

**ATTACHMENT F
PLANS**

ALLEN AND WALNUT T.O.D.



CITY OF PASADENA

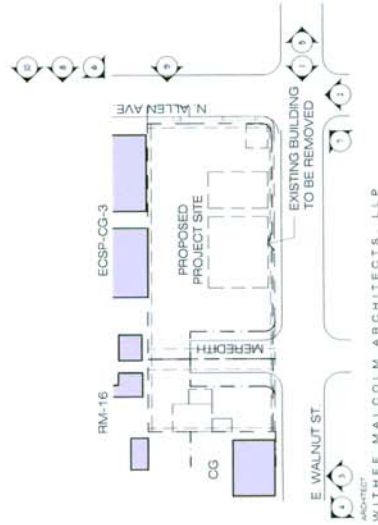
ARCHITECT
**WITHE MALCOLM
HARRIS
PARTNERS, LLP**
13000 CANTON, 310 211 8400
ARCHITECT DEVELOPER
AMCAL EQUITIES LLC

DATE: 10/26/13
DRAWN: SUPERVISOR 13 2013
PRINTED: SEPTEMBER 27, 2013

CONTEXT

THE PROJECT SITE IS LOCATED AT THE INTERSECTION OF NORTH ALLEN AVENUE & EAST WALNUT STREET, BOTH OF WHICH EXTEND INTO NEIGHBORHOODS WITH VERY DISTINCT QUALITIES FROM A MIX OF SERVICE / RETAIL TO VARIOUS SCALES OF RESIDENTIAL TYPOLOGIES. THE IMMEDIATE CONTEXT IS PREDOMINANTLY LITTERED WITH VESTIGE OF AUTOMOBILE CULTURE-RELATED ESTABLISHMENTS IN VARIOUS SCALES AND TYPES, ALL OF WHICH IMPEDE PEDESTRIAN ACTIVITY.

A MORE ENCOURAGING RM-16 ZONE EXISTS BEHIND THE COMMERCIAL-LINED EDGES, WHICH DUE TO ITS CLOSE PROXIMITY TO THE T.O.D. STATION, SIGNALS AN OPPORTUNITY FOR TRANSITION AND VITALITY. AS ILLUSTRATED IN THE ECSP, THE NEIGHBORHOOD DESIGN GUIDELINES, AND THE RECOMMENDATIONS ON THE UPDATE THE GENERAL PLAN, THE DEVELOPMENT OF PROJECTS THAT ADD AN ECLECTIC MIX OF USES, BEAUTIFY INTERSECTIONS, ELIMINATE PARKING FROM STREET FRONTS, AND ACTIVATE A MORE PEDESTRIAN DEFINED STREET SCALE ARE ENCOURAGED.



1. VIEW FROM THE EAST (1757-1787 WALNUT) OF PROPOSED SITE



2. VIEW OF CONTEXT - FROM INTERSECTION OF ALLEN AND WALNUT
LOOKING NORTH ON ALLEN AVENUE



3. COMMERCIAL BUILDING
(1713 WALNUT)
WEST OF PROPOSED SITE



4. COMMERCIAL BUILDING
(1685 WALNUT)
WEST OF PROPOSED SITE



7. COMMERCIAL BUILDING
(1821 WALNUT)
EAST OF PROPOSED SITE



8. COMMERCIAL BUILDING
(241 N. ALLEN)
NORTH OF PROPOSED SITE



5. VIEW OF SITE CONTEXT
(1792 WALNUT)
- ALONG WALNUT EAST FROM SITE



6. VIEW OF SITE (1818-1828 WALNUT)
- FROM NORTHEAST
LOOKING SOUTHWEST



9. VIEW OF SITE (241 N. ALLEN)
- FROM NORTHEAST
CORNER LOOKING TOWARD WEST



10. VIEW OF CONTEXT
(241 N. ALLEN & 1785 LOCUST)
- ALONG ALLEN
LOOKING WEST DOWN LOCUST ST.

ARCHITECT DEVELOPER
WITHEE MALCOLM ARCHITECTS, LLP
AMCAL EQUITIES, LLC

ALLEN & WALNUT T.O.D. - PASADENA CA

SITE PHOTOGRAPHS AND DESCRIPTION

DATE: 12/13/2013
PROJECT: PASADENA T.O.D.

THE PROJECT

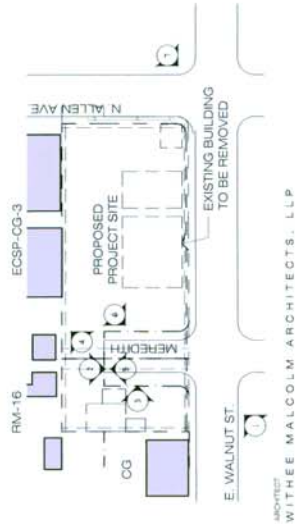
THE PROPOSED PROJECT IS DESIGNED AS A T.O.D. LOCATED AT THE NORTHWEST CORNER OF NORTH ALLEN AVENUE AND EAST WALNUT STREET INCLUDES: THE VACANT DAVIS LUMBER SITE, THE NORTHERLY STREET SEGMENT OF MEREDITH AVENUE, AND THE AUTO REPAIR GARAGE ON THE WEST SIDE OF MEREDITH. THE PROJECT SITE IS BASICALLY COMPRISED OF TWO SEPARATE AND DISTINCT PARCELS.

1. PARCEL 1 (WESTERLY) IS A 0.44 ACRE PARCEL CURRENTLY ZONED CG-1, WITH A T.O.D. OVERLAY.
2. PARCEL 2 (EASTERLY) IS A 1.42 ACRE PARCEL CURRENTLY ZONED ECSP-CG-3 (GOLD LINE RM-32).

THE PROJECT CONCEPT IS FOR ONE HUNDRED TWENTY EIGHT (128) RESIDENTIAL UNITS AND APPROXIMATELY 5,000 SQUARE FEET OF GROUND FLOOR RETAIL. THE BUILDINGS WILL BE THREE (3) AND FOUR (4) STORIES WITH THREE (3) LEVELS OF RESIDENTIAL (TYPE V CONSTRUCTION) OVER ONE (1) LEVEL OF ON-GRADE PARKING AND ANOTHER LEVEL OF SUBTERRANEAN PARKING (WITHIN A TYPE I GARAGE). RESIDENTIAL AMENITIES WILL INCLUDE GENEROUS OUTDOOR SPACES, COURTYARDS / GARDENS, POOL / SPA, FITNESS FACILITY, AND SELF-SERVICE PET SPA.

THE PROPOSED RETAIL WILL BE LOCATED AT THE CORNER TO SERVE AS A NEIGHBORHOOD ANCHOR AND WILL BE LINKED TO ITS THE PROJECTS SITE PLAZA AND COURTYARD. TO CREATE COMFORTABLE OUTDOOR SPACES CAREFUL CONSIDERATION IN THE DESIGN WILL BE PLACED ON THE ECSP GUIDELINES:

- GUIDELINE 1 RESPECT SURROUNDING CHARACTER
- GUIDELINE 2 MITIGATE MASSING AND BULK
- GUIDELINE 3 EMPHASIZE HUMAN SCALE DESIGN
- GUIDELINE 4 UNIFY AND ARTICULATE BUILDING FACADES
- GUIDELINE 5 WINDOWS, DOORS, AND STOREFRONTS
- GUIDELINE 6 DESIGN ROOF SILHOUETTES
- GUIDELINE 7 SITE AND BUILDING LIGHTING
- GUIDELINE 8 SIGNS



1. VIEW OF SITE (1757 - 1787 WALNUT) - FROM SOUTHWEST OF PROPOSED SITE LOOKING NORTH ALONG WALNUT



3. VIEW OF SITE (1727 WALNUT) - FROM MEREDITH LOOKING EAST



4. VIEW OF SITE (1757 - 1787 WALNUT) - FROM MEREDITH LOOKING NORTHEAST



5. VIEW OF SITE (1727 WALNUT) - FROM MEREDITH LOOKING NORTH



6. VIEW OF SITE (1727 WALNUT) - FROM MEREDITH LOOKING SOUTHWEST



2. VIEW OF SITE (1727 WALNUT) - FROM MEREDITH LOOKING SOUTH



7. VIEW OF CONTEXT (1792 & 1787 WALNUT) - FROM NORTHEAST CORNER OF WALNUT LOOKING WEST

APPLICANT/DEVELOPER
AMCAL EQUITIES LLC

FILE NO.
DATE
PROJECT

182546 011
November 13, 2013
September 27, 2013

ALLEN & WALNUT T.O.D. - PASADENA CA

SITE PHOTOGRAPHS AND DESCRIPTION



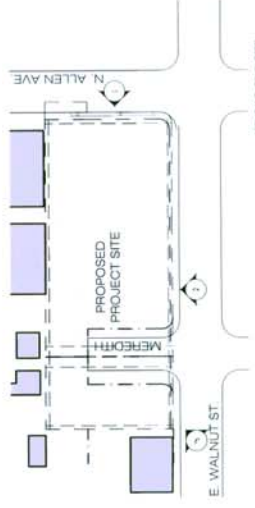
1. VIEW ALONG ALLEN AVENUE LOOKING WEST TOWARD PROJECT SITE



2. VIEW ALONG WALNUT STREET LOOKING NORTH TOWARD PROJECT SITE



3. VIEW ALONG MEREDITH STREET LOOKING NORTHEAST TOWARD PROJECT SITE



APPLICANT DEVELOPER
AMCAL EQUITIES LLC

ARCHITECT
WITHEE MALCOLM ARCHITECTS, LLP

ALLEN & WALNUT T.O.D. - PASADENA CA

STREET PHOTOGRAPHS AND DESCRIPTION

PROJECT INFORMATION
 1727, 1767 & 1787
 E. Walnut St., Pasadena, CA
 0.44 acres
 CG-1 TOD OVERLAY
 ZONING - CURRENT: 45.0 DU/acre
 ZONING - PROPOSED: 15 UNIT Allowed
 DENSITY - MAX: 15 UNIT Allowed
 BUILDING HEIGHT - MAX: 45-0'
 FAR - MAX: 0.80
 FAR - PROPOSED: 0.80

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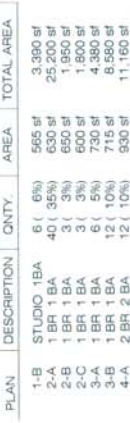
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DEVELOPER
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PARKING SUMMARY

RESIDENTIAL - (REQUIRED)	64 spaces
PARKING REQUIRED PER PMU 17 50 340 (0.3 a)	64 units x 1.0 space = 64 spaces
1.0 space per unit over 650 sf	64 units x 1.5 spaces = 96 spaces
1.5 spaces per unit over 650 sf	64 units x 1.5 spaces = 96 spaces
TOTAL RESIDENTIAL PARKING REQUIRED	= 160 spaces
GUEST AND RETAIL - (REQUIRED)	25 spaces
PARKING REQUIRED (PER PMU 17 46 040 TABLE 4-B)	8 spaces
3 PER 1,000 SF @ 2,500 SF (OFFICE)	25 spaces
10 PER 1,000 SF @ 2,500 SF (RESTAURANT)	8 spaces
TRANSIT ORIENTED DEVELOPMENT AREA	= -3 spaces
10% REDUCTION	= -3 spaces
TOTAL RETAIL PARKING (5,000 sf)	= 30 spaces
1 GUEST SPACE per every 10 units	128 units / 10 space/unit = 13 spaces
TOTAL PARKING REQUIRED	= 43 spaces
TOTAL COMMUNITY PARKING REQUIRED	= 203 spaces
PARKING PROVIDED	= 160 spaces
RESIDENT PARKING SPACES	= 43 spaces
GUEST AND RETAIL PARKING SPACES	= 203 spaces
TOTAL PARKING PROVIDED	= 203 spaces
BICYCLE RACK PROVIDED PER PMU 17 46 320 B TABLE 4-16	1 SPACE PER 6 DWELLING = 28,750 SF
PARKING GARAGE STRUCTURE FOOTPRINT	= 28,750 SF (34.4 % OF SITE)
* PER PMU 17 46 260 1. LOADING SPACE @ 10x20	

OPEN SPACE SUMMARY

GARDEN / OPEN SPACE	REQUIRED PER PMU 17 50 160 H. 2
150 sf PER UNIT (150 sf x 128 units)	= 19,200 SF
COMMUNITY OPEN SPACE	26,500 SF
COMMUNITY ROOM	4,000 SF
TOTAL COMMUNITY OPEN SPACE	= 30,500 SF
PRIVATE OPEN SPACE	PROVIDED PRIVATE OPEN SPACE
60 sf AVE PER UNIT = 60sf x 128 UNIT	= 7,680 SF
TOTAL OPEN SPACE	= 38,180 SF
AMENITIES:	LOT 1 COMMUNITY ROOM - 4,000 sf
TOT LOT / GARDEN / BBQ / DECK / LANDSCAPED AREAS	= 26,500 sf

LOT 1 - (WEST PARCEL) SUMMARY

LOT 1 - (WEST PARCEL)	0.44 acres				
ZONING - CURRENT:	CG-1 TOD OVERLAY				
DENSITY - MAX:	45.0 DU/acre				
DENSITY - PROPOSED:	15 UNIT Allowed				
BUILDING HEIGHT - MAX:	45-0'				
FAR - MAX:	0.80				
FAR - PROPOSED:	0.80				
PLAN	DESCRIPTION	QNTY.	AREA	TOTAL AREA	
1-A	STUDIO	15	1100%	565 sf	8,475 sf
TOTAL UNITS:	15 total units provided			8,475 sf	
TOTAL GROSS SQUARE FOOTAGE	15,100 SF				
COMMERCIAL					
RESIDENTIAL					
MECH / STORAGE					
COMMUNITY ROOM					
COMMUNITY OPEN SPACE					
TOTAL OPEN SPACE	14,300 SF				
BUILDING FOOTPRINT IN SF	5,600 SF				

LOT 2 - (EAST PARCEL) SUMMARY

LOT 2 - (EAST PARCEL)	1.48 acres (gross), 1.42 acres (net)				
ZONING - CURRENT:	ECSP-CG-3 - (GOLD LINE - RM32)				
DENSITY - MAX:	60.0 DU/acre + 33% Density Bonus				
DENSITY - PROPOSED:	85 + 28 UNIT = 113 UNIT Allowed				
BUILDING HEIGHT - MAX:	60'-0"				
PLAN	DESCRIPTION	QNTY.	AREA	TOTAL AREA	
1-B	STUDIO 1 BA	6	(6%)	565 sf	3,390 sf
2-A	1 BR 1 BA	40	(85%)	630 sf	25,200 sf
2-B	1 BR 1 BA	3	(3%)	650 sf	1,950 sf
2-C	1 BR 1 BA	3	(3%)	600 sf	1,800 sf
3-A	1 BR 1 BA	6	(5%)	730 sf	4,380 sf
3-B	1 BR 1 BA	12	(10%)	930 sf	11,160 sf
4-A	2 BR 2 BA	3	(3%)	925 sf	2,775 sf
4-B	2 BR 2 BA	22	(18%)	1,025 sf	22,550 sf
5-A	2 BR 2 BA	3	(3%)	965 sf	2,895 sf
5-B	2 BR 2 BA	3	(3%)	1,065 sf	3,195 sf
5-C	2 BR 2 BA	3	(3%)	1,065 sf	3,195 sf
TOTAL UNITS:	113 total units provided			87,875 sf	
TOTAL GROSS SQUARE FOOTAGE	114,940 SF				
COMMERCIAL					
RESIDENTIAL					
MECH / STORAGE					
COMMUNITY ROOM					
COMMUNITY OPEN SPACE					
TOTAL OPEN SPACE	16,200 SF				
BUILDING FOOTPRINT IN SF	42,660 SF				

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ARCHITECT
WITHEE MALCOLM ARCHITECTS, LLP

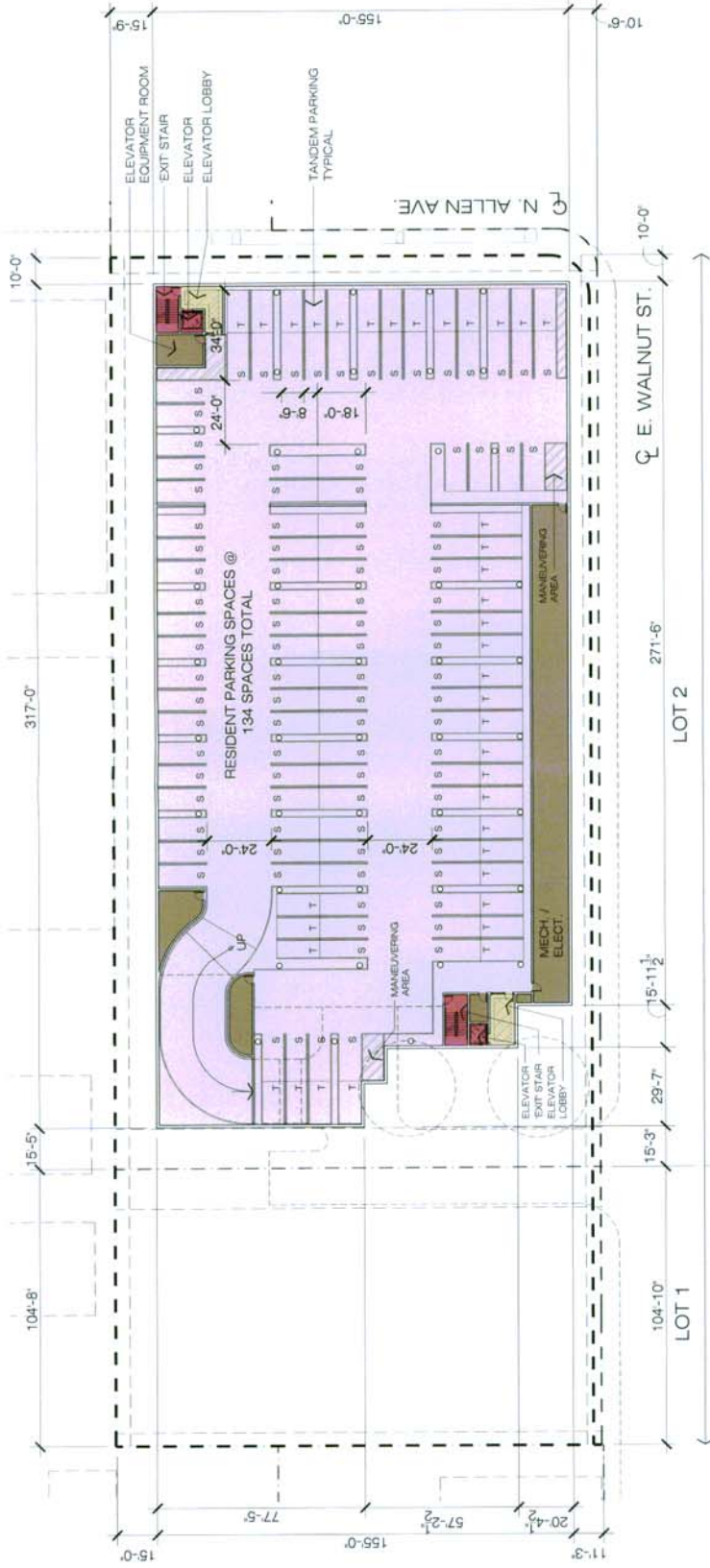
APPLICANT DEVELOPER
ANCAL EQUITIES, LLC

ALLEN & WALNUT T.O.D. - PASADENA CA

SITE PLAN

DATE: 10/13/2013
DRAWN BY: [Name]
SCALE: 1" = 80' 0"
PROJECT: [Project Name]





PARKING REQUIRED (PER PMU17 50 340 D.3.a)
 1.0 space per unit (under 650 sq ft) = 64 spaces
 1.5 spaces per unit (over 650 sq ft) = 96 spaces
 64 units x 1.5 spaces = 96 spaces
TOTAL RESIDENTIAL PARKING REQUIRED = 160 spaces

RESIDENTIAL PARKING PROVIDED
 STANDARD (ON GRADE) = 16 spaces
 STANDARD (SUBTERRANEAN) = 96 spaces
 TANDEM (ON GRADE) = 3 spaces
 TANDEM (SUBTERRANEAN) = 38 spaces
 ACCESSIBLE (ON GRADE) = 7 spaces
TOTAL RESIDENTIAL PARKING PROVIDED = 160 spaces

ARCHITECT
 WITREE MALCOLM ARCHITECTS, LLP

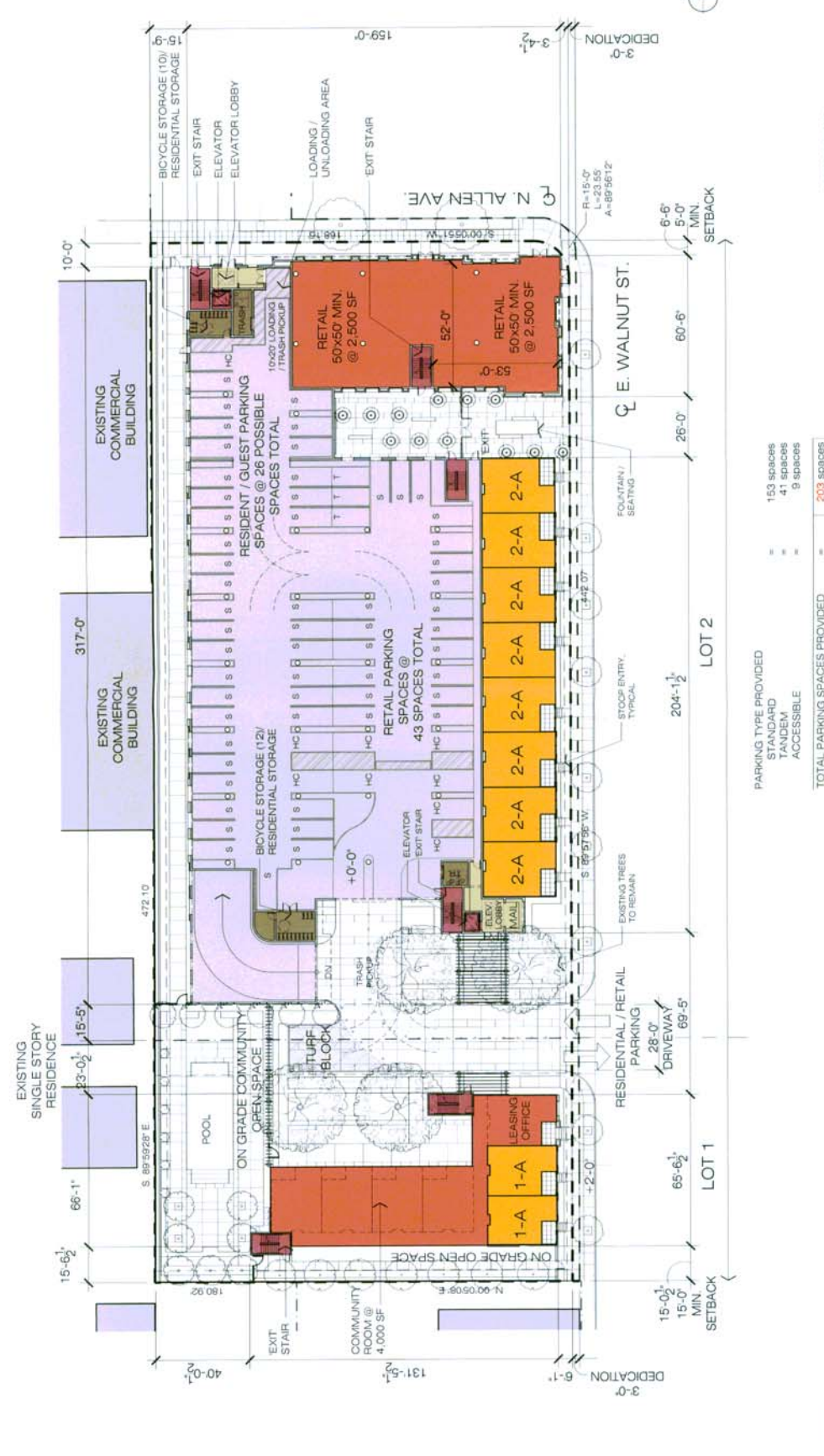
APPLICANT/DEVELOPER
 AMCAL EQUITIES, LLC

ALLEN & WALNUT T.O.D. - PASADENA CA

SUBTERRANEAN PARKING PLAN



DATE: September 13, 2019
 DRAWN BY: [Name]
 CHECKED BY: [Name]



PARKING TYPE PROVIDED
 STANDARD
 TANDEM
 ACCESSIBLE

153 SPACES
 41 SPACES
 9 SPACES

TOTAL PARKING SPACES PROVIDED = 203 SPACES

ARCHITECT
 WITTHE MALCOLM ARCHITECTS, LLP

ALLEN & WALNUT T.O.D. - PASADENA CA

GRADE LEVEL PLAN

08

DATE: 12/13/2013
 TIME: 10:27:22 AM



SCALE: 1" = 20'-0"

DATE: 12/13/2013
 TIME: 10:27:22 AM

PROJECT: ALLEN & WALNUT T.O.D.
 SHEET: 08



ARCHITECT
WITHEE MALCOLM ARCHITECTS, LLP

PROJECT DEVELOPER
AMCAL EQUITIES, LLC

ALLEN & WALNUT T.O.D. - PASADENA CA

TYPICAL LEVEL FLOOR PLAN

DATE: 12/2012
PROJECT: 12/2012
DRAWN: 12/2012

09



ARCHITECT
WITHEE MALCOLM ARCHITECTS, LLP

ARCHITECT/DEVELOPER
AMCAL EQUITIES, LLC

ALLEN & WALNUT T.O.D. - PASADENA CA

THIRD LEVEL FLOOR PLAN

DATE: 11/15/2017
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1" = 20'-0"



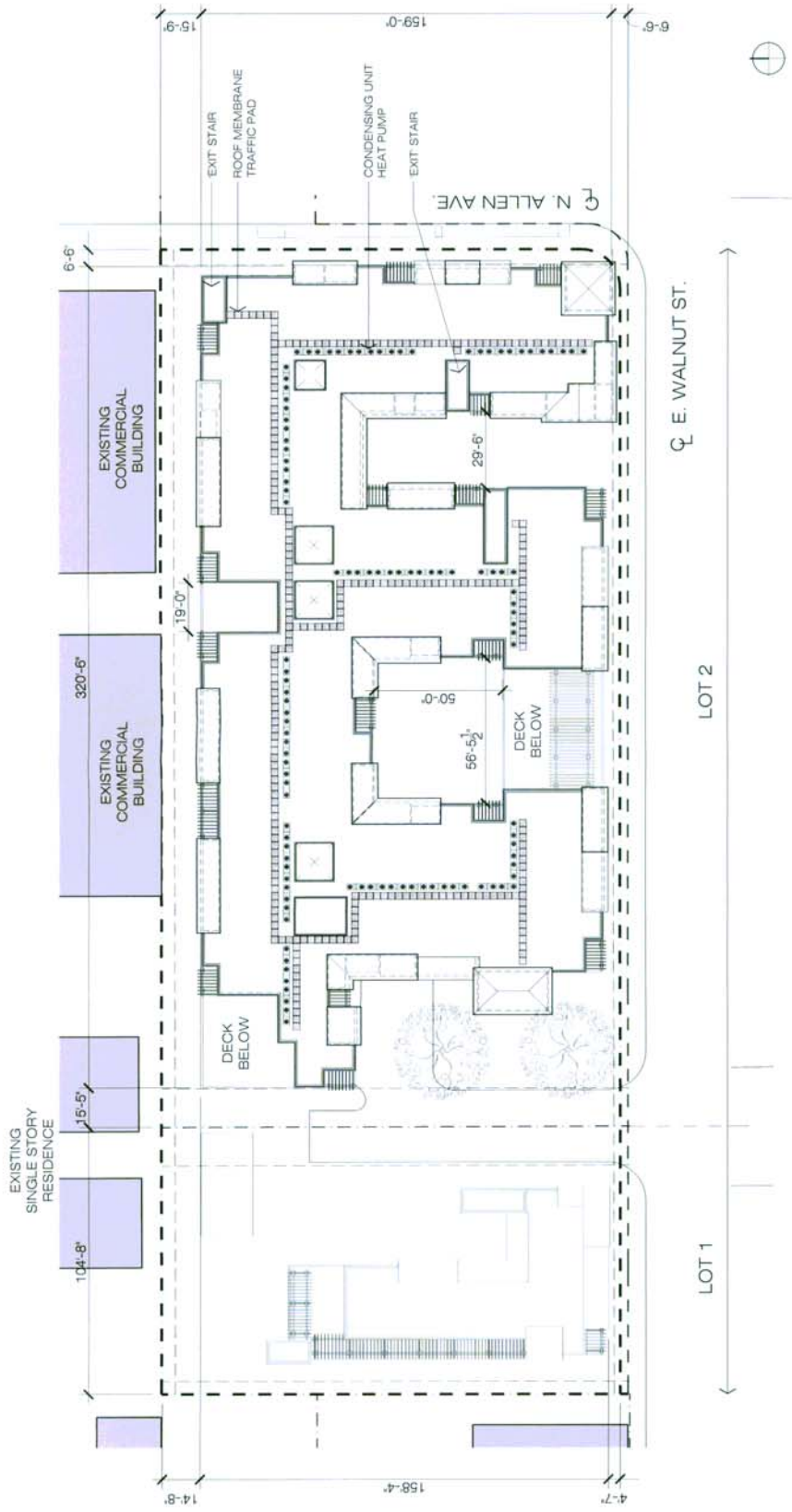
ARCHITECT
WITHEE MALCOLM ARCHITECTS, LLP

PROJECT DEVELOPER
AMCAL EQUITIES, LLC

ALLEN & WALNUT T.O.D. - PASADENA CA

FOURTH LEVEL FLOOR PLAN

DATE: 10/13/2013
 SCALE: 1/8" = 1'-0"
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]



ARCHITECT
WITHEE MALCOLM ARCHITECTS, LLP

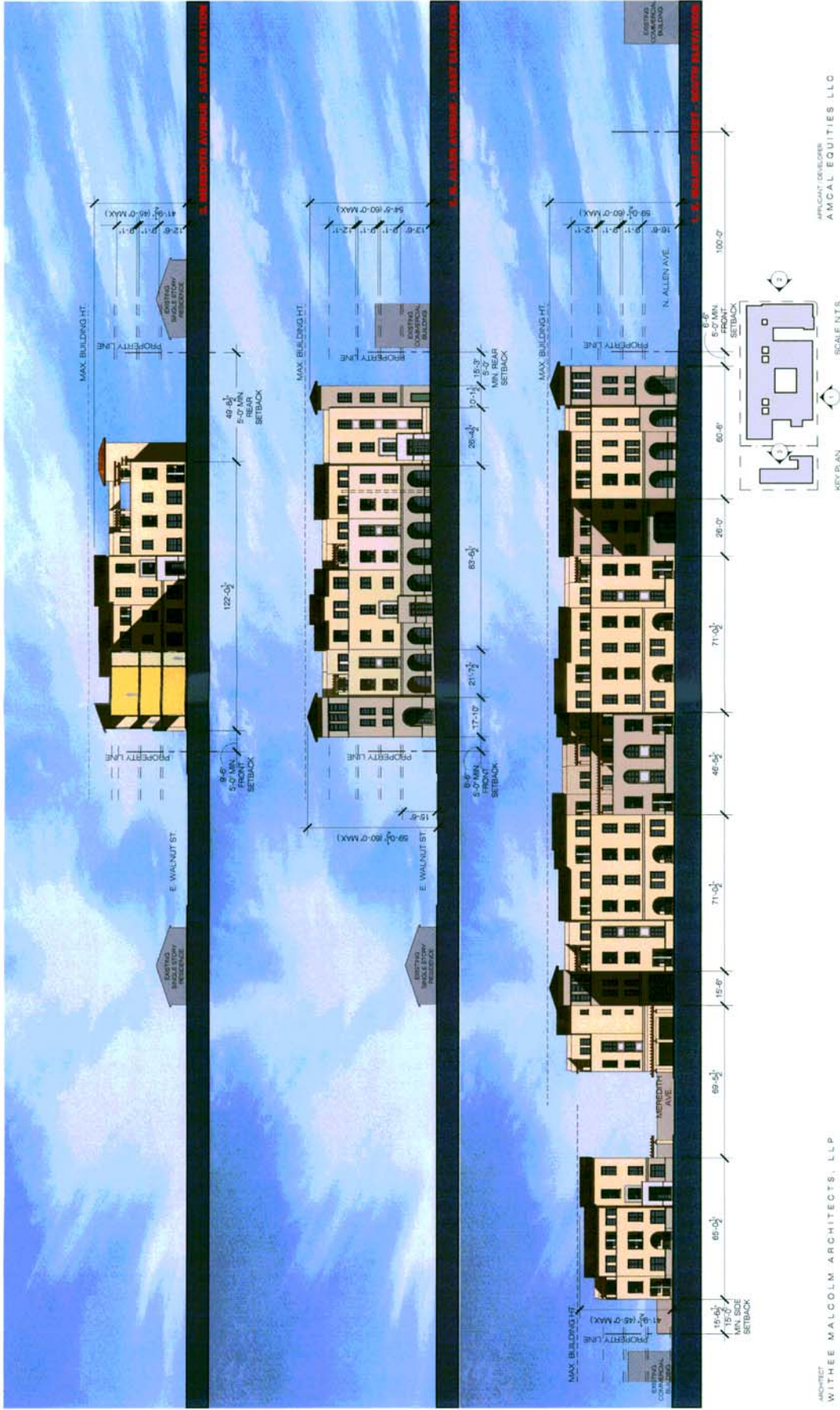
MECHANICAL ENGINEER
AMCAL EQUITIES, LLC

ALLEN & WALNUT T.O.D. - PASADENA CA

ROOF PLAN



DATE: 02/08/2011
DRAWN BY: J. WITHEE
CHECKED BY: J. WITHEE
DATE PLOTTED: 02/08/2011



ALLEN & WALNUT T.O.D. - PASADENA CA

BUILDING ELEVATIONS



ALLEN & WALNUT T.O.D. - PASADENA CA

BUILDING ELEVATIONS

HEAVY TIMBER TRELLIS
 FLAT CEMENT TILE ROOF
 HALF ROUND ALUMINUM
 GUTTER



PRE-CAST STONE
 THREADS & RISER
 @ STOOP

PRE-CAST COLUMN

WROUGHT IRON
 RAILING

PRE-CAST
 STONE TRIM
 SURROUND

ALUMINUM
 STOREFRONT
 PRE-CAST
 STORE BASE

PRE-CAST
 STUCCO

PRE-CAST
 STUCCO

PRE-CAST
 STUCCO

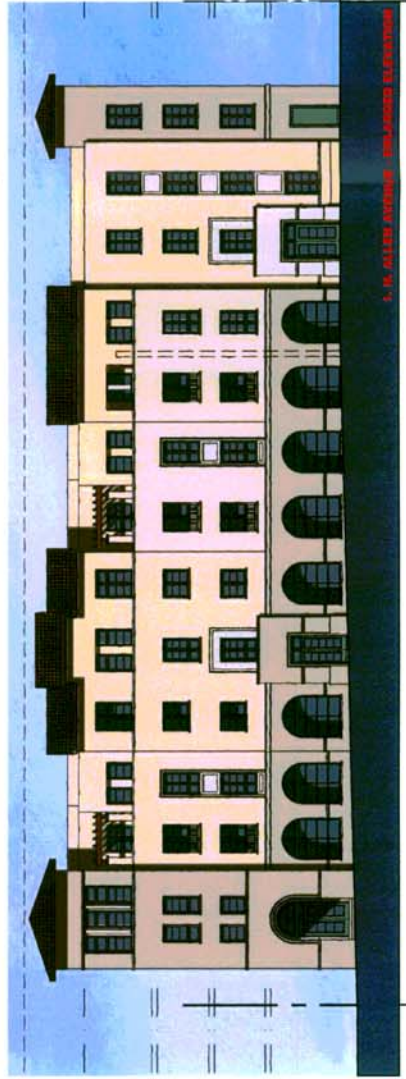
PRE-CAST
 STUCCO

PRE-CAST
 STUCCO

PRE-CAST
 STUCCO

PRE-CAST
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PRE-CAST
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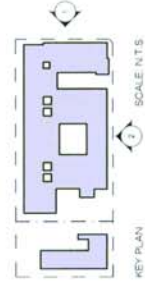


PRE-CAST STONE
 THREADS & RISER
 @ STOOP

PRE-CAST COLUMN

WROUGHT IRON
 RAILING

PRE-CAST
 STUCCO



KEY PLAN

SCALE IN TS

ARCHITECT
 WITHEE MALCOLM ARCHITECTS, LLP

ARCHITECT/DEVELOPER
 AMCAL EQUITIES, LLC

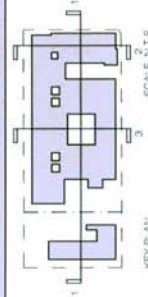
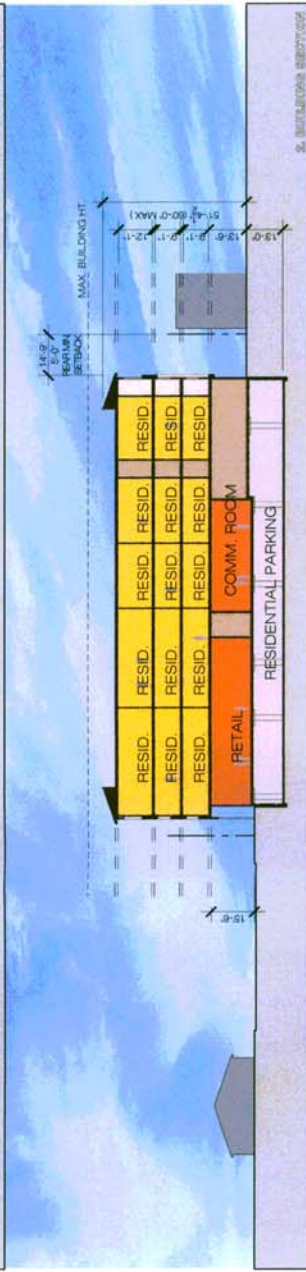
ALLEN & WALNUT T.O.D. - PASADENA CA

ENLARGED BUILDING ELEVATIONS / SECTIONS



DATE
 11/13/2013

DATE
 11/27/2013



ARCHITECT
WITHEE MALCOLM ARCHITECTS, LLP

ARCHITECT/ENGINEER
AMCAL EQUITIES LLC

ALLEN & WALNUT T.O.D. - PASADENA CA

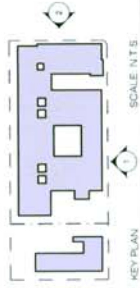
BUILDING SECTIONS



5. W. WILSON AVENUE - EAST SIDE ELEVATION



6. W. WILSON AVENUE - WEST SIDE ELEVATION



ARCHITECT
WITHEE MALCOLM ARCHITECTS, LLP

ARCHITECT/ENGINEER
AMCAL EQUITIES, LLC

ALLEN & WALNUT T.O.D. - PASADENA CA

STREET ELEVATION EXHIBIT

DATE: 09/23/2015
DRAWN BY: [unreadable]
CHECKED BY: [unreadable]