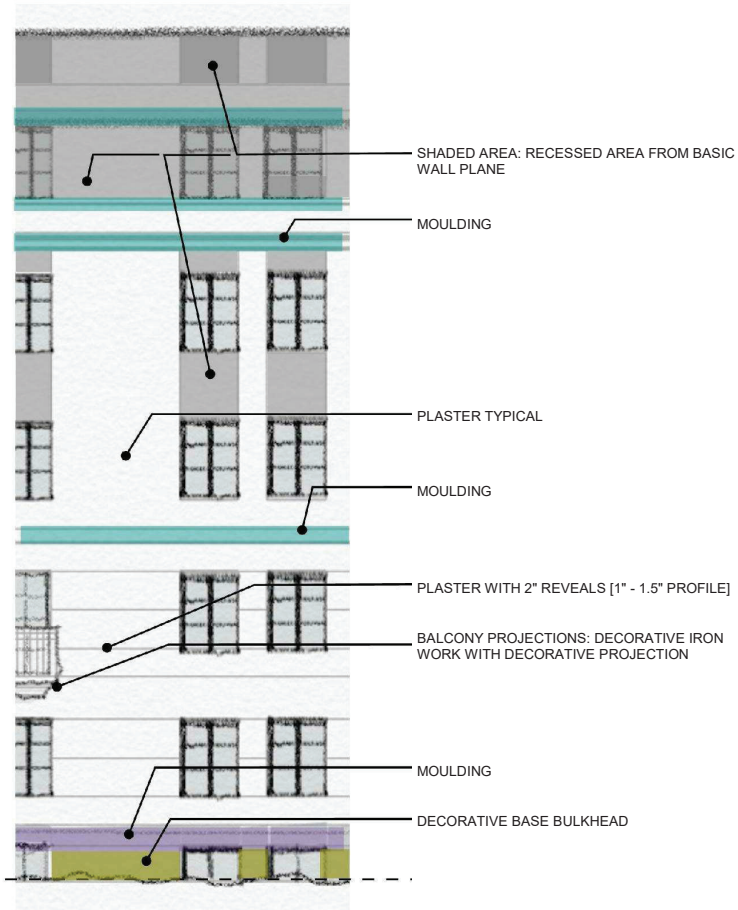
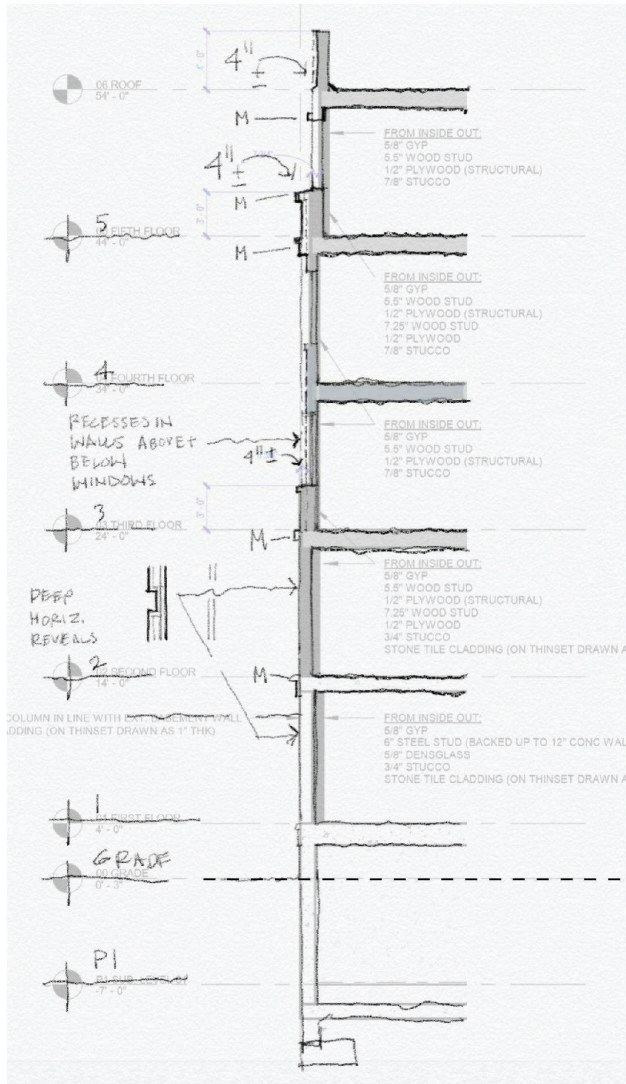
RAMONA SENIOR HOUSING

ENTRY CORNER LOGGIA

1/8" = 1'-0"

JUNE 18 2021

A40



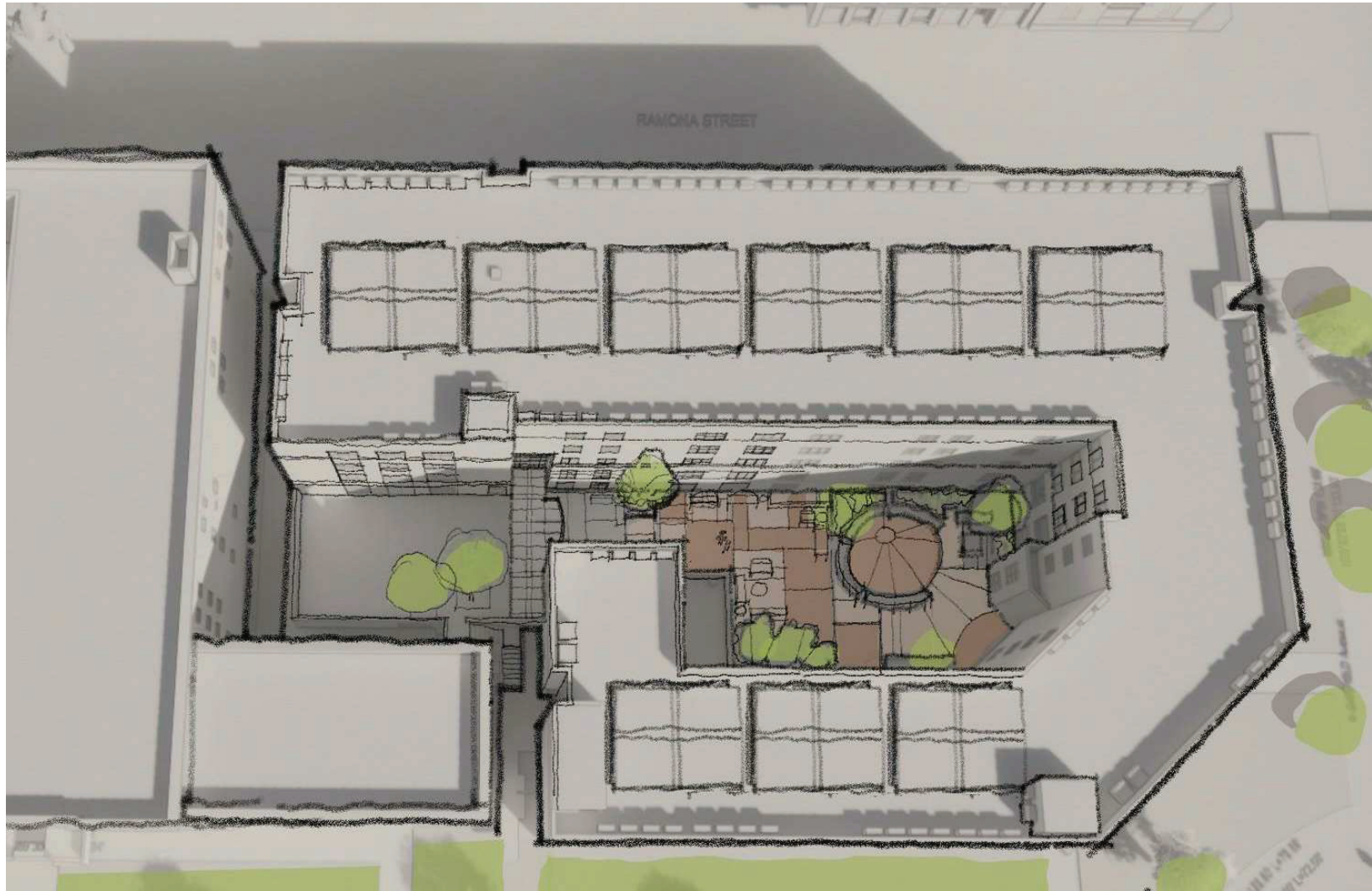
ONYX

RAMONA SENIOR HOUSING

ELEVATION STUDY

JUNE 18 2021

A41



ONLYX

RAMONA SENIOR HOUSING

COURTYARD AERIAL VIEW

JUNE 18 2021

A42



ONYX

RAMONA SENIOR HOUSING

COURTYARD VIEW LOOKING WEST

JUNE 18 2021

A50



ONYX

RAMONA SENIOR HOUSING

COURTYARD SOUTHWEST VIEW

JUNE 18 2021

A51