

Hillsides Master Development Plan Phase 4

940 Avenue 64
Pasadena, California 91105

Historical Evaluation of Proposed Rehabilitation



prepared for:

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HILLSIDES MASTER DEVELOPMENT PLAN PHASE 4

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1. Introduction

At the request of the City of Pasadena, Architectural Resources Group (ARG) has completed this review of the Master Plan Phase 4 for the Hillside campus at 940 Avenue 64 in Pasadena. The Project, described below, is the fourth and last phase in the Master Plan process for Hillside and consists of minor additions and alterations to the three oldest buildings on the campus. The Master Plan Phase 4 is being reviewed by the City of Pasadena for its conformance with the *Secretary of the Interior's Standards for Rehabilitation*.

This review has been completed by Jennifer Trotoux, Associate, Architectural Historian and Preservation Planner. She meets the Secretary of the Interior's Professional Qualifications Standards for history and architectural history and has nearly 20 years of experience in the evaluation of historic resources and project impacts.

To complete this review, ARG examined relevant Master Plan documents; visited and photographed the buildings involved in Phase 4, evaluating their condition and historic integrity; walked the remainder of the campus for context; reviewed historic photographs, plans, and maps; and consulted historical building permit records and other similar documents.

ARG's conclusion resulting from the analysis in this report is that the Hillside Master Plan Phase 4 meets the *Secretary of the Interior's Standards for Rehabilitation* with minor changes based on information discovered in historic photographs, and so modified will not have an impact on the historical significance of the buildings involved. Since the plans for the rehabilitation are in the conceptual stage and were presented in the Master Plan only as they affected exterior volumes and egress, we have included further project-level recommendations for the rehabilitation of the three subject buildings.

2. Project Description

The Project is Phase 4 of the Master Plan for the Hillside Education Center campus. This phase proposes treatments for the three oldest buildings on the property: the Administration Building and the North and South Annexes adjacent to it. The Annexes were originally boys' and girls' dormitories. These three buildings serve as the main reception and office buildings on the campus and form a cluster at the south corner of the property, close to Avenue 64. They are the. Due to their location and use, and their being the oldest buildings on the campus, they define the architectural identity of Hillside.

The Administration Building would receive the largest addition, located on its south end. The addition is roughly square in plan (20' 9" x 22' 4") and holds a conference room on the ground floor and restrooms on the second floor. A proposed exterior exit stair is flush with the rear exterior wall of the existing building, while the lower flight wraps the south side of the addition. It is detailed similarly to the wood staircases that now exist on the buildings. While these exterior stairs are not original features, they are consistent in character and materials with those that were constructed in the early years of the buildings' history.

On the north end of the Administration Building, a small, two-story enclosed stair is proposed. Later additions that house storage and a walk-in refrigerator are proposed to be removed. Dining functions would

be moved to another location on the campus. In the area where these additions are removed, the enclosed stair addition would be constructed on the north side of the building facing the North Annex.

The North and South Annexes are two smaller buildings that flank the Administration Building and appear to predate it. These buildings essentially mirror each other on the exterior. Each of these buildings is proposed for exterior circulation changes. At the North Annex, the current exterior stair on the south side is proposed to be demolished and rebuilt in the current location in a similar manner. At the South Annex, the current exterior stair on the north side of the building would be demolished and rebuilt on the rear of the building in a similar manner.

At the primary facades of both Annexes, the Master Plan proposes “restoration to original porch design.” Further refinement of the design of the porches will be necessary to meet the *Standards*. More information about the historical features of the porches is included in this report to guide the restoration design.

3. Property Description

The Hillsides campus occupies an irregularly shaped property of 16.49 acres. Avenue 64 bounds the west side, and Church St. bounds the north side. Most of the buildings are concentrated near these two streets, with the main entrance and Administration Building located along Avenue 64 on the west end of the property. Other buildings along the north side of the property consist of residential “cottages” and education and resource buildings, along with recreational facilities. Most of the property, however, consists of fairly steep and undeveloped hillsides partially wooded with oak trees.

The cluster of the Administration Building and Annexes forms the historic and administrative heart of the campus, and is the portion most visible to the public. The long legacy and character of the institution is conveyed by these buildings, though the other buildings on the campus are not historic. In the area adjacent to the historic cluster, internal streets are lined with terraces finished in granite arroyo stones that are characteristic of local landscape and buildings of the period. In some places, contemporary concrete staircases have been worked into the terracing in a complementary manner.

The c. 1922 Administration Building, the main building of the campus, is two stories high with obtusely angled side wings that suggest a forecourt. The building is two stories in height and basically symmetrical on its primary elevation. The building is clad in stucco and covered by a low-pitched, hipped roof clad in composition shingle. A two-story porch occupies the center of the main façade featuring rectangular columns cased in wood with a recessed panel on each side. Low wood panels of horizontal boards, which also appear original, enclose the main front of the lower porch flanking the main steps. The ground floor on the main façade, to either side of this porch, has several pairs of multilight glazed doors (replacements approximating the originals) surmounted by multilight transoms. These doors lead to the dining room on the north side of the building and to the auditorium on the south side of the building. The remainder of the ground floor contains offices and reception areas in the center, with kitchen functions rounding out the rear of the north wing.

The South and North Annex are much smaller buildings of similar vintage (c. 1917), residential in their appearance and scale. They are aligned with the ends of each wing of the Administration Building. They

essentially mirror each other, with a porch located on the main façade with details that echo those of the Administration Building. Both are clad in stucco with low-pitched, hipped roofs clad in composition shingle. As with the Administration Building, most of the fenestration is not original. The exception is several first-floor areas of the North Annex, where the original multilight, double-hung windows are present in the enclosed part of the front porch/sunroom and the adjacent windows to the north. The windows in the corresponding locations on the South Annex have been replaced, though the frames appear mostly intact. Both Annexes have metal vertically sliding windows on the second floor that replaced multilight pairs of wood casement sash, according to early photos.

All three buildings have concrete site work, some of which is original, around the entrances. Planters, which must have been problematic early on considering the need for drainage, were incorporated into the front steps and porches of the Annexes but have been infilled. The exterior exit staircases seen on the sides and rear of all three are early (though not original) features or replacements of those early, added staircases.

The remaining buildings of the campus were constructed mostly in two phases, corresponding to the growth of the facility in the 1960s and the prior master plan that was completed in the 1990s (including education buildings and suburban-house-like residential units).



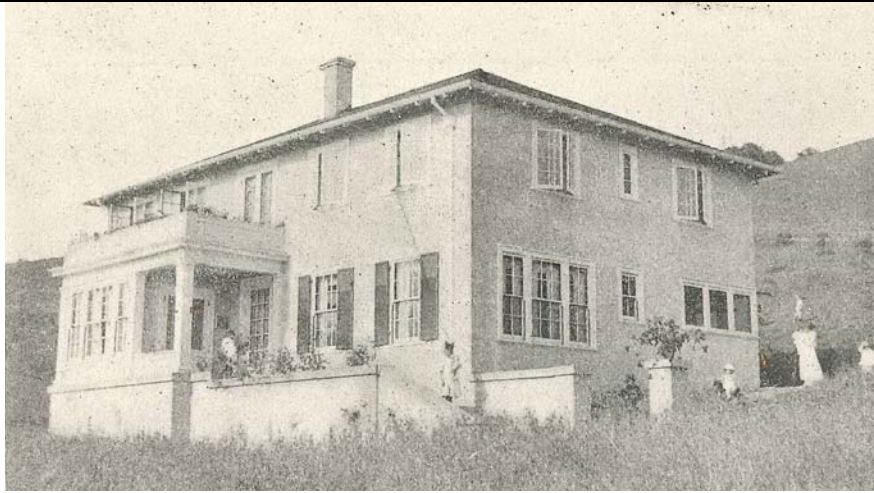
View of Administration and Annex buildings from Avenue 64.



Historical appearance of Administration Building (date unknown, possibly late 1920s; image provided by Hillsides).



Current appearance of Administration Building. (ARG, 2/2015)



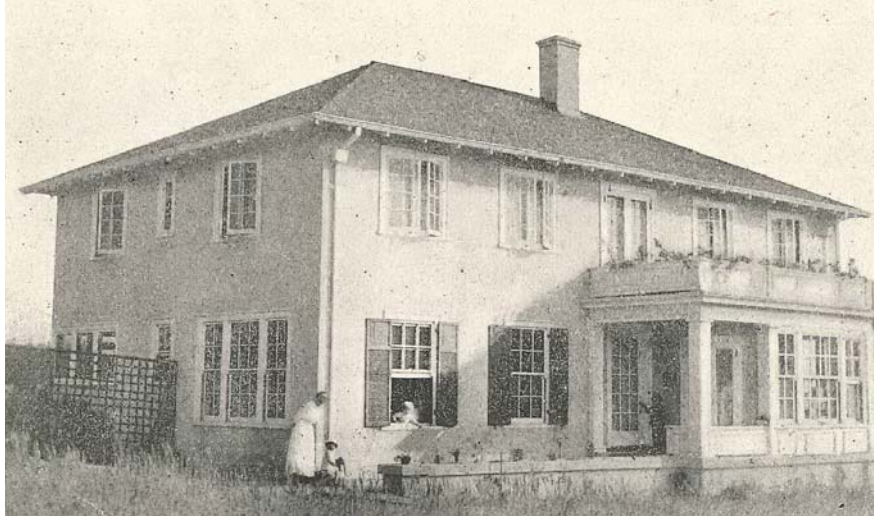
North Annex, earliest view (the Jack and Winifred Cottage), c. 1920



Historical appearance of North Annex, c. 1940 (image provided by Hillsides)



Current appearance of North Annex, view northeast (ARG, 2/2015)



Historical appearance of South Annex, c. 1920 (Image provided by Hillsides)



Current appearance of South Annex, view west of side façade (ARG, 2/2015)



Current appearance of South Annex, view south of main façade (ARG, 2/2015)

Historic Integrity

The National Register of Historic Places guidelines provide a framework for evaluating the historic integrity of buildings that is widely applied in other programs and situations, and is useful for this evaluation as well. The guidelines identify seven aspects of historic integrity, the importance of which are weighted depending on the reasons for a property's significance. These seven aspects are integrity of setting, location, design, workmanship, materials, historic feeling, and historic association.

Historic integrity is the measure of a building's ability to convey its historical significance and is measured in terms of features that date to the property's historical period, known as its *period of significance*. While no period of significance has been established for the subject buildings, they appear to have reached their current configuration by 1931 (when the property appears on a Sanborn Map; see pages 10-11, below). There appear to have been only minor exterior alterations, mostly to address egress issues, during and shortly after this period. These alterations include addition of exterior staircases from the second floor and attendant addition, closure, or elimination of doors and windows to accommodate them.

At this point, alterations to the three buildings include:

1. **WINDOW REPLACEMENT:** Replacement throughout of at least 80% of the historic windows with aluminum vertical sliders and, more recently, vinyl false divided light windows. The replacement of windows is the alteration that has had the greatest impact on the historic integrity of the buildings.
2. **MINOR ADDITIONS:** The Administration Building has undergone small, one-story additions on the north rear and side facades to expand the facilities available for the kitchens of the dining room. The staircases on all three buildings are also minor additions. The stairs themselves are reversible, but in several locations windows were changed to doors, or vice-versa, to redirect circulation from the second floor. Windows were filled in at some locations as well, though the frames are still visible.

The Administration Building and Annexes have not been moved, and the residential neighborhood that grew up around them has become more dense but reasonably consistent in character with its appearance as of c. 1930. The buildings' integrity of setting and location is high. The essential architectural character of the buildings has remained intact, with few changes to the buildings' overall appearance or design intent. The important exception to this is the loss of all second-floor casement windows and many first-floor windows as well. The buildings' integrity of design remains reasonably high overall, despite this loss, with the massing, exterior cladding, roof shape and covering, etc., intact. The integrity of materials and workmanship has been compromised by the loss of original windows and their replacement with metal and vinyl windows that are out of keeping with the original design and palette of materials. The buildings' historic feeling remains fairly high on the exterior of the buildings. The interiors, however, have been extensively modified due to changes in use and sensibilities over many decades. The integrity of association, lastly, is high as the buildings are still used as the main buildings of the Hillsides campus, although they are no longer used for residential purposes.

4. Property History and Significance

Hillsides was founded in 1913 as a home-like refuge for neglected and abandoned children. Originally located in the nearby Los Angeles neighborhood of Highland Park, the Church Home for Children had, by 1916, moved to the current property. The land appears to have belonged to the Episcopal Diocese or to the Church of the Angels, an Episcopal congregation whose landmark church dating to 1889 is located directly north of Church Street on an adjacent property.



Evelyn Wile (1878-1927; left), a Deaconess of the Episcopal Church who founded Hillsides, was born in Massachusetts to Canadian parents, per 1920 U. S. Census records. She died at age 49, but spent the last 14 years of her life in the founding and development of the Church Home for Children.

Harold H. Martin (1879-1952) was the English-born architect of the early buildings. His practice, based in Pasadena, was largely dependent on the patronage of the Episcopal Diocese of Los Angeles (est. 1895). In addition to this commission, Martin designed facilities for Holy Family Church in Inglewood, St. Thomas the Apostle in Hollywood, Trinity Episcopal Church in Santa Barbara (all extant), and All Saints Episcopal Church, Pasadena (an earlier 1908 building), among others.

Within its residential neighborhood, six acres of the Hillsides property remains largely undeveloped. In the early years of the century, the property and its surroundings were quite rural in character. As of the late 1920s, the three main buildings at the south corner of the property were the focus of the site. These are the still-extant Administration Building and Annexes (then separate cottage-like dormitories for boys and girls), which were constructed c. 1917. A number of small cottages were located along Church St., removed from the main buildings (see Sanborn map on following page). These cottages may have preceded the establishment of the Church Home on the property.



The Avenue 64 pass with Church of the Angels (1889) in the center of image. Hillsides property appears to lie between the church and the cultivated land (beyond the row of small trees).

Chronology of Administration Building and Annexes:

An accurate chronology of construction of the three historic buildings could not be definitively established. Building permits at the City of Pasadena are not available for the earliest construction and the records are unclear. The Annexes do appear to predate the Administration Building, as explained below.

1917 South Annex (William Emmert Lowe Cottage; later Hillsides Institute) constructed. North Annex (Jack and Winifred Cottage; later Jenny's Cottage) presumably constructed at approximately the same time.

1922 Approximate date of Administration Building original construction (per a 1924 addition permit)

One of two early drawings provided by Hillsides is a January, 1922 plan for the south wing of the Administration Building. It appears to be an addition to the existing building, which permits indicate was constructed in 1922. See 1924 for further explanation.

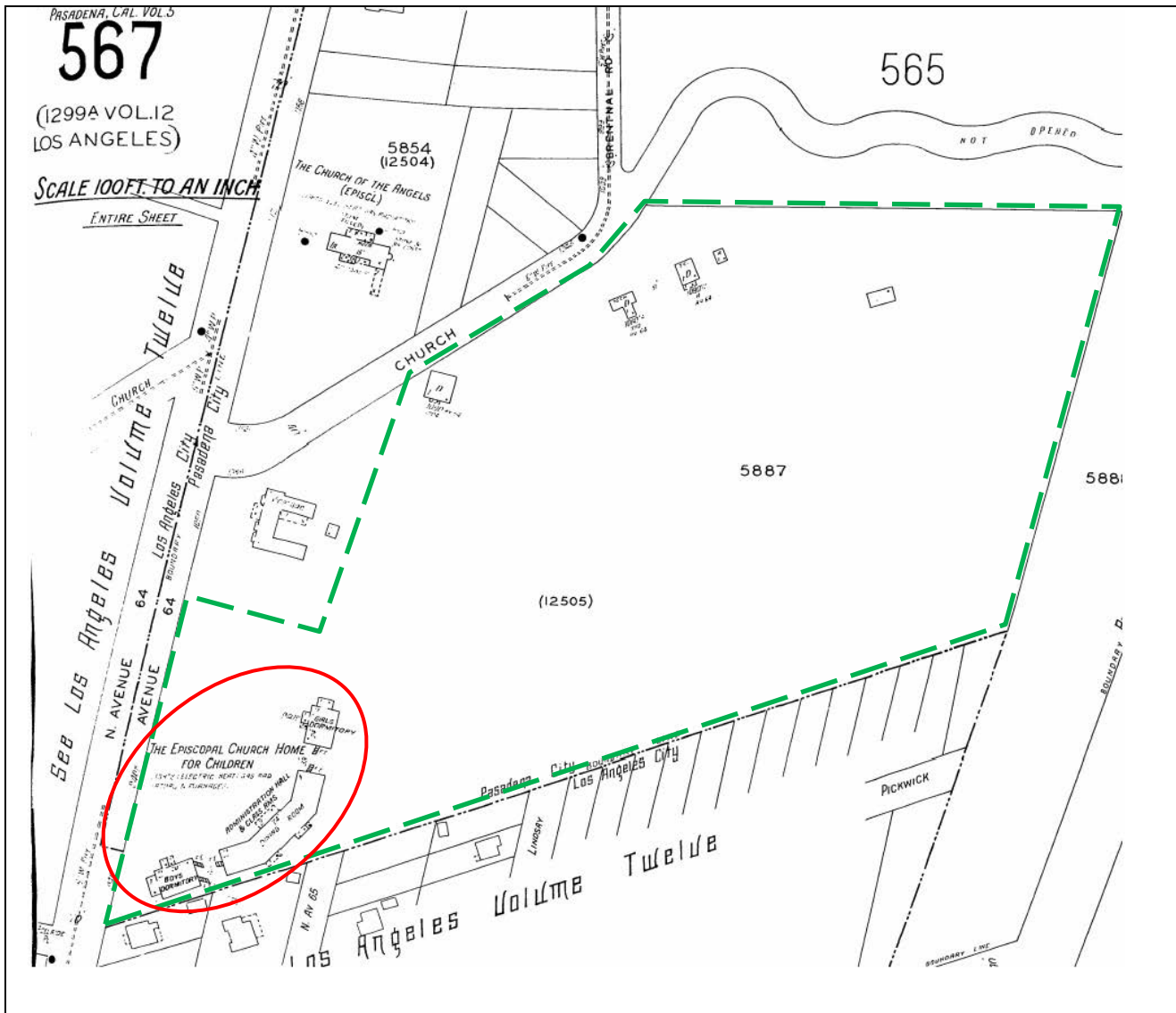
1924 Permit issued (has two dates, 2/13/24 and 11/4/27) for South Wing of the Administration Building. This permit states that original construction date of the building was 1922. From this evidence, we have assigned a date of 1922 to the Administration Building.

Upstairs common rooms appear to have been converted to a dormitory on rear of center portion of plan and a superintendent's suite along the front balcony (living room and bedroom with bathroom). Pocket doors and a fireplace seen at edge of 1922 plan have been eliminated in this drawing.

1926 Plans dated October 30, 1926 appear to show alterations to the second floor, center and north wing, of the Administration Building. North wing shown as bedrooms, a dormitory, and a common bathroom. Exterior fire escape shown at end of corridor.

1970s-present: Original windows, particularly on the second floor where there was concern for fire egress safety, were changed out with metal and vinyl replacements over time. The City's orders for fire safety did not allow for the original windows simply to be repaired, resulting in a loss of historic integrity.

c. 1995 Additions were made to the north rear of the Administration Building to expand the functions of the kitchen. These additions are not historic features.



1931 Sanborn Map (Pasadena Vol. 5, Sheet 567) showing the earliest buildings at the southwest corner of the site on the Pasadena-Los Angeles border when the institution was known as the Episcopal Church Home for Children. The small buildings shown along Church St. do not survive. The Parish Hall of the Church of the Angels, seen at the southeast corner of Ave. 64 and Church St., is still extant but the property has been subdivided so that the Parish Hall is no longer a part of the Hillside property (the green dotted line reflects the current property boundary). The three small one-story dwellings and two ancillary structures on Church St. seen here are no longer extant.



Detail of 1931 Sanborn Map (Pasadena Vol. 5, Sheet 567). Main building is marked “Administration Hall and Classrooms” while current South Annex is “Boys Dormitory” and North Annex is “Girls Dormitory.”

The next phase of building on the campus appears to have occurred in the late 1950s through early 1960s. The Hillside web site notes, “In the 1960s, Hillside became aware of the large number of troubled youth cycling through foster care and shifted from long-term custodial care to become a therapeutic residential center providing specialized care to vulnerable youth.” A swimming pool and a number of residences were added to the upper campus to increase the capacity of the institution. The 1951 Sanborn has no updates to the property from the 1931 map, indicating that there were no changes to the building stock during that period.

Between 1917 and 1922, the Administration Building and Annexes were constructed. A small number of cottages, apparently already existing on the property, were utilized prior to the construction of these buildings and appear to have remained for years afterwards in the “upper campus” area along Church St.

Significance and Prior Evaluations

The original buildings of Hillside, the Administration Building and Annexes, have been treated by the City of Pasadena as historic resources for over 20 years. In the course of reviewing the prior Master Plan for the site, completed in 1993, the City required that an inventory of the site’s historic resources be undertaken. All buildings on the site were recorded on Department of Parks and Recreation (DPR) form 523a in 1997. The forms were completed by Hillside and do not include evaluations of significance. Some of the accompanying documentation indicates that one of the 1916 cottages that was torn down at that time, known as Canyon Cottage, merited a ranking of “3” or Structure of Merit. The Administration and Annexes were not evaluated because their demolition was not proposed. Canyon Cottage was not located within the original cluster of three buildings, but farther north along Church St.

Since the 2002 revision of the City code, the category of Structure of Merit was eliminated. However, the City is proceeding with this review on the assumption that the cluster of affected buildings on the property is a historic resource. The buildings appear to meet the criteria for Landmark designation, which essentially mirror those of the California Register of Historical Resources (which are the threshold for consideration under the California Environmental Quality Act (CEQA)). These criteria read as follows:¹

A. Landmarks.

1. A landmark shall include all properties previously designated a landmark before adoption of this Chapter and any historic resource that is of a local level of significance and meets one or more of the criteria listed in Subparagraph 2., below.
2. A landmark may be the best representation in the City of a type of historic resource or it may be one of several historic resources in the City that have common architectural attributes that represent a particular type of historic resource. A landmark shall meet one or more of the following criteria:
 - a. It is associated with events that have made a significant contribution to the broad patterns of the history of the City, region, or State.
 - b. It is associated with the lives of persons who are significant in the history of the City, region, or State.
 - c. It embodies the distinctive characteristics of a type, architectural style, period, or method of construction, or represents the work of an architect, designer, engineer, or builder whose work is of significance to the City or, to the region or possesses artistic values of significance to the City or to the region.
 - d. It has yielded, or may be likely to yield, information important locally in prehistory or history.

The Administration and Annex buildings at Hillside appear to meet Landmark Criterion 2a for their association with Hillside, which has been a significant social services institution in Pasadena for 100 years. The buildings are strongly associated with the operations of the institution, with its founder Evelyn Wile, and with the core functions of Hillside during its historical period (then known as the Church Home for Children). Despite window replacements that have lessened the integrity of the buildings, they retain enough integrity of location, setting, design, feeling and association to represent Hillside during its historical period. While the significance of Hillside in the context of social service institutions in Pasadena continues to grow, the association of the buildings with the early period of the institution must be considered within a historical perspective and context.

5. Evaluation of Proposed Rehabilitation

The *Secretary of the Interior's Standards for the Treatment of Historic Properties* (codified in 36 CFR 67; the *Standards*) are widely used to guide Federal agencies in carrying out their historic preservation

¹ City of Pasadena Zoning Code, Article 6 – Planning Permit Procedures, section 17.62.040 - Criteria for Designation of Historic Resources. <http://ww2.cityofpasadena.net/zoning/P-6.html#17.62.040> Accessed March 4, 2015.

responsibilities for properties in federal ownership or control. They are also commonly used by state and local officials in reviewing both federal and nonfederal rehabilitation proposals and have been adopted by design and preservation commissions across the country.

The intent of the *Standards* is to assist the long-term preservation of a property's significance through the preservation of historic materials and features. The *Standards* pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and interior of the buildings. They are also applied to related landscape features and the site and environment of a historic resource, as well as attached, adjacent, or related new construction.

The *Secretary of the Interior's Standards for the Treatment of Historic Properties* address four treatment approaches for historic buildings: preservation, rehabilitation, restoration, and reconstruction. The treatment of "Rehabilitation," which applies to this project, is defined as:

The process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values.

The *Standards* are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility. The *Standards for Rehabilitation* read as follows:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Each of the *Standards* and the project's conformance to each is discussed separately below, followed by a summary. The discussion here is limited to the exterior of the buildings.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Phase 4 of the Hillsides Master Plan meets Standard #1. No change of use is proposed, but some reconfiguration of interior spaces will be a part of the rehabilitation. The historical use of the buildings as residences and dormitories was eliminated decades ago as those uses were moved to other buildings on the property. Impacts to interior historic fabric occurred long before the current Phase 4 Master Plan. The offices and reception programming of the three buildings has the advantage that it maintains the primary role of this cluster within the campus.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Phase 4 of the Hillsides Master Plan meets Standard #2. The staircases that are proposed to be removed are not original features but were built in early years as supplement egress. These early staircases appear to have been replaced with later materials in a similar configuration. While those that are still original may have been built during the period of significance, they are not essential to the building's integrity of design or materials.

A limited number of original openings will be eliminated on the side facades of the buildings in order to accommodate the additions to the Administration Building. These openings are of secondary significance and the windows themselves are not historic material, having been previously replaced. Their elimination has a minor impact on the integrity of the buildings.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

Phase 4 of the Hillsides Master Plan meets Standard #3. While the proposed details, to be further determined at the project level, appear to be consistent with the original buildings, this serves to

integrate them with the buildings while their being offset in plan and roofline allows them to be distinguished from the original massing of the buildings. No conjectural recreation of missing elements is proposed and no salvaged features are included in the additions.

With the additional information from historic photos of the porch included in this report, the missing low wall around the top of the porch roofs of the Annexes may be recreated based on historical evidence with a minimum of conjecture.

4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Phase 4 of the Hillsides Master Plan meets Standard #4. The main Administration Building may have been built in phases, according to drawings that indicate the addition of at least one of the side wings. The buildings reached their current configuration prior to 1931. The proposed alterations appear to accept this configuration as the historic condition.

5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

In order to meet Standard #5, project-level design for the rehabilitation of the Annexes must include the partial enclosure of the Annex front porches and the retention and rehabilitation of those historic windows that remain, as well as the other wood elements of the porches that are considered historic features.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

In order to meet Standard #6, project-level design must include the retention and rehabilitation of those historic windows that remain as well as the wood elements of the porches that are considered historic features.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Chemical or physical treatments noted in Standard #7 are outside of the scope of the Master Plan Phase 4.

8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Standard #8 does not apply to Phase 4 of the Hillsides Master Plan. The amount of excavation is limited in area and involves ground already disturbed in the grading for the original buildings and any additions to them. No impact on archaeological resources is anticipated.

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

One aspect of the proposed alterations to the Annexes does not meet this Standard. The removal of historic material to completely open the porches of the Annexes is proposed. This appears to be based on the erroneous assumption that the porches were partially enclosed at a later date, which is demonstrated not to be the case through historic windows and other material intact on the North Annex and photographs from very early in the life of the buildings that shows that they were originally partially enclosed as they are today. Since the intent of the project is to restore the porches, the Project should be changed to take this information into account in order to meet Standard #9. See further explanation at the end of this section.

Phase 4 of the Hillsides Master Plan otherwise meets Standard #9. The additions to the buildings take place in areas that have been altered previously for earlier additions of staircases. On the Administration Building and Annexes, the current exterior staircases that are to be removed are not historic material or features. The massing, size, scale, and architectural features of the proposed additions are consistent with the existing features of the buildings, such as roof forms, exterior cladding, window types, materials, etc. They are also sized and placed so as to be secondary to the main mass of each building: the roofline of the additions is lower, and in plan each is offset from the primary and rear façades so that they can easily be read as separate, added volumes attached to the north and south ends of the building.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Phase 4 of the Hillsides Master Plan meets Standard #10. The additions are attached to minor facades that have previously been altered for the addition of earlier staircases or changes in program. The affected portions of the roof could reasonably be reconstructed were the proposed, attached hipped roof is located. The additions do not destroy features that could not be reconstructed or recreated in the future if the additions are removed. Please see photos of affected areas below.

Based on the above assessment, ARG recommends the following change be required to the project as proposed in order to be consistent with the *Secretary of the Interior's Standards* (see Standard #9):

- Maintain the existing enclosed space within each Annex porch and restore the windows, doors, and other features (or replace with appropriate replications where missing). As noted above, with the benefit of historic photos provided by Hillsides, it is now evident that the front porches were not

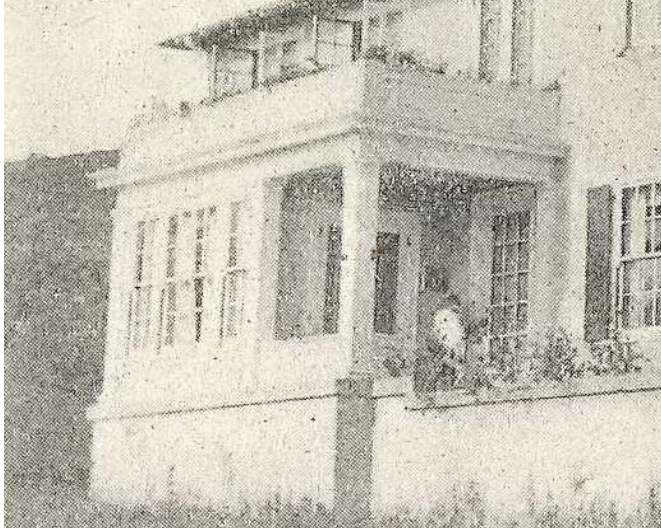

fully open in their original configuration. At the North Annex, the windows remain intact. At the South Annex, the windows were replaced but the mullions (vertical members dividing the windows) and likely some of the frames/sills are intact. Wood frame, double-hung windows should be fabricated to match those in the North Annex porch in terms of material, operability, dimensions, and muntin profile.


At each Annex, main entrance doors should be replaced to replicate the historic three by five light wood frame door. Pairs of multilight doors should be installed to replicate the historic condition on adjacent face of the enclosed porch (adjacent to entrance door). The paired doors were most likely two by five lights and had wood frame screens. Inclusion of screen doors to meet the *Standards* is optional.




Photos of Affected Areas: Administration Building	
	<p>South end. View of area where largest proposed addition, to contain a conference room and restrooms, will be located. Proposed addition is two stories high with a hipped roof, set back from the front façade of the building by approximately eight feet, and with a lower, separate hipped roofline. Existing openings on this side façade will be removed.</p> <p>Shed (not a historic feature) will be removed and addition will be located approximately on the platform seen at center.</p>
	<p>South end. Removal of non-historic stairs at right (on South Annex) will create more room for the proposed addition to the south end of the Administration Building (left).</p>

Photos of Affected Areas: Administration Building	
	South end. Shed and current south exit staircase will be removed from south end of the Administration Building. Two-story conference room and restroom addition with exterior, rear and side staircase will be constructed in this location.
	North end. Non-historic rear additions pictured will be removed from the north end of the Administration Building.
	North end. Two-story enclosed exit stair to be added in this location, the north end of the Administration Building. Proposed addition is 9' x 17' 2" in plan, two stories high with a hipped roof, set back from the front façade of the building by approximately three feet, and with a lower, separate hipped roofline. Nonhistoric stairs and existing openings on this side façade will be removed.

Photos of Affected Areas: North Annex	
	<p>North Annex existing exit staircase (not a historic feature) will be replaced in same location on north facade. There was no staircase on this façade originally, but one was added in early years.</p>
	<p>Master Plan proposes the restoration of the original configuration of the porches (at right in this view). Note that the porches were originally partially enclosed as seen today. Note original windows still present in porch and the two windows seen here to the left of the porch.</p>
	<p>Pair of glazed doors and screens that led into the side of the porch (right) was replaced with a single solid door. Multilight glazed main entrance door was replaced. Project intent of restoration of the porches should include returning the multilight pair of doors to the enclosed porch and replacing the current main entrance door with a 3 by 5 light door. Refer to historic detail view below.</p>

Photos of Affected Areas: North Annex	
	<p>Detail of historic photo of North Annex showing doors and door types, roof configuration, etc. Planter boxes were located on roof but it is not necessary to replicate this function. Restoration of porch to include reconstruction of upper low wall of porch roof based on the feature's appearance historic photos.</p> <p>Access to roofs should be restricted to avoid code issues (maintaining and repairing, if possible, or replacing in kind, the original doors from second floor).</p>
	<p>Detail of historic photo of the North Annex shows further detail of the paired doors and screens (left) to aid with Master Plan Phase 4 intent of restoring the porches of the Annexes.</p>

Photos of Affected Areas: South Annex	
	<p>Existing exit staircase (not a historic feature) will be removed. There was no staircase on this façade originally, but one was likely added in early years as at the North Annex. Its elimination from this façade provides more space for the addition proposed for the south side of the Administration Building, directly opposite. Open stairs of similar type proposed to be relocated to rear of building, to the left.</p>

Photos of Affected Areas: South Annex	
 A photograph showing the rear of a light-colored, multi-story building. The wall is mostly blank with some utility boxes and a small window. A concrete foundation is visible at the bottom.	<p>Rear of South Annex (view south) where new stair will be added.</p>
 A photograph of a front porch with a white railing and a large window. A tree is in the foreground, and a white chair is visible on the porch.	<p>Master Plan proposes the restoration of the original configuration of the porches. Note that they were originally partially enclosed as seen today. Windows seen here replaced the originals. Fabricate windows matching the historic examples in the corresponding area on the North Annex for the enclosed porch based on the historic material, details, profile, etc. Since intent is to restore the porches, recreate the opening and paired multilight doors that led directly to the porch and replace the current main entrance door with a 3 by 5 light door. See also historic detail view below.</p>
 A close-up photograph of the porch entrance, showing a white door and a window. The porch has a concrete floor and a white railing.	<p>Doors to north side of porch were eliminated. Since intent is to restore the porches, recreate the opening and paired multilight doors that led directly to the porch and replace the current main entrance door with a 3 by 5 light door. See also historic detail view below.</p>

Photos of Affected Areas: South Annex	
	<p>Project intent to restore the porches should include replacing the current main entrance door with a 3 by 5 light door. See also historic detail view below.</p>
	<p>Detail of historic photo of South Annex showing window configuration, door types, etc. Planter boxes on roof. Access to roofs should be restricted to avoid code issues.</p> <p>Second floor level: Doors were removed from this porch and replaced with windows to eliminate access. This condition may be maintained with aluminum windows replaced with wood casements and new casing to match adjacent.</p>
	<p>Detail of historic photo taken at the North Annex shows further detail of the paired doors and screens (left) to aid with Master Plan Phase 4 intent of restoring the porches of the Annexes.</p>

6. Supplemental Rehabilitation Recommendations

ARG has determined that the changes proposed within the scope of the Master Plan Phase 4 are designed appropriately to maintain the historic integrity of the subject buildings, with the exception of the porch configuration as noted. While the following recommendations are outside of the scope of the Master Plan Phase 4, these specific items based on the historic appearance of the buildings will assist in their overall rehabilitation and return much of the exterior historic integrity that has been lost from the buildings over the years. It will also ensure that with the additions proposed, the integrity of the historic portions and features of the buildings is promoted and maintained despite the additional volume added. These recommendations place the emphasis on returning some of the historic character of the exteriors, while the project may involve the loss of some interior historic features and configurations.

Illustrations to guide this section are included as an appendix to this report.

- Replace all aluminum and vinyl-framed windows with period-appropriate wood windows at all three buildings in the cluster. Window types should be based on those seen in historic photos, which were generally double-hung on the first floor and eight-light (two by four light) paired casement sash on the second floor. Metal- or vinyl-frame windows with wood cladding are most likely not sufficient to restore the building's integrity because they do not replicate the appropriate muntin profile and also age differently than wood.

Note that the original casement windows appear from historic drawings to have had interior screen sash that opened inward and exterior window sash divided into eight lights per sash. Recreation of the screens would not be critical to the appearance of the buildings, but their function may be desirable.

- Replace missing shutters on the two front windows on ground floor of the Annexes per early photographs.
- Remove wall air conditioners and place new condensers and other equipment in inconspicuous locations on the ground level. If roof placement is necessary, it should occur on the rear, not front or side, slopes of the roof.
- Replace utilitarian flood lights on the front and side of buildings with period- and style-appropriate fixtures that provide sufficient lighting while integrating more appropriately with the building's design and character.
- Maintain historic site features such as arroyo stone retaining walls along driveways where possible (as new circulation patterns are established), low walls framing Annex entrances, and brick retaining wall at sidewalk (which may require extensive repair or reconstruction).

One suggested change to the proposed addition applies, but is not a deciding factor in whether the Master Plan Phase 4 meets the Standards:

- The new windows proposed for the second stories of the north and south end additions to the Administration Building have square proportions. We suggest that these proportions could accommodate paired casement windows to coordinate with those on the historic buildings' second floors (if these windows, now all missing, are restored as suggested). The additions would still be distinguishable from the original portions of the building due to their massing and setbacks, but the incorporation of similar window types in the additions would help to integrate the additions with the Administration Building.

7. Conclusion

From the examination of the buildings in their current state, the review of historic plans and photographs, and the review of project documents, ARG concludes that the Hillside Master Plan Phase 4 will conform to *the Secretary of the Interior's Standards for Rehabilitation* with the following changes to the proposed design:

Modify the design of both Annex front porches to reflect the historic conditions (see Appendix for illustrations):

- 1) Maintain partially enclosed interior space of porch with double-hung windows on the front and far sides of porch (referring to North Annex windows for detail).
- 2) Install a multilight glazed main entrance door on the main face of the building based on historic type seen in early photos of the Annexes.
- 3) Install a secondary set of glazed doors (screens optional) on the perpendicular face of the enclosed porch (may be inoperable if security is a concern) based on historic type seen in early photos.
- 4) Design a replacement low wood wall for roof of each Annex porch to restore original features and proportions based on historic photos to determine height, setback, and other details.

With these changes, the proposed Master Plan Phase 4 meets the Standards. ARG's further suggestion is to incorporate the Rehabilitation Recommendations in Section 6 when project-level design goes forward in order to maintain and promote the historic integrity of all three buildings. With these changes, the project will strengthen the historic and aesthetic appearance of the buildings in a manner that allows them to go forward and represent the early years of Hillside while they continue to function as the most visible flagship buildings of the campus for its client families and the public alike.

8. Sources

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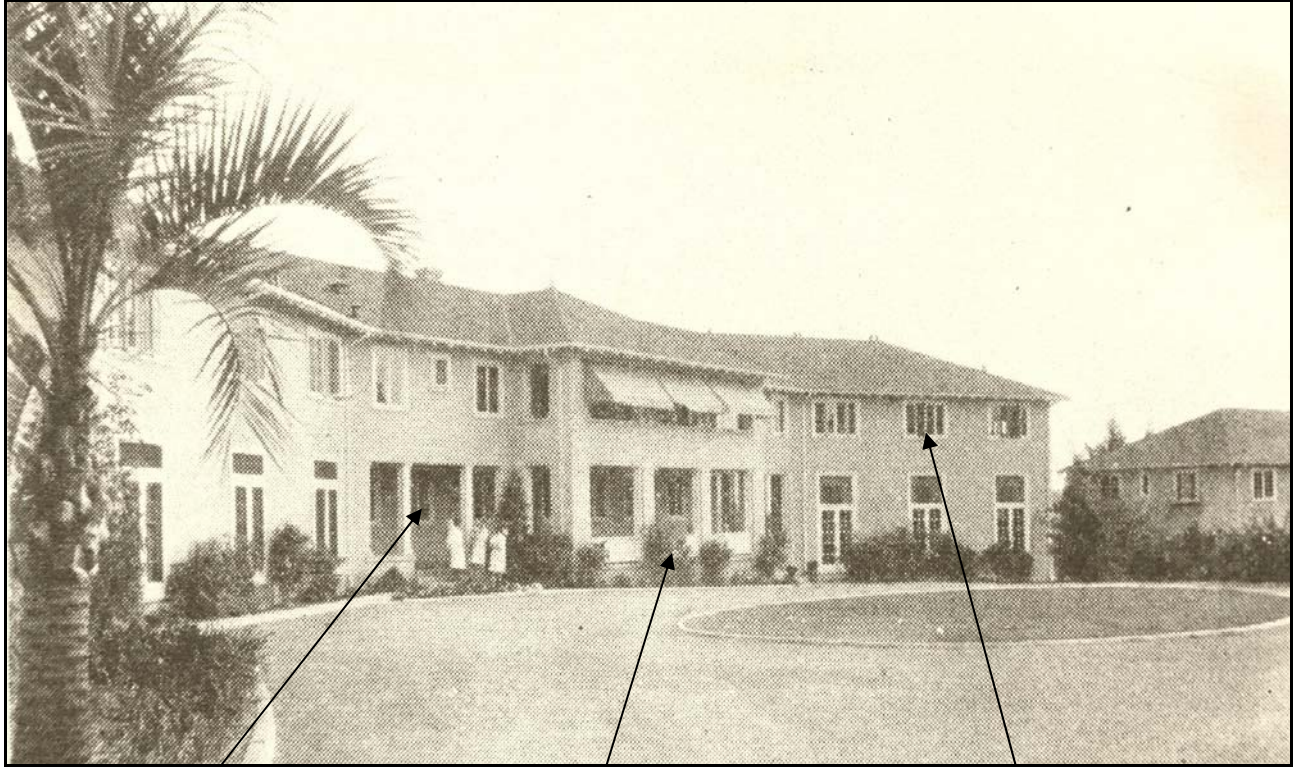
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APPENDIX:
Supplemental Rehabilitation Recommendations (Exterior)

ADMINISTRATION BUILDING

Recommended exterior rehabilitation items based on historic appearance:



Recent window replacements in this porch are double-hung windows instead of the historical type, which, seen here, were casement sash. Acceptable to maintain current replacements, which are compatible with the style and era of the building.

Central bay of front porch was originally closed. Acceptable to maintain this alteration for passage to the center of the façade. Maintain the low wood walls in adjacent bays.

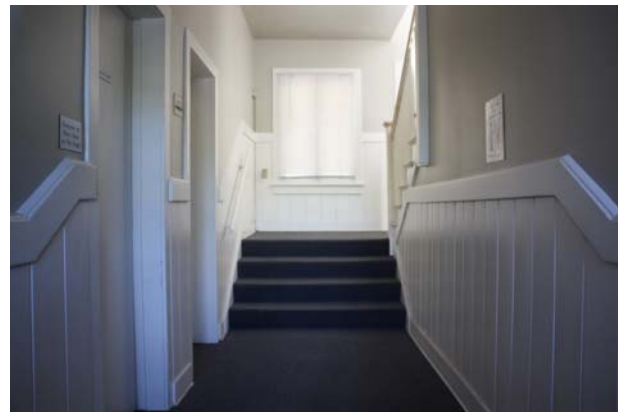
Replace all aluminum frame windows on second floor with two or four casement sash (according to opening size, which indicates original configuration).

**Administration Building
Exterior Rehabilitation Recommendations**



Remove wall air conditioners. Replace aluminum vertically sliding windows with 8-light wood casement sash according to model of historic photos.

Retain character-defining entrances and exits. The appearance of this entrance was restored after being closed for many years.



Replace wall light fixtures on main facade of building with a more compatible fixture. A very simple yet less utilitarian fixture is preferred.

Maintain character-defining interior features, particularly in public or circulation areas, such as the wainscoting, door frames, stairs, etc. seen here behind the auditorium.

NORTH ANNEX: Recommended exterior rehabilitation items based on historic appearance (includes porch rehabilitation in order to provide comprehensive information).

Maintain second floor doors, but restrict access to porch roof. Repair doors, or replace in kind (same materials and design) if original cannot be repaired.

Maintain chimney as roof feature.

Replace all aluminum windows on second floor (i.e., those not affected by the proposed addition) with paired wood frame casement sash.

Maintain historic concrete walls and steps.

Maintain and repair the historic windows on the enclosed porch and adjacent areas.

Install new three by five light wood frame entry door to replicate original.

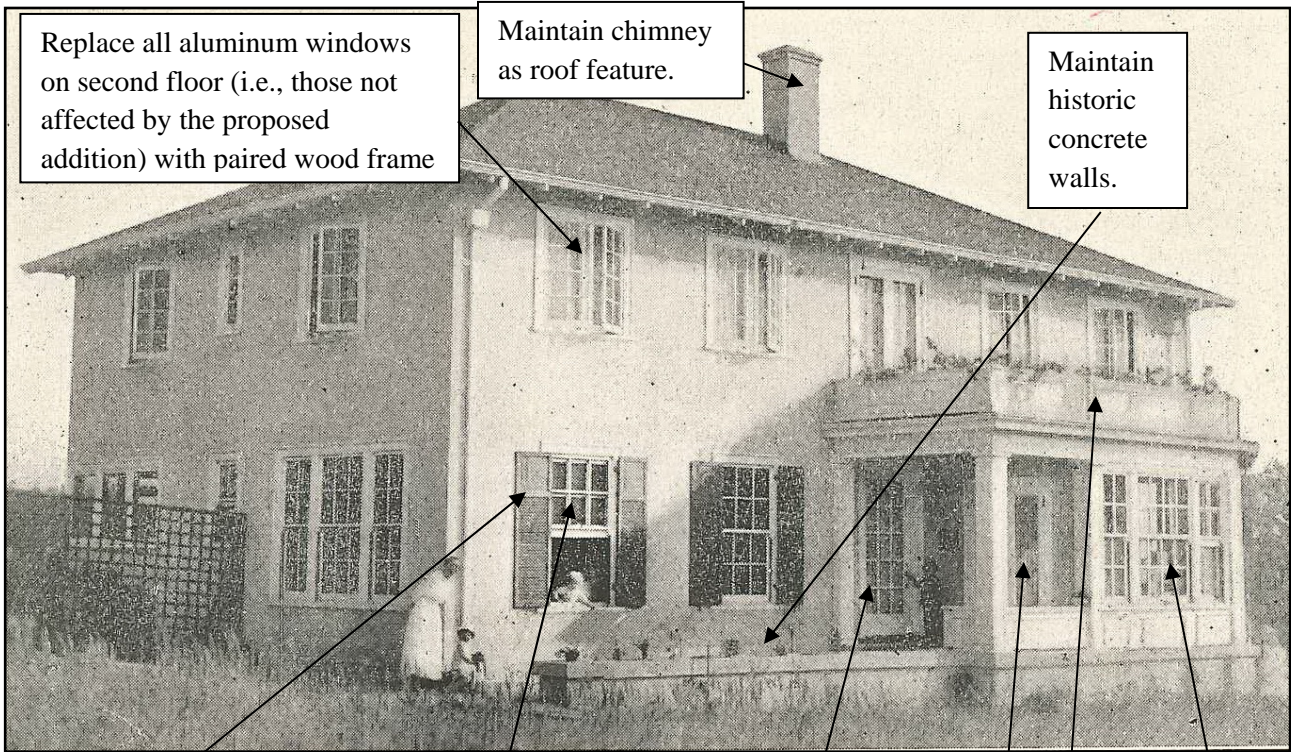
Install new pair of wood frame, two by five light doors (with wood screens if desired, as shown in detail of historic photo at right).

Install replica wood shutters at both front windows, where missing (see detail below right).

Replace front vinyl windows with double-hung wood frame windows, six over six as shown.

Design of the balcony rail appears to be similar to the design of the lower panels of the porch (below the windows). The new rail should be based on this design to restore the integrity of the porch. Returning the porches to their original appearance is among the goals of the Master Plan Phase 4.

SOUTH ANNEX: Recommended exterior rehabilitation items based on historic appearance (includes porch rehabilitation in order to provide comprehensive information).



Replace all aluminum windows on second floor (i.e., those not affected by the proposed addition) with paired wood frame

Maintain chimney as roof feature.

Maintain historic concrete walls.

Install replica wood shutters at both front windows, where missing (see detail below right).

Replace vinyl windows with double-hung wood frame windows, six over six as shown.

Install new three by five light wood frame entry door to replicate original.

Install new pair of wood frame, two by five light doors, with wood screens if desired (as shown in detail of historic photo at left).

Replace the windows on the enclosed porch with the historic type based on those extant on North Cottage. Utilize extant mullions and other elements of frame.



Design of the balcony rail appears to be similar to the design of the lower panels of the porch (below the windows). The new rail should be based on this design to restore the integrity of the porch. Returning the porches to their original appearance is among the goals of the Master Plan Phase 4.