

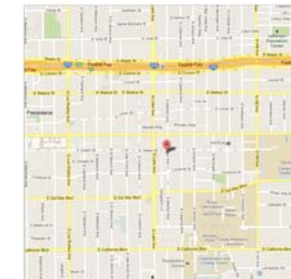


936 E. GREEN STREET

Sheet Number Sheet Name

G-001	Title Sheet
G-002	Project Information
A-001	Contextual Site Plan
A-002	Demolition site plan
A-100	Level 1 below basement Parking Plan
A-101	Level 2 below basement Parking Plan
A-102	Basement Plan
A-103	Ground Floor Plan
A-104	Level 2 Floor Plan
A-105	Level 3 Floor Plan
A-106	Level 4 Floor Plan
A-107	Level 5 Floor Plan
A-108	Level 6 Floor Plan
A-110	Roof Plan
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A-201	South and West Building Elevations
A-300	Building Section
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AJ-107	Area plans - 6th level

SHEET INDEX



VICINITY MAP

City of Pasadena adopted codes:

- 2010 California Building Code with 2010 Pasadena City amendments
- 2010 California Residential Code with 2010 Pasadena City amendments
- 2010 California Electrical Code
- 2010 California Mechanical Code
- 2010 California Plumbing Code
- 2010 California Energy Code
- 2010 California Green Building Standards Code with 2010 Pasadena City amendments

Zoning code:

2005 Edition of the Pasadena Zoning Code (Title 17 of the Pasadena Municipal Code)

Occupancy:

Commercial: B
Residential: R-2
Parking garage: S-2

Construction type:

Commercial: Type IIB
Residential: Type IIB
Parking garage: Type IIB

Allowable areas:

Commercial: 23,000 s.f. per floor
Residential: 16,000 s.f. per floor
Parking garage: 26,000 s.f. per floor

Allowable building heights:

Commercial: 55' + 20' (sprinkler increase) = 75'
Residential: 55' + 20' (sprinkler increase) = 75'
Parking garage: 55' + 20' (sprinkler increase) = 75'

Allowable number of floors:

Commercial: 3 floors + 1 floor (sprinkler increase) = 4 floors
Residential: 4 floors + 1 floor (sprinkler increase) = 5 floors
Parking garage: 3 floors + 1 floor (sprinkler increase) = 4 floors

CODE INFORMATION

Existing conditions

Address: 922-936 E. Green St., Pasadena, CA 91106

Lot area: 18,685 s.f. (0.43 acres)

Current structures: 17,987 s.f. (0.413 acres) [after dedications]
17,987 s.f. (0.413 acres) [after dedications + setbacks]
A 2-story office building (5,500 s.f.) and a 1-story office building (5,535 s.f.)

Proposed development

Project scope: Mixed use building
Ground floor commercial - 12,800 s.f. (includes 6,200 s.f. of basement commercial space)
5 levels of residential above (42 market rate units + 3 very-low income units = 45 units)
Basement level + two subterranean levels of parking - 34 commercial spaces and 73 residential spaces (68 residential spaces + 5 guest spaces)

Type of construction: Residential: Type III-B
Commercial: Type II-B
Parking: Type II-B

Occupancy: Residential: R-2
Commercial: B
Parking: S-2

Sprinklers?: Yes

Zoning designations

Zone: CD-5
Specific Plan Area: Central District Specific Plan
Central District Zoning Precinct: South Lake Shopping Area
Other: Central District Transit-oriented Development Area

Code reference

17.30.020, Figure 3-1
17.30.020, Figure 3-2
17.30.030, Figure 3-5

ZONING

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PROJECT:

Green Street Building
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Pasadena, CA 91106

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Title Sheet

SHEET NO.:

G-001

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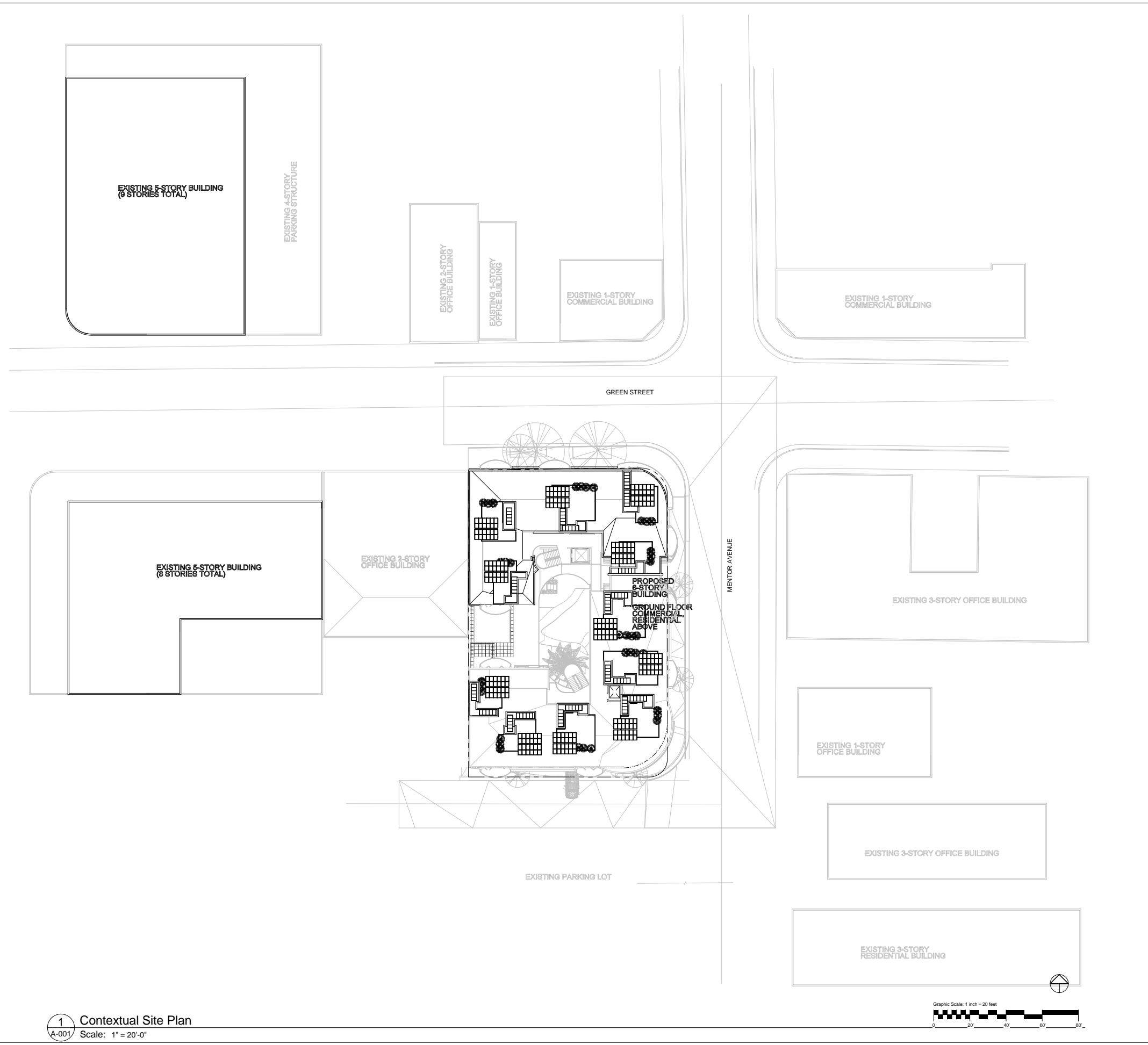
SHEET NO.:
G-002

Unit number	Type	Description/location	Area
Second level			
203	M	2 bdrm, 2-bath + outdoor room	1,188 s.f.
204	N	3 bdrm, split-level/corner, front	1,205 s.f.
Totals	2 units		2,393 s.f.
Third level			
301	A	2 bdrm, 2-bath	1,058 s.f.
302	B	2 bdrm, 2-bath + den	1,251 s.f.
303	C	1 bdrm, 1-bath + den	852 s.f.
304	D	2 bdrm, 1-1/2-bath + den	1,160 s.f.
305	E	1 bdrm, 1-bath + den	912 s.f.
306	F	2 bdrm, 2-bath	1,071 s.f.
307	G	2 bdrm, 2-bath	1,062 s.f.
308	H	2 bdrm, 1-1/2-bath	998 s.f.
309	I	2 bdrm, 1-bath	981 s.f.
310	L	2 bdrm, 2-bath + den	1,194 s.f.
Totals	10 units		10,539 s.f.
Fourth level			
401	A	2 bdrm, 2-bath	1,058 s.f.
402	B	2 bdrm, 2-bath + den	1,251 s.f.
403	C	1 bdrm, 1-bath + den	852 s.f.
404	D	2 bdrm, 1-1/2-bath + den	1,158 s.f.
405	E	1 bdrm, 1-bath + den	910 s.f.
406	F	2 bdrm, 2-bath	1,067 s.f.
407	G	2 bdrm, 2-bath	1,063 s.f.
408	H	2 bdrm, 1-1/2-bath	998 s.f.
409	I	2 bdrm, 1-bath	982 s.f.
410	J	2 bdrm, 1-bath	1,064 s.f.
411	K	2 bdrm, 1-bath	1,016 s.f.
Totals	10 units		11,419 s.f.
Fifth level			
501	A	2 bdrm, 2-bath	1,058 s.f.
502	B	2 bdrm, 2-bath + den	1,251 s.f.
503	C	1 bdrm, 1-bath + den	851 s.f.
504	D	2 bdrm, 1-1/2-bath + den	1,158 s.f.
505	E	1 bdrm, 1-bath + den	901 s.f.
506	F	2 bdrm, 2-bath	1,057 s.f.
507	G	2 bdrm, 2-bath	1,062 s.f.
508	H	2 bdrm, 1-1/2-bath	998 s.f.
509	I	2 bdrm, 1-bath	982 s.f.
510	J	2 bdrm, 1-bath	1,064 s.f.
511	K	2 bdrm, 1-bath	1,016 s.f.
Totals	10 units		11,398 s.f.
Sixth level			
601	A - w/ stairs	2 bdrm, 2-bath	1,058 s.f.
602	B - w/ stairs	2 bdrm, 2-bath + den	1,252 s.f.
603	C - w/ stairs	1 bdrm, 1-bath + den	863 s.f.
604	D - w/ stairs	2 bdrm, 1-1/2-bath + den	1,158 s.f.
605	E - w/ stairs	1 bdrm, 1-bath + den	896 s.f.
606	F - w/ stairs	2 bdrm, 2-bath	1,054 s.f.
607	G - w/ stairs	2 bdrm, 2-bath	1,062 s.f.
608	H - w/ stairs	2 bdrm, 1-1/2-bath	998 s.f.
609	I - w/ stairs	2 bdrm, 1-bath	981 s.f.
610	J - w/ stairs	2 bdrm, 1-bath	1,064 s.f.
611	K - w/ stairs	2 bdrm, 1-bath	1,016 s.f.
Totals	10 units		11,402 s.f.
Grand Totals	45 units		47,151 s.f.

Development Standards	City Requirement	Code reference	Proposed development
Uses:	Mixed-use projects permitted	17.30.030, Table 3-1	12,800 s.f. commercial + 45 residential units
Max residential density:	87 dwelling units per acre	17.30.040, Table 3-2	18685/43560 = 0.43 acres x 87 = 37.41 = 37 units by right (round down)
Density bonus:		17.43.040.A.1	Provide 5% very low income units = 37x.05 = 1.85 = 2 units (round up)
Inclusionary Housing:	Provide 15 percent of units to low-income (for rental units)	17.43.040.B.1, Table 4-3	Eligible for density bonus of 20% = 2 x 37 = 7.4 = 8 units (round up)
	Allowable credit for very low income units: credit of 1.5 units for each unit provided	17.42.040.A.2	37x.15 = 5.55 = 6 units (round up)
		17.42.040.C.1	6 / 1.5 = 4 units
			Provide two additional very-low income units: 37 + 8 = 45 units: 41 market rate and 4 very-low income
Dedications:	Front: 20' wide radius x 5' deep corner at Green/Mentor (currently 15' radius)	N/A	Total area of dedication = 38 s.f.
	Rear: 5' wide x 10' deep along Shopper's Lane + 25' wide radius x 9' deep corner at Shopper's Lane/Mentor (currently 10' radius)	N/A	Total area of dedication = 660.33 s.f.
Setbacks:	Front yard: Commercial: 0'	17.30.040, Table 3-2	0'
	Side yard: Commercial: 0'	17.30.040, Table 3-2	0'
	Rear yard: N/A		
Max building height:	75' 90' with height averaging	17.30.040, Figure 3-8	75'
Minimum Ground Floor Height:	15' for non-residential, measured from floor to floor	17.30.040, Table 3-2	15'
Floor Area Ratio:	2.75	17.30.040, Figure 3-9	2.75 x 18685 = 51,383.75 = 51,384 (round up)
	Will request additional 10%	17.30.050.C	51384 x 1.1 = 56,522.4 = 56,522 s.f. (round down)
Common Open Space requirement:	Minimum 150 s.f. per unit	17.50.160.H.2	45 x 150 = 6,750 s.f.
	One dimension must be at least 15'; other dimension at least 6'	17.50.160.H.5	
	Recreation room of at least 600 s.f. shall qualify	17.50.160.H.1.c	
Private Open Space Requirement:	Shall not exceed 30% of total requirement for community space	17.50.160.H.4.a	6750 x 0.3 = 2,025 max
	Minimum of 6' horizontal dimension	17.50.160.H.4.b	
Parking:	Commercial - retail sales: 3 per 1,000 s.f.	17.46.040, Table 4-6	12,800/1000 = 12.8x3 = 38.4 = 38 spaces (round down)
	10 % reduction for transit-oriented development area	17.50.340.D.1.b	38x0.9 = 34.2 = 34 spaces (round down)
	Residential: Minimum of 1.5 spaces per unit	17.50.340.D.3.a.(2)	45x1.5 = 67.5 = 68 spaces
	Maximum of 1.75 spaces per unit	17.50.340.D.3.a.(2)	45x1.75 = 78.75 = 79 spaces
Guest spaces:	1 space for each 10 units	17.46.040, Table 4-6	45/10 = 4.5 = 5 spaces (round up)
	Accessible parking: (included within overall parking number)		
	Commercial: for 26-50 spaces, 2 spaces required	CBC, Table 11B-6	2 space
	Residents (assigned): 2%	CBC, Section 1109A.4	2%x68 = 1.36 = 1 space minimum; 2%x79 = 1.58 = 2 spaces maximum
	Visitors (unassigned): 5%	CBC, Section 1109A.5	5% x 5 = 0.25 = 1 space
	Compact spaces are not permitted		

DEVELOPMENT STANDARDS

UNIT TYPES



1 Contextual Site Plan
 A-001 Scale: 1" = 20'-0"



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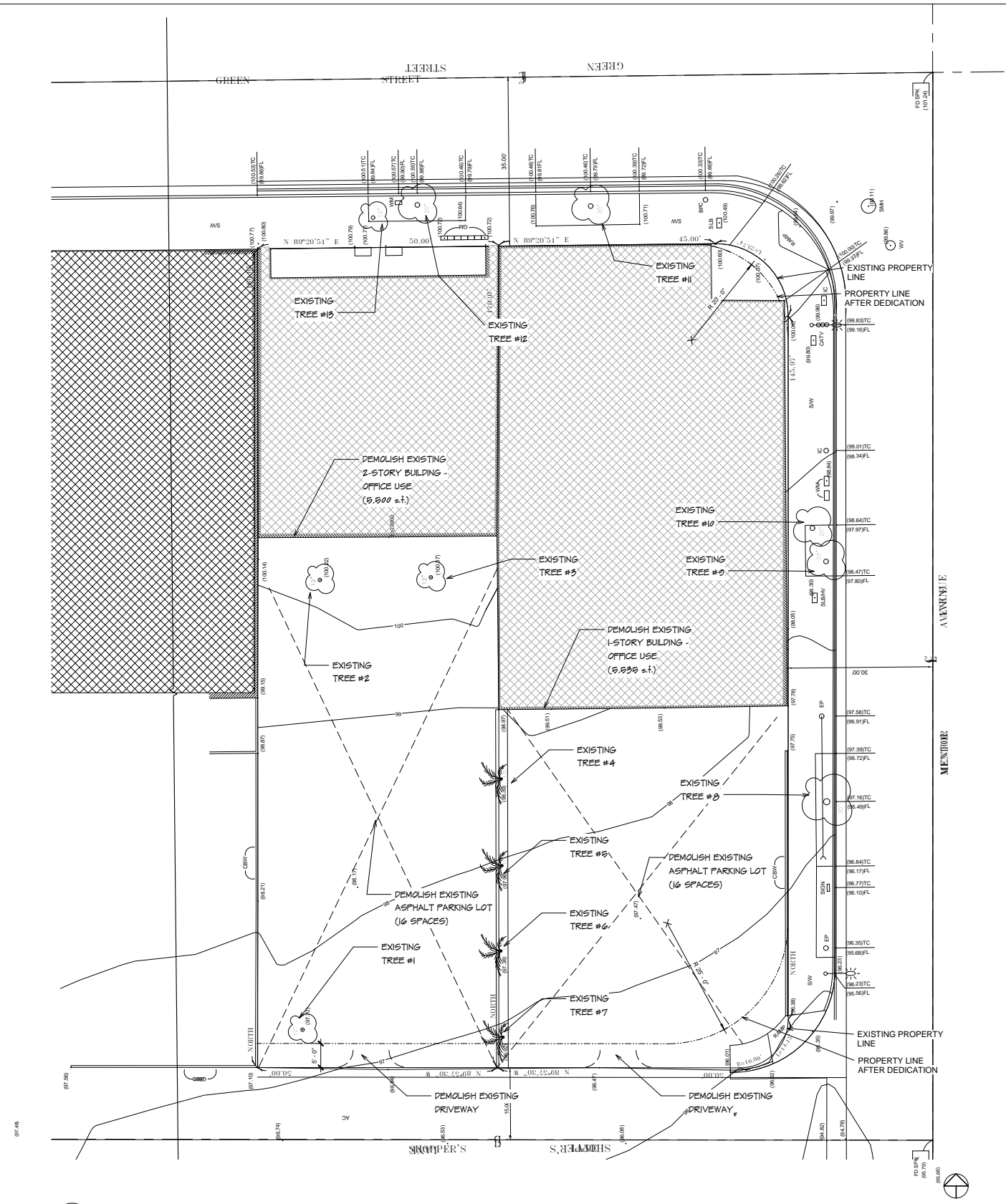
PROJECT NO.: Project Number

DRAWN BY: MLH

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SHEET TITLE:
Contextual Site Plan

SHEET NO.:
A-001



1 Enlarged Site Plan
A-002 Scale: 1" = 10'-0"



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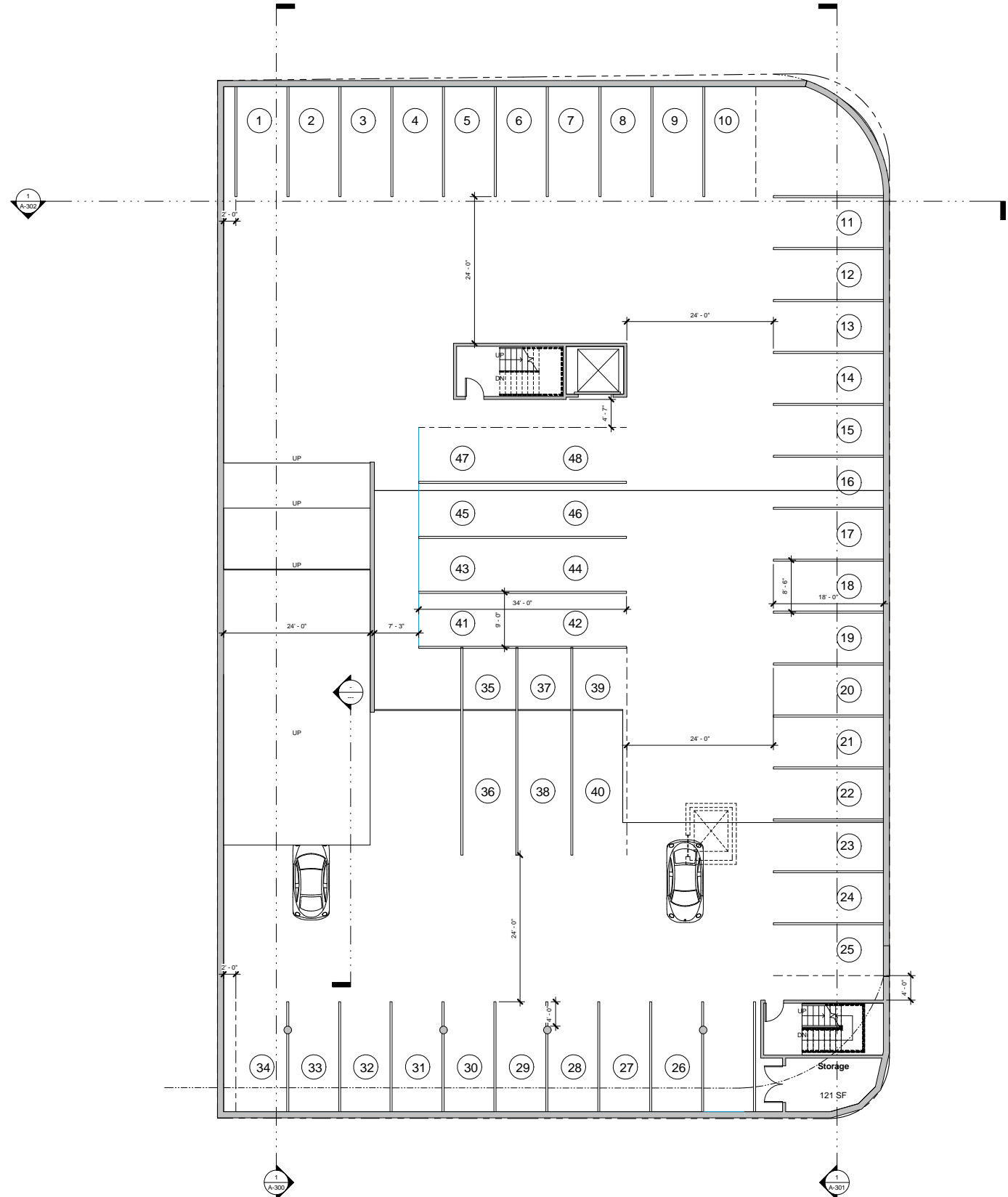
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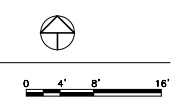
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DRAWN BY: Author
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SHEET TITLE:
Demolition site plan

SHEET NO.:
A-002



1 Level -1 - Parking Floor Plan
 A-100 Scale: 1/8" = 1'-0"



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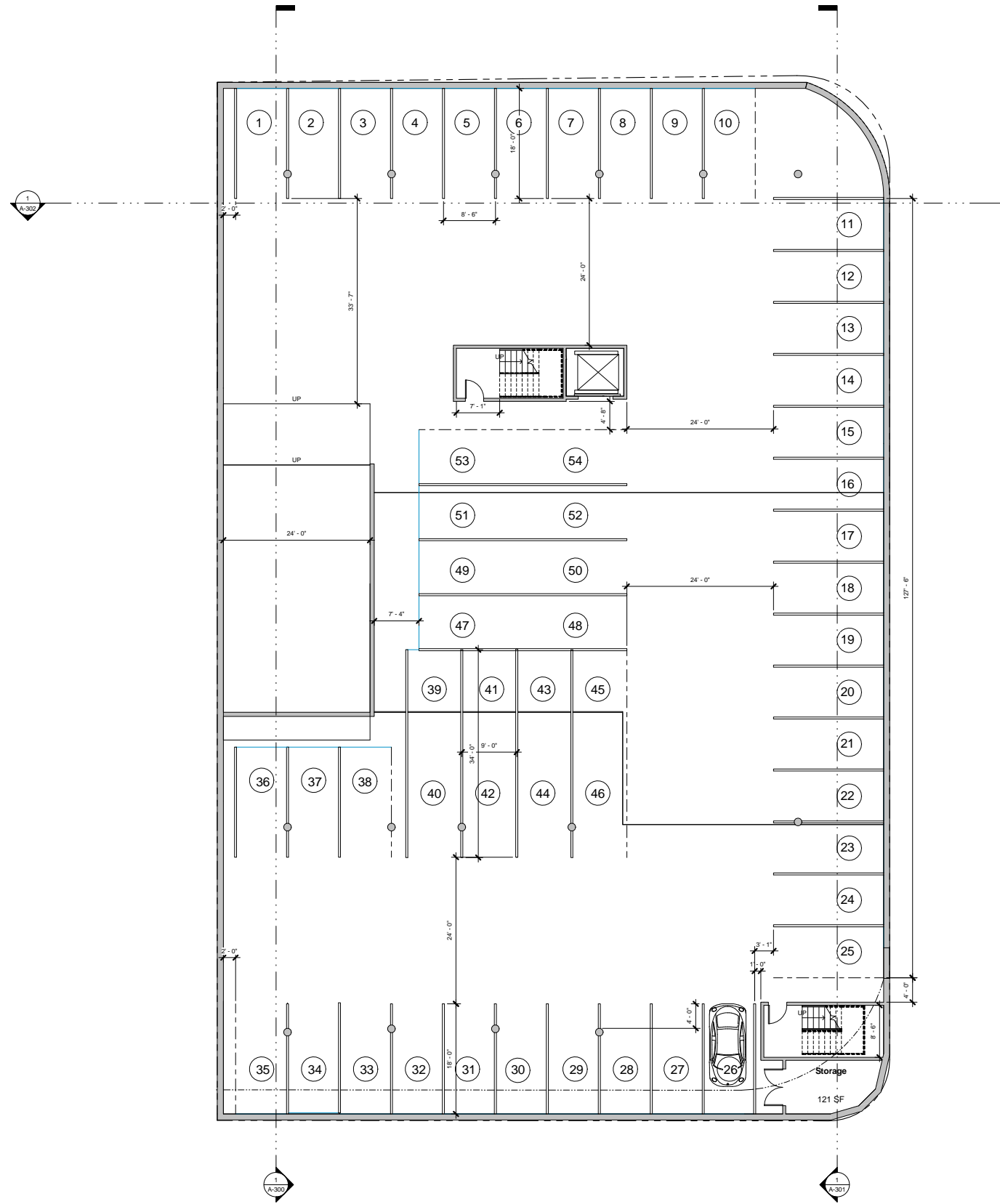
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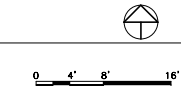
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SHEET TITLE:
**Level 1 below
 basement Parking
 Plan**

SHEET NO.:
A-100



1 Level -2 - Parking Floor Plan
A-101 Scale: 1/8" = 1'-0"



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PROJECT NO.: Project Number

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SHEET TITLE:
**Level 2 below
basement Parking
Plan**

SHEET NO.:
A-101

SEAL:



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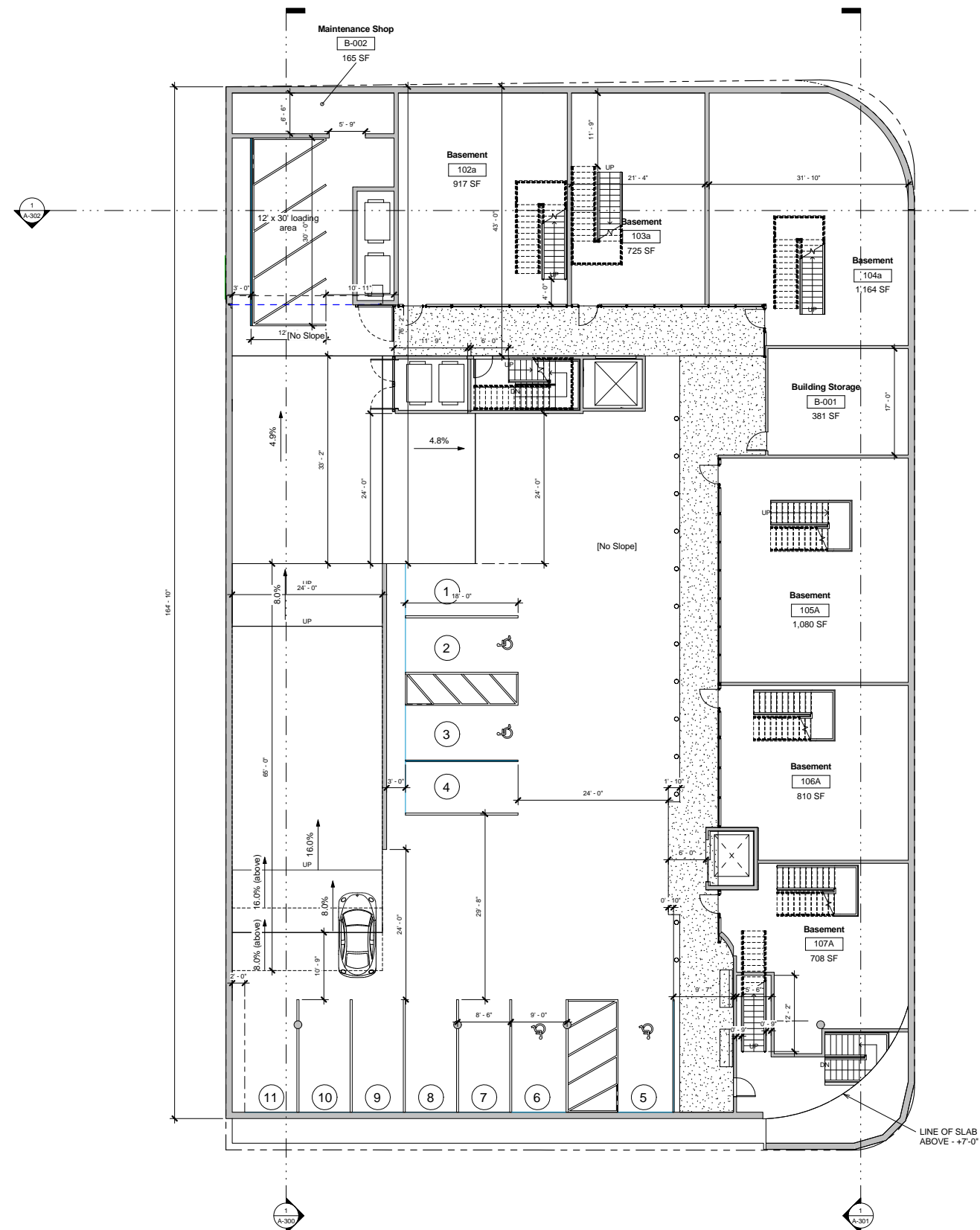
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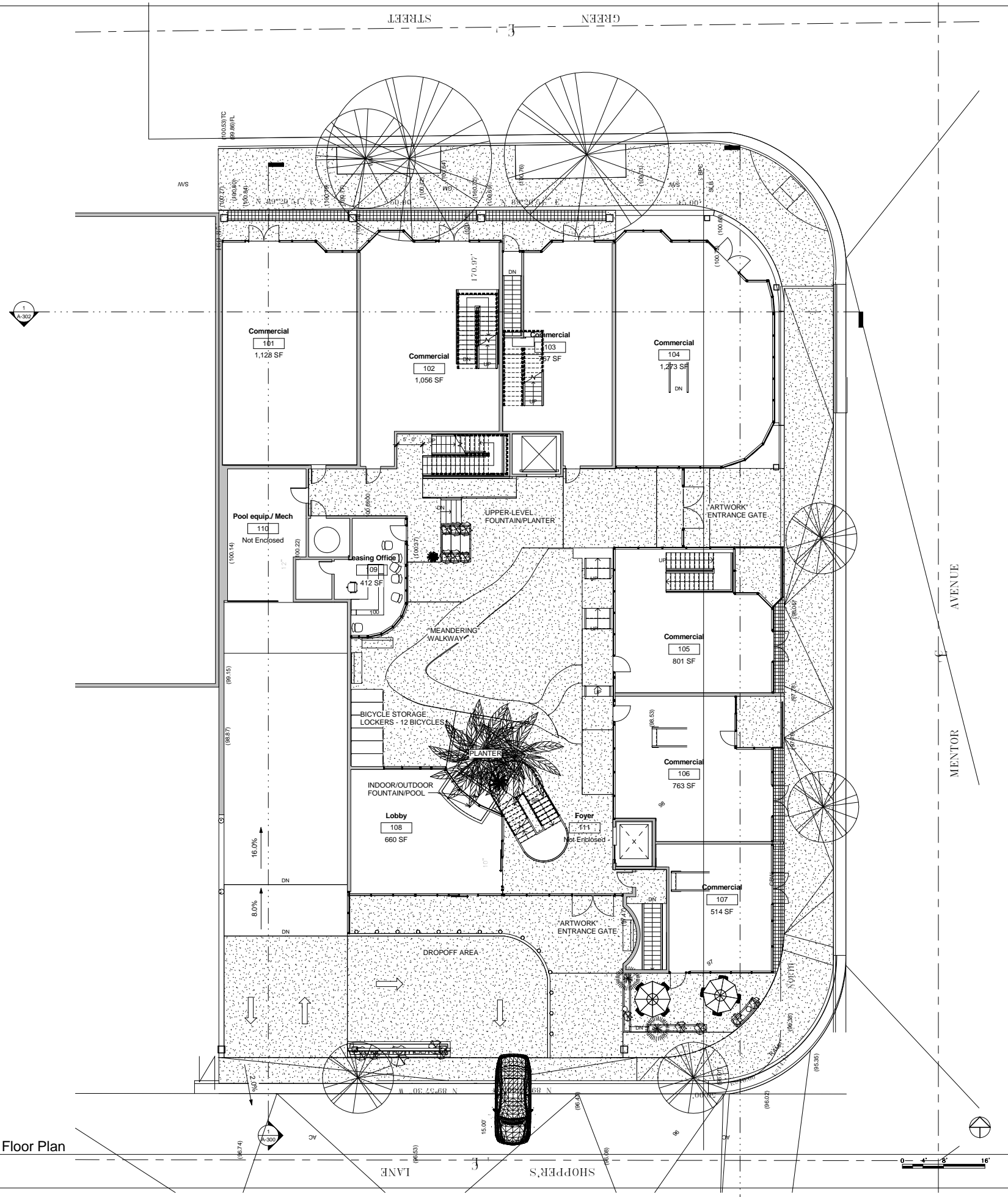
SHEET TITLE:
Basement Plan

SHEET NO.:
A-102



1 Basement Floor Plan
 A-102 Scale: 1/8" = 1'-0"





1 Level 1 - Ground Floor Plan
 Scale: 1/8" = 1'-0"

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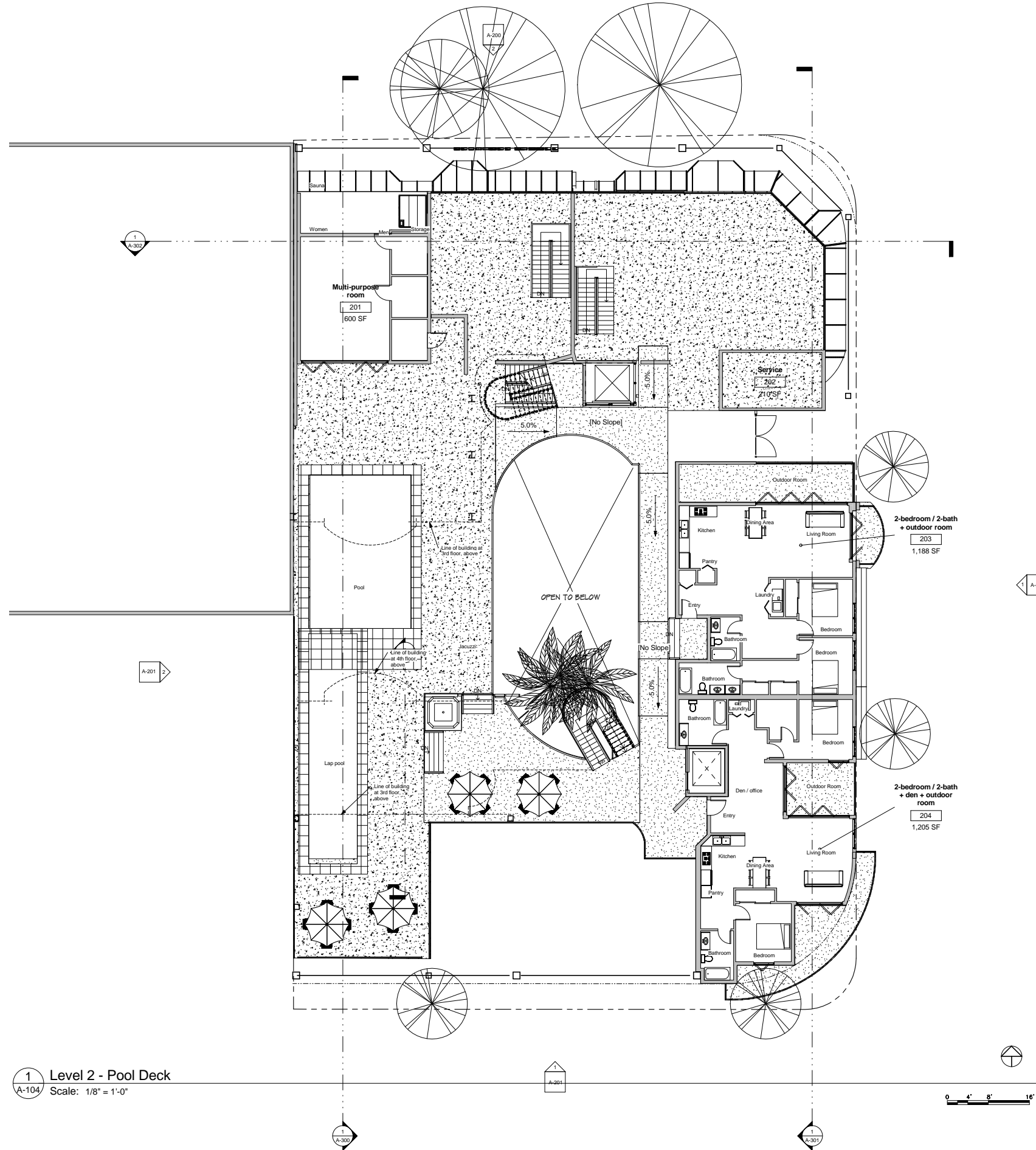
PROJECT NO.: Project Number

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SHEET TITLE:
Ground Floor Plan

SHEET NO.:
A-103



1 Level 2 - Pool Deck
A-104 Scale: 1/8" = 1'-0"

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SHEET TITLE:
Level 2 Floor Plan

SHEET NO.:
A-104



EXISTING 2-STORY
OFFICE BUILDING

1 Level 3 - Residential 2
A-105 Scale: 1/8" = 1'-0"



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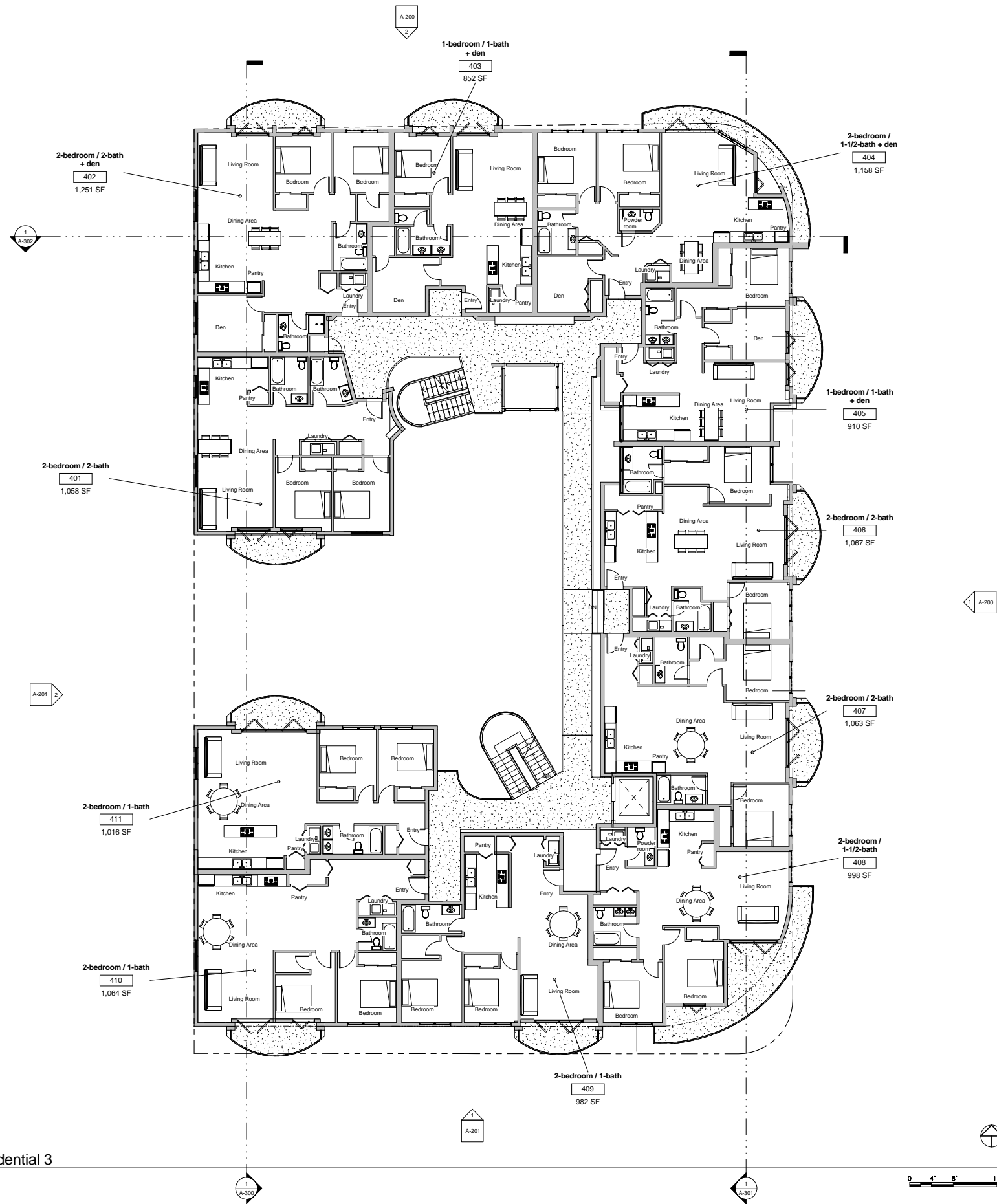
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SHEET TITLE:
Level 3 Floor Plan

SHEET NO.:
A-105



1 Level 4 - Residential 3
A-106 Scale: 1/8" = 1'-0"

SEAL:



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SHEET TITLE:

Level 4 Floor Plan

SHEET NO.:

A-106

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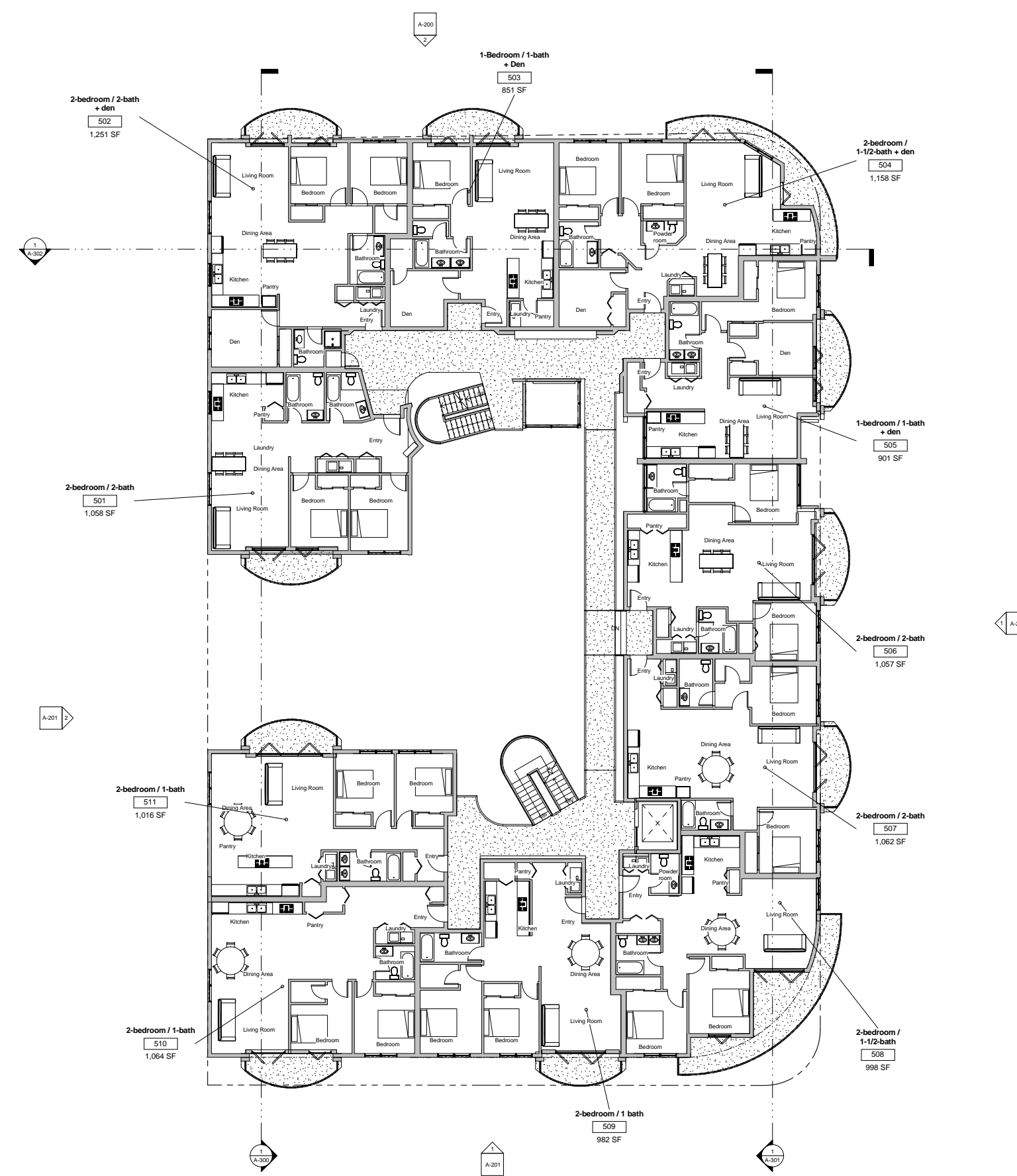
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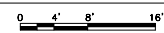
Level 5 Floor Plan

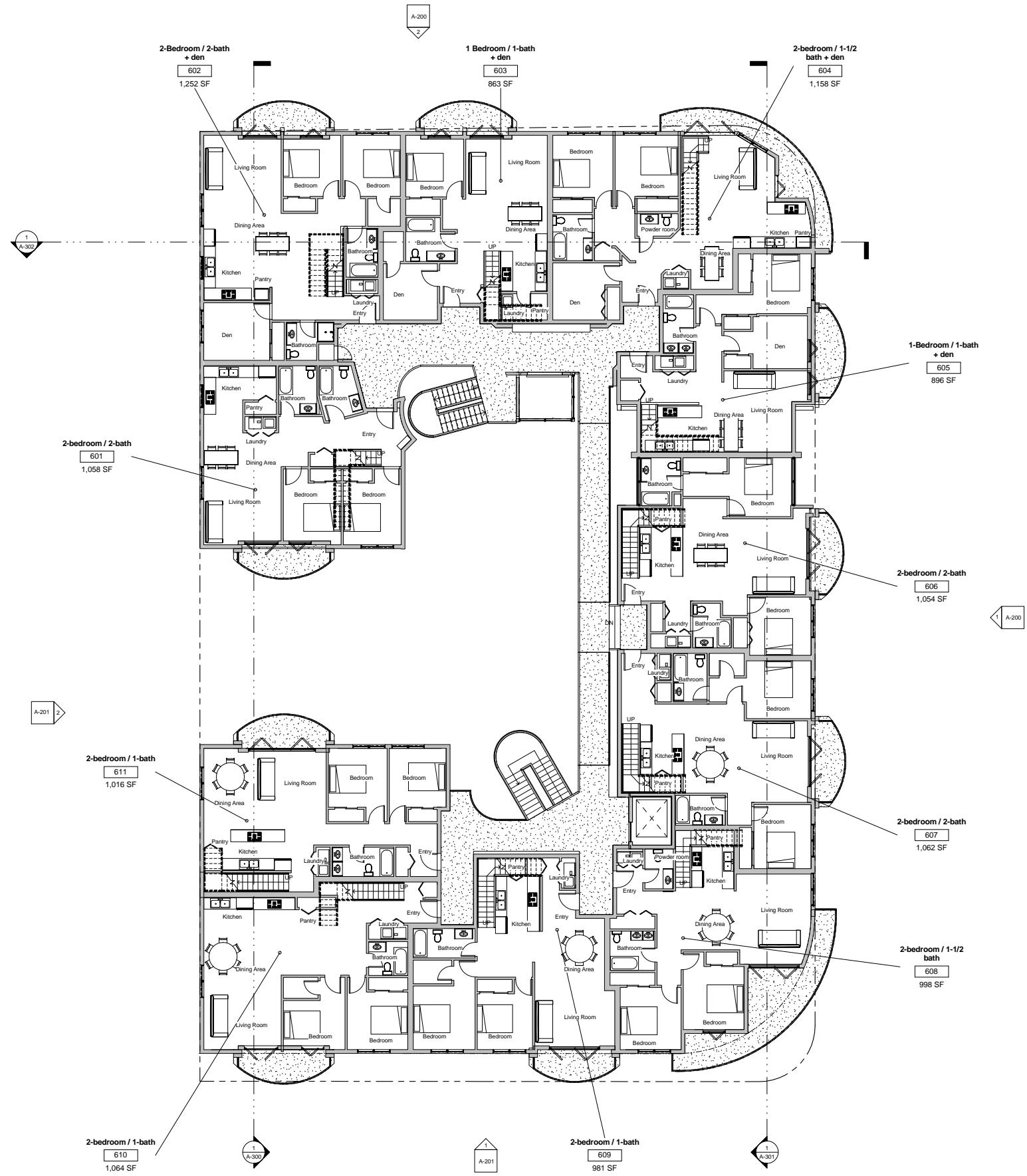
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A-107

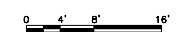


1 Level 5 - Residential
 Scale: 1/8" = 1'-0"





1 Level 6 - Residential 5
 A-108 Scale: 1/8" = 1'-0"



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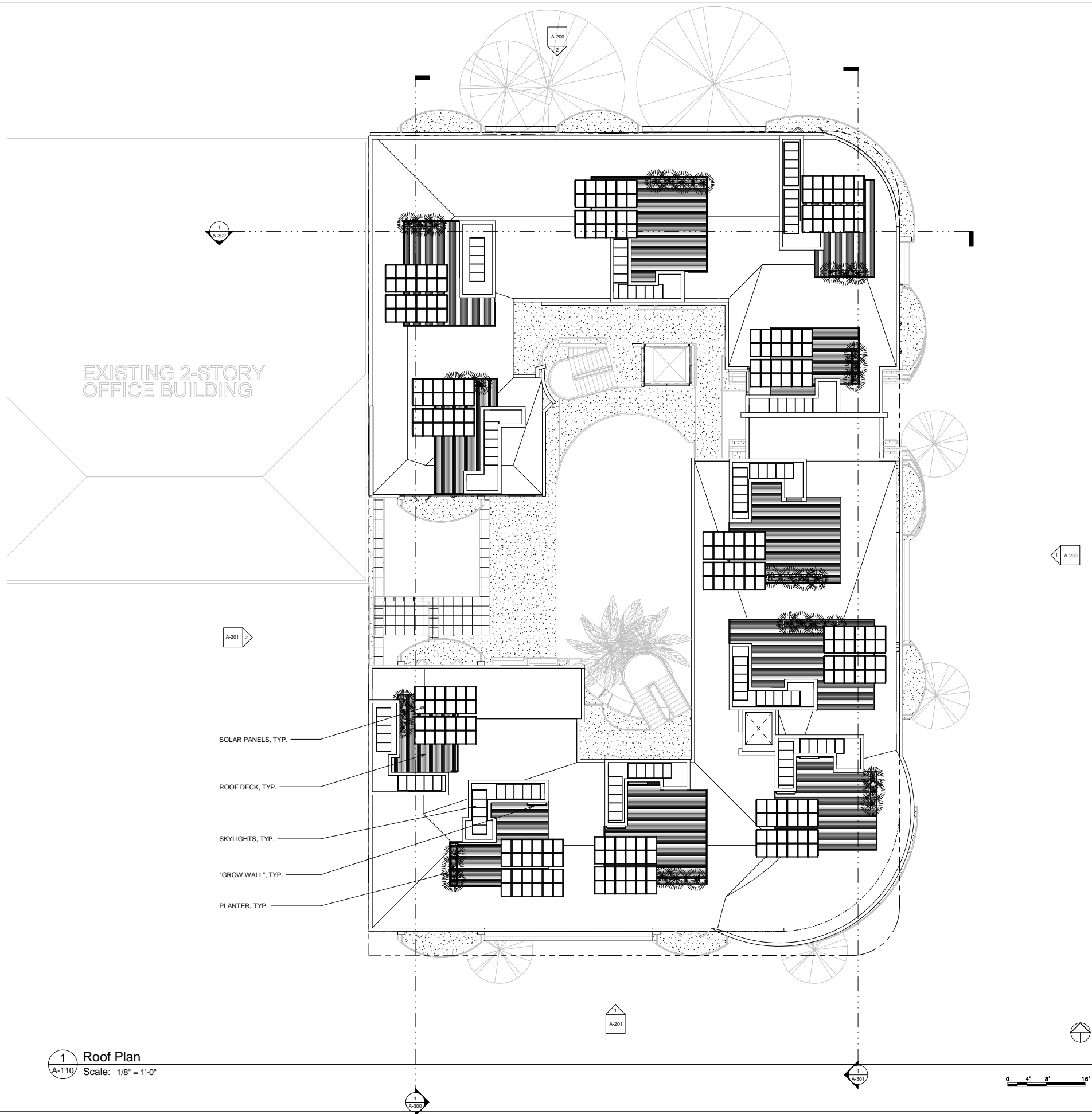
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SHEET TITLE:

Level 6 Floor Plan

SHEET NO.:

A-108



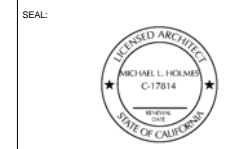
EXISTING 2-STORY
OFFICE BUILDING

- SOLAR PANELS, TYP.
- ROOF DECK, TYP.
- SKYLIGHTS, TYP.
- "GROW WALL", TYP.
- PLANTER, TYP.

1 Roof Plan
A-110 Scale: 1/8" = 1'-0"

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DATE	DESCRIPTION
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SHEET TITLE:
Roof Plan

SHEET NO.:
A-110

SEAL:



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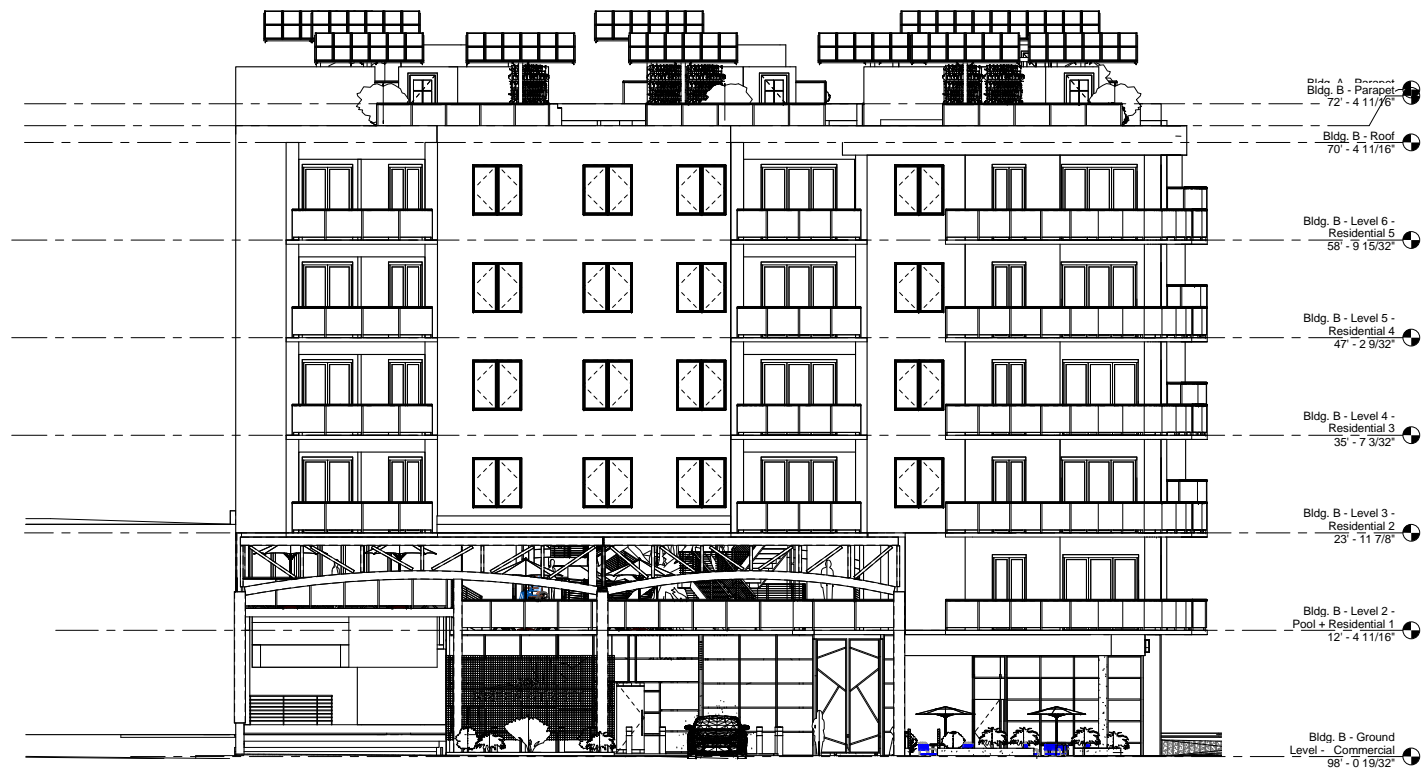
SHEET TITLE:

North and East Building Elevations

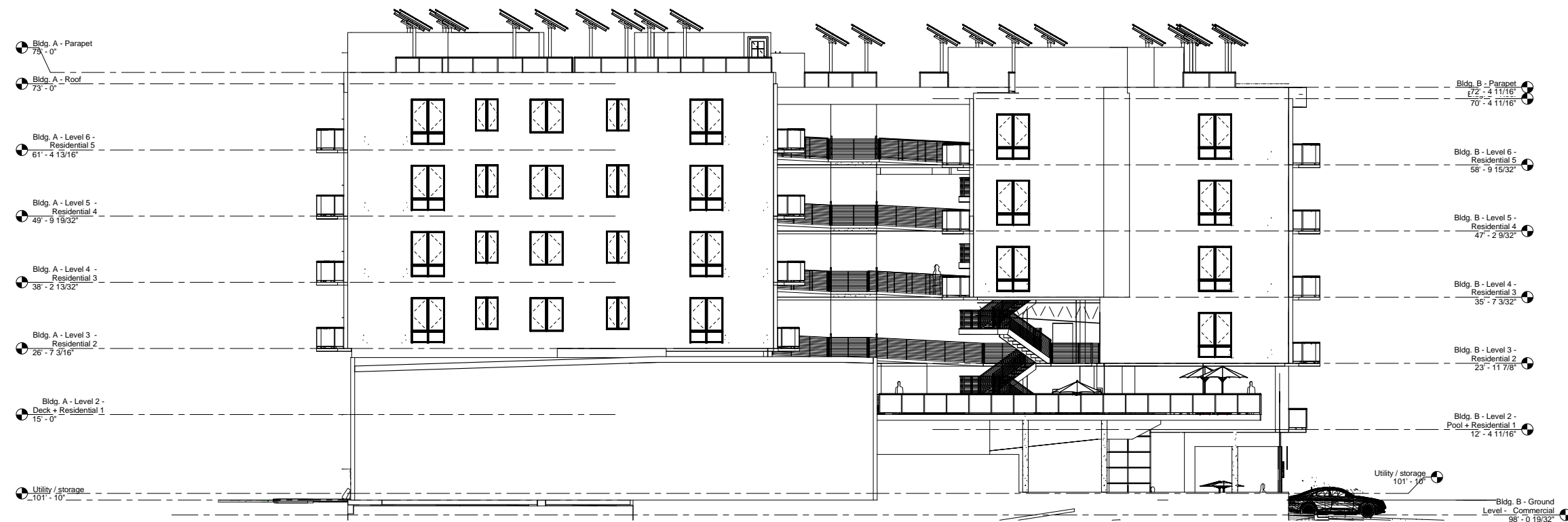
SHEET NO.:

A-200





1 South Elevation
A-201 Scale: 1/8" = 1'-0"



2 West Elevation
A-201 Scale: 1/8" = 1'-0"



SEAL:



CONSULTANTS:

CLIENT:

936 Green Street, LLC

PROJECT:

Green Street Building
922-936 East Green Street
Pasadena, CA 91106

04-05-2012 Predevelopment plan review submittal

Number	Date	Description
		Revision Schedule

	ISSUE FOR CONSTRUCTION
	ISSUE FOR BIDDING
	ISSUE FOR PLAN CHECK

DATE	DESCRIPTION
MILESTONES:	

PROJECT NO.: Project Number

DRAWN BY: Author

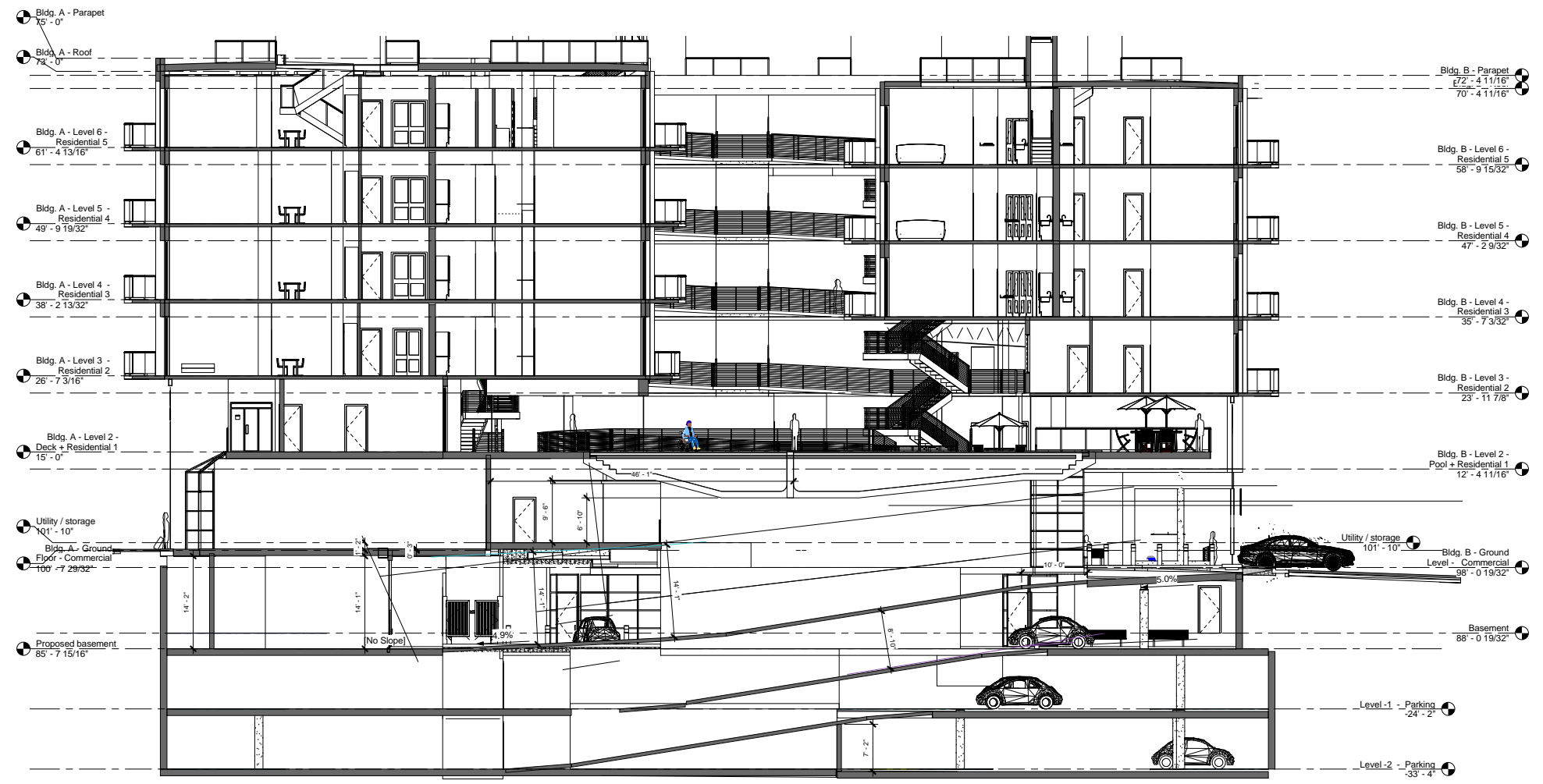
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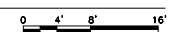
South and West Building Elevations

SHEET NO.:

A-201

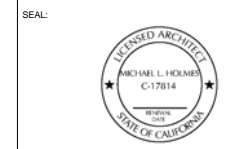


1 Section 6
A-300 Scale: 1/8" = 1'-0"



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922-936 East Green Street
Pasadena, CA 91106

Number	Date	Description
Revision Schedule		

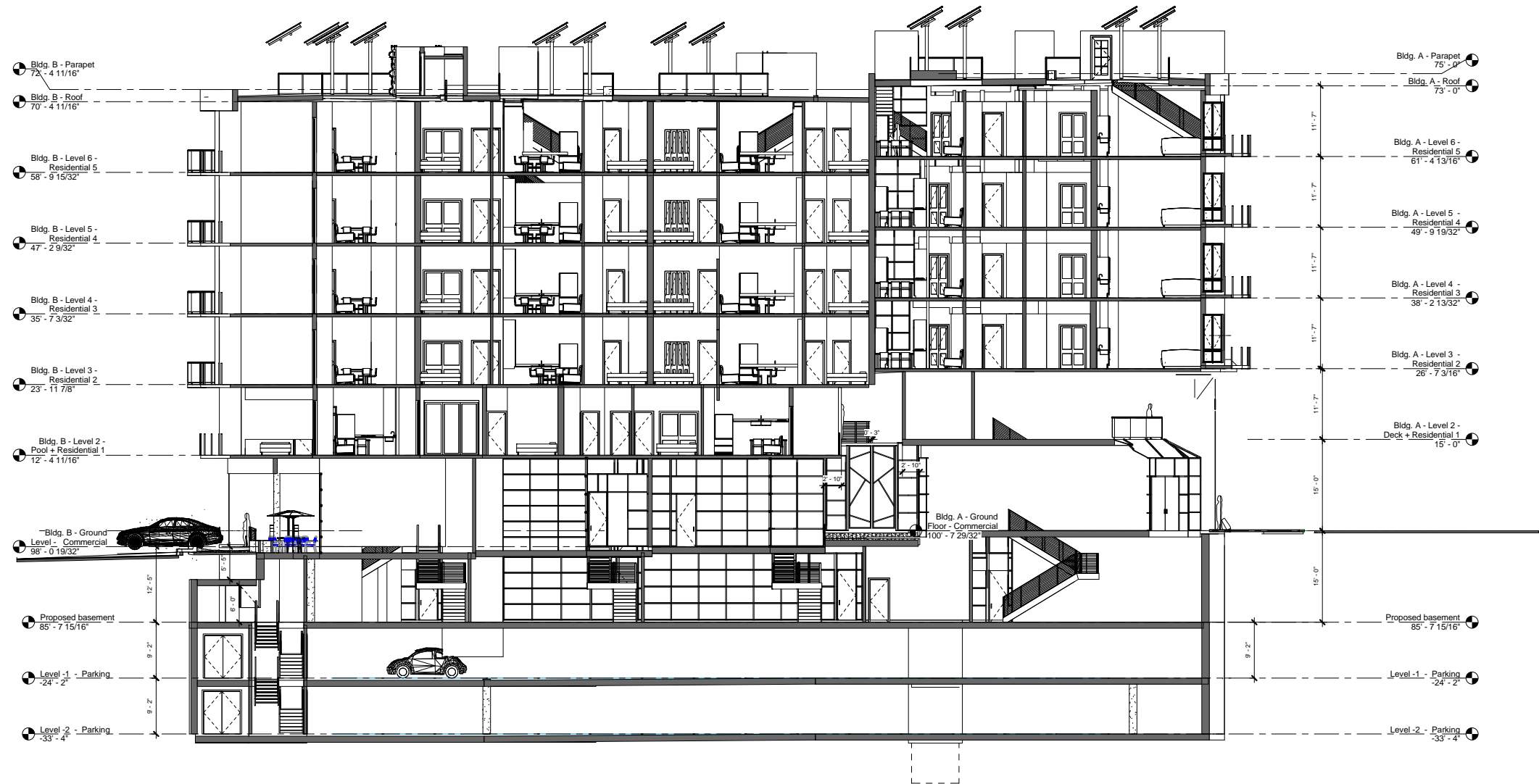
ISSUE FOR CONSTRUCTION
ISSUE FOR BIDDING
ISSUE FOR PLAN CHECK

DATE	DESCRIPTION
MILESTONES:	

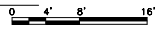
PROJECT NO.: Project Number
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SHEET TITLE:
Building Section

SHEET NO.:
A-300



1 Section 1
A-301 Scale: 1/8" = 1'-0"



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Revision Schedule		

ISSUE FOR CONSTRUCTION
ISSUE FOR BIDDING
ISSUE FOR PLAN CHECK

DATE	DESCRIPTION
MILESTONES:	

PROJECT NO.: Project Number

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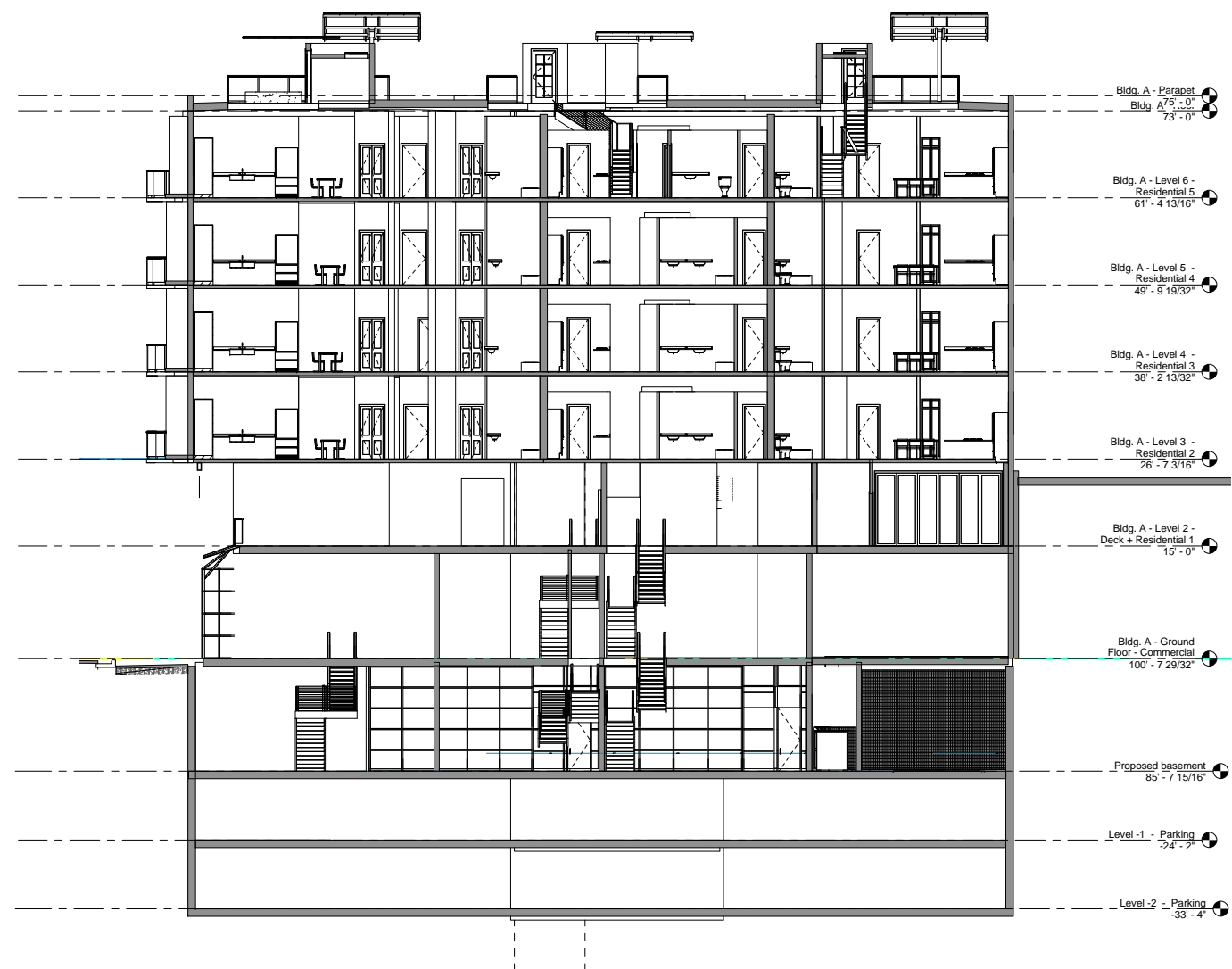
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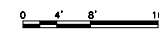
Building Section

SHEET NO.:

A-301



1 Section 10
A-302 Scale: 1/8" = 1'-0"



SEAL:



CONSULTANTS:

CLIENT:

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922-936 East Green Street
Pasadena, CA 91106

Number	Date	Description
Revision Schedule		

ISSUE FOR CONSTRUCTION
ISSUE FOR BIDDING
ISSUE FOR PLAN CHECK

DATE	DESCRIPTION
MILESTONES:	

PROJECT NO.: Project Number

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SHEET TITLE:

Building Section

SHEET NO.:

A-302



Southeast corner



Northeast corner



Northwest corner



Southwest corner

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Number	Date	Description
Revision Schedule		
		ISSUE FOR CONSTRUCTION
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		ISSUE FOR PLAN CHECK

DATE	DESCRIPTION
MILESTONES:	

PROJECT NO.:	Project Number
DRAWN BY:	Author
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SHEET TITLE:	3-D Views
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SHEET NO.:	A-900
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1 Green Street View
A-901



2 Corner of Shopper's Lane and Mentor
A-901



3 Courtyard entrance from Mentor
A-901



4 Courtyard entrance from Shopper's Lane
A-901



5 Entering courtyard from Mentor
A-901



6 Entering courtyard from Shopper's Lane
A-901



7 Courtyard, looking toward Shopper's Lane
A-901



8 Pool deck / Courtyard
A-901

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CONSULTANTS:

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922-936 East Green Street
Pasadena, CA 91106

Number	Date	Description
Revision Schedule		

ISSUE FOR CONSTRUCTION
ISSUE FOR BIDDING
ISSUE FOR PLAN CHECK

DATE	DESCRIPTION
MILESTONES:	

PROJECT NO.:	Project Number
DRAWN BY:	Author
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SHEET TITLE:
3-D Views

SHEET NO.:
A-901

SEAL:



CONSULTANTS:

CLIENT:

936 Green Street, LLC

PROJECT:

Green Street Building
 922-936 East Green Street
 Pasadena, CA 91106

Number	Date	Description
Revision Schedule		

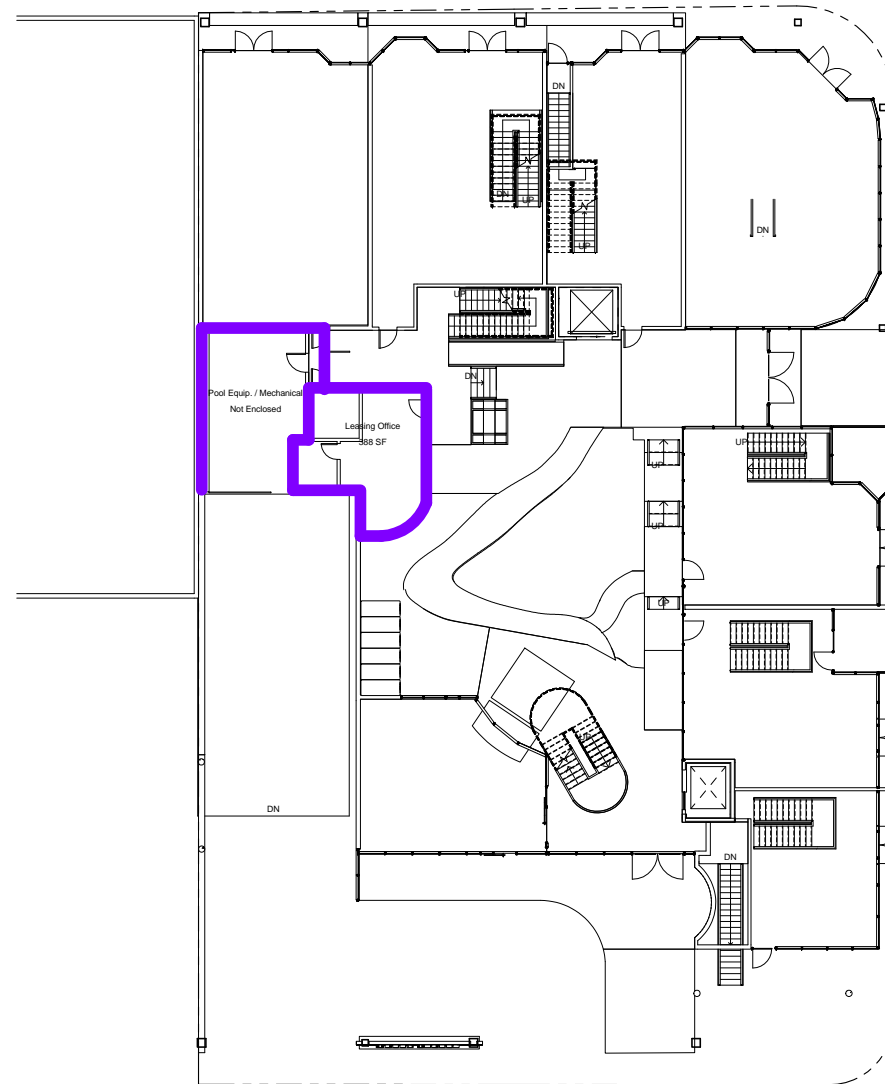
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DATE	DESCRIPTION
MILESTONES:	

PROJECT NO.:	Project Number
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SHEET TITLE:
Area plan - Leasing Office + Area Schedule

SHEET NO.:
AJ-102



1 Utility / storage
 AJ-102

Area Schedule (Gross Building)		
Level	Name	Area

Utility / storage	Leasing Office	388 SF
Utility / storage	Pool Equip. / Mechanical	0 SF
Bldg. A - Ground Floor - Commercial	Green Street commercial	5,093 SF
Bldg. A - Level 2 - Deck + Residential 1	Multi-purpose / Rec Room	600 SF
Bldg. A - Level 2 - Deck + Residential 1	Service Room	210 SF
Bldg. A - Level 3 - Residential 2	Green Street + pool	5,352 SF
Bldg. A - Level 4 - Residential 3	Green Street + pool	5,339 SF
Bldg. A - Level 5 - Residential 4	Green Street + pool	5,328 SF
Bldg. A - Level 6 - Residential 5	Green Street + pool	5,343 SF
Bldg. B - Ground Level - Commercial	Lobby	592 SF
Bldg. B - Ground Level - Commercial	Mentor commercial	2,169 SF
Bldg. B - Level 2 - Pool + Residential 1	Mentor + Shopper's Lane	2,531 SF
Bldg. B - Level 3 - Residential 2	Mentor + Shopper's Lane	5,473 SF
Bldg. B - Level 4 - Residential 3	Mentor + Shopper's Lane	6,396 SF
Bldg. B - Level 5 - Residential 4	Mentor + Shopper's Lane	6,390 SF
Bldg. B - Level 6 - Residential 5	Mentor + Shopper's Lane	6,383 SF
Grand total: 16		57,588 SF