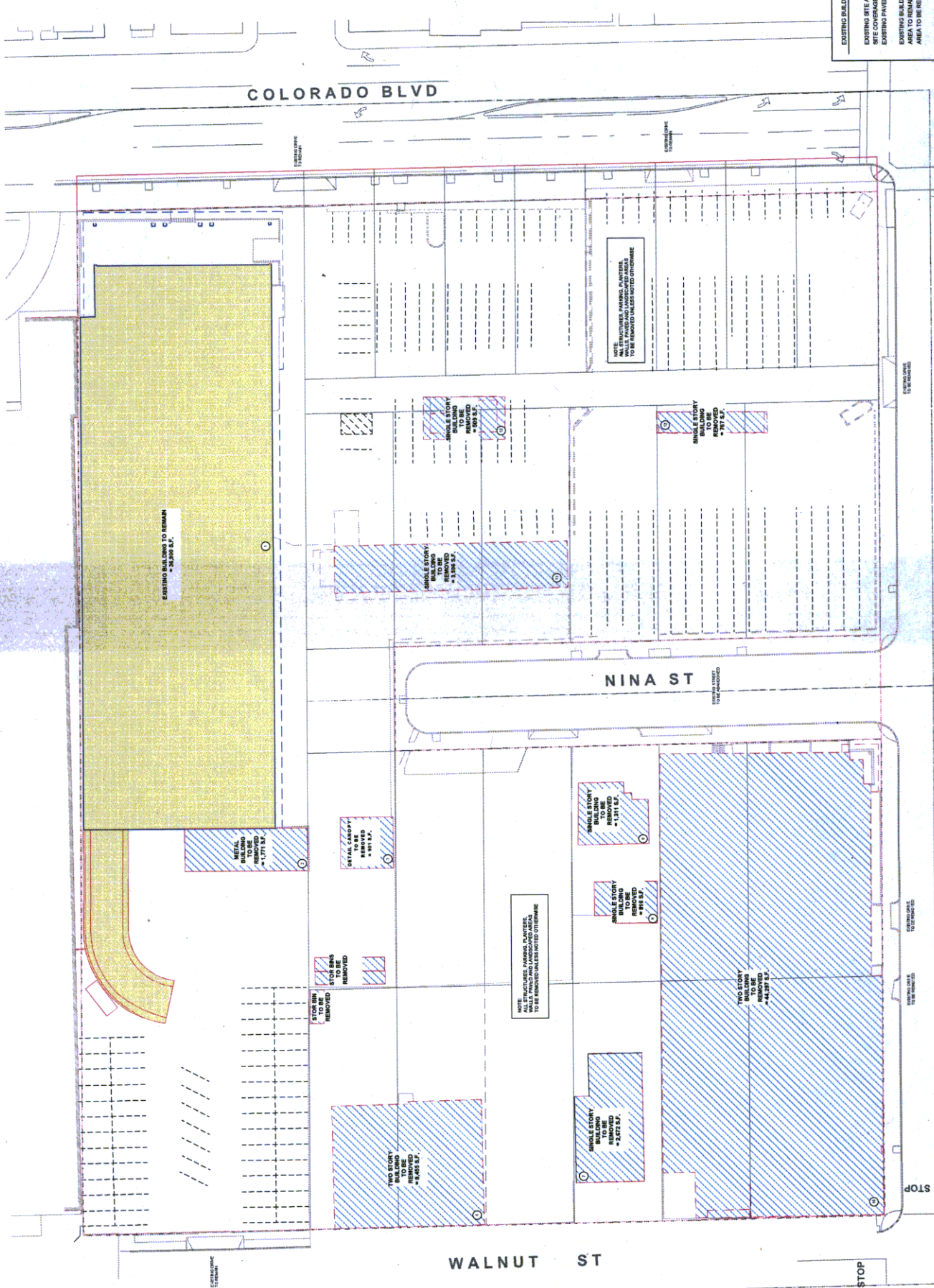


Attachment B



EXISTING BUILDING AREA RECAP

EXISTING SITE AREA	263,204 S.F.
SITE COVERAGE	39%
EXISTING PAVED AREA	153,917 S.F.
EXISTING BUILDING AREA	191,228 S.F.
AREA TO REMAIN	24,200 S.F.
AREA TO BE REMOVED	44,328 S.F.

NOTE: MULTISTORY PARKING PLANTERS SHALL BE REMOVED UNLESS NOTED OTHERWISE

NOTE: MULTISTORY PARKING PLANTERS SHALL BE REMOVED UNLESS NOTED OTHERWISE

1" = 20'-0"
SHEET 1



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SUNNYSLOPE AVE

NINA ST

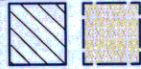
WALNUT ST

STOP

STOP

COLORADO BLVD

PHASING LEGEND



EXISTING BUILDING AREA RECAP	
EXISTING SITE AREA	283,204 S.F.
OFF COVERAGE	38 %
EXISTING PAVED AREA	153,817 S.F.
EXISTING BUILDING AREA	147,231 S.F.
AREA TO BE REMOVED	34,200 S.F.
AREA TO BE REMOVED	44,128 S.F.

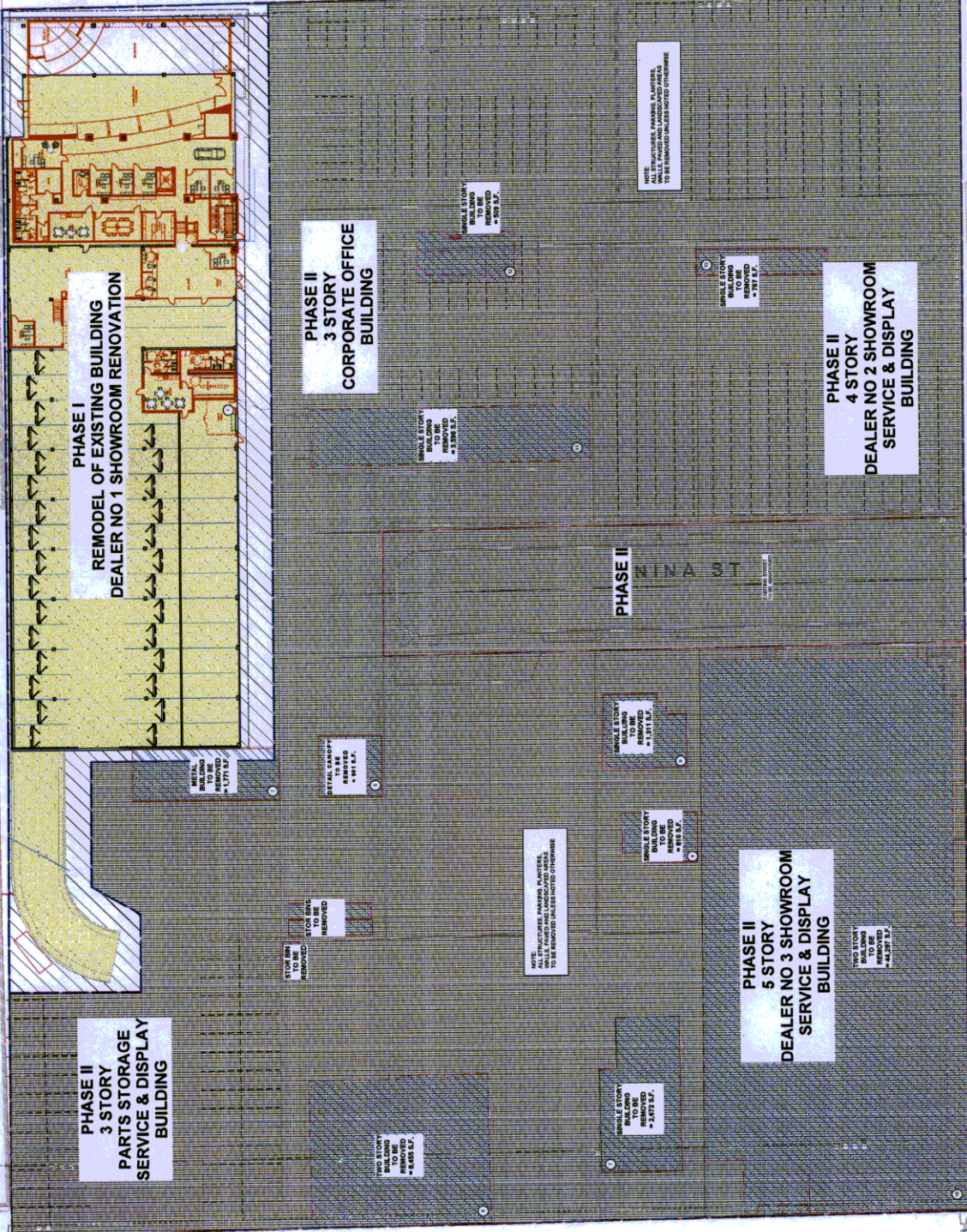
PHASING PLAN 1"=20'-0" SHEET 2



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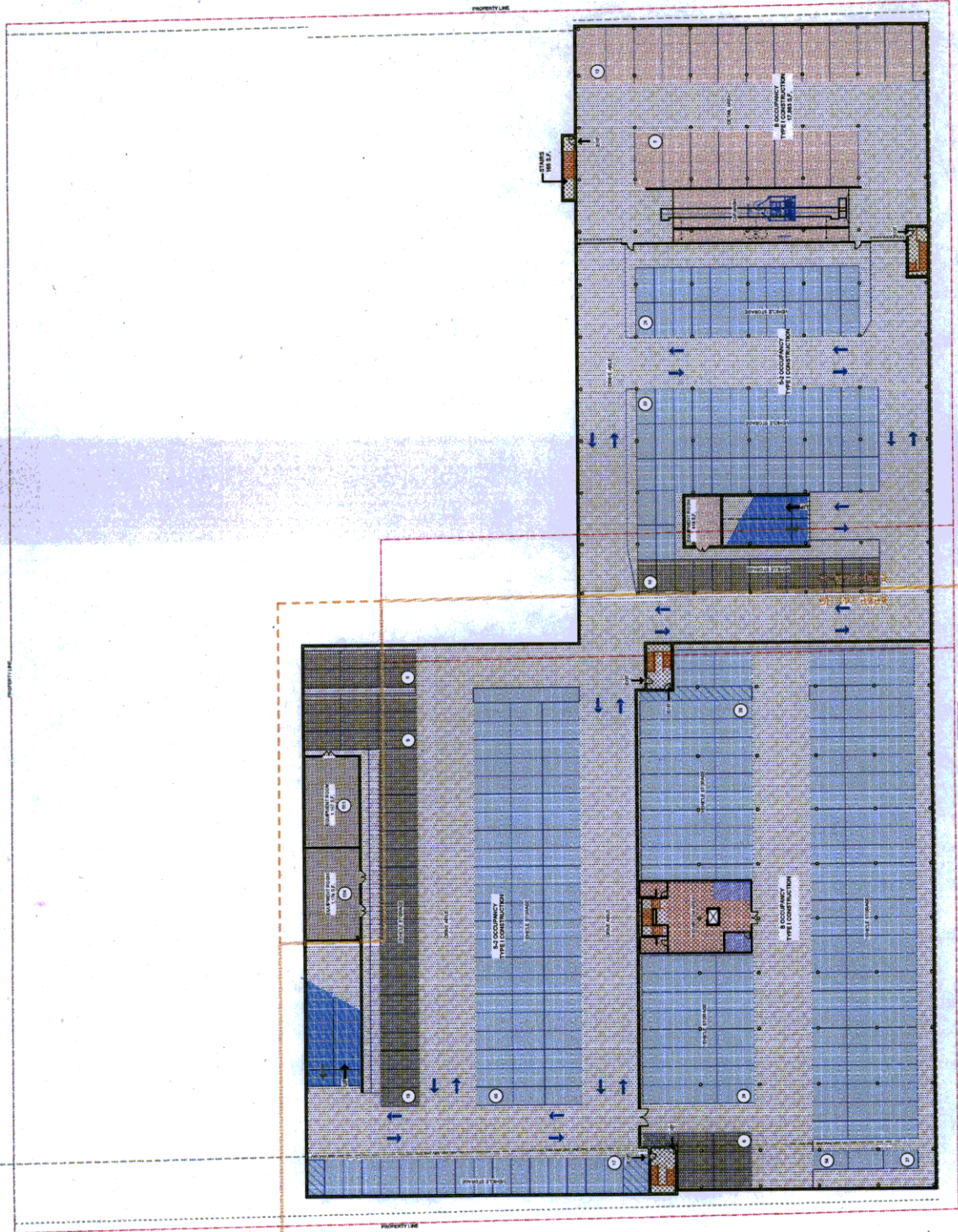


SUNNYSLOPE AVE

WALNUT ST

STOP

STOP



ECSP - CG - 6
 EPSP - dl - IG

TOTAL BASEMENT FLOOR AREA	134,228 S.F.
BASEMENT FLOOR AREA	
TYPE I OCCUPANCY	1,946 S.F.
CARWASH	17,883 S.F.
TYPE II OCCUPANCY	
VEHICLE STORAGE	114,377 S.F.



SHEET 3



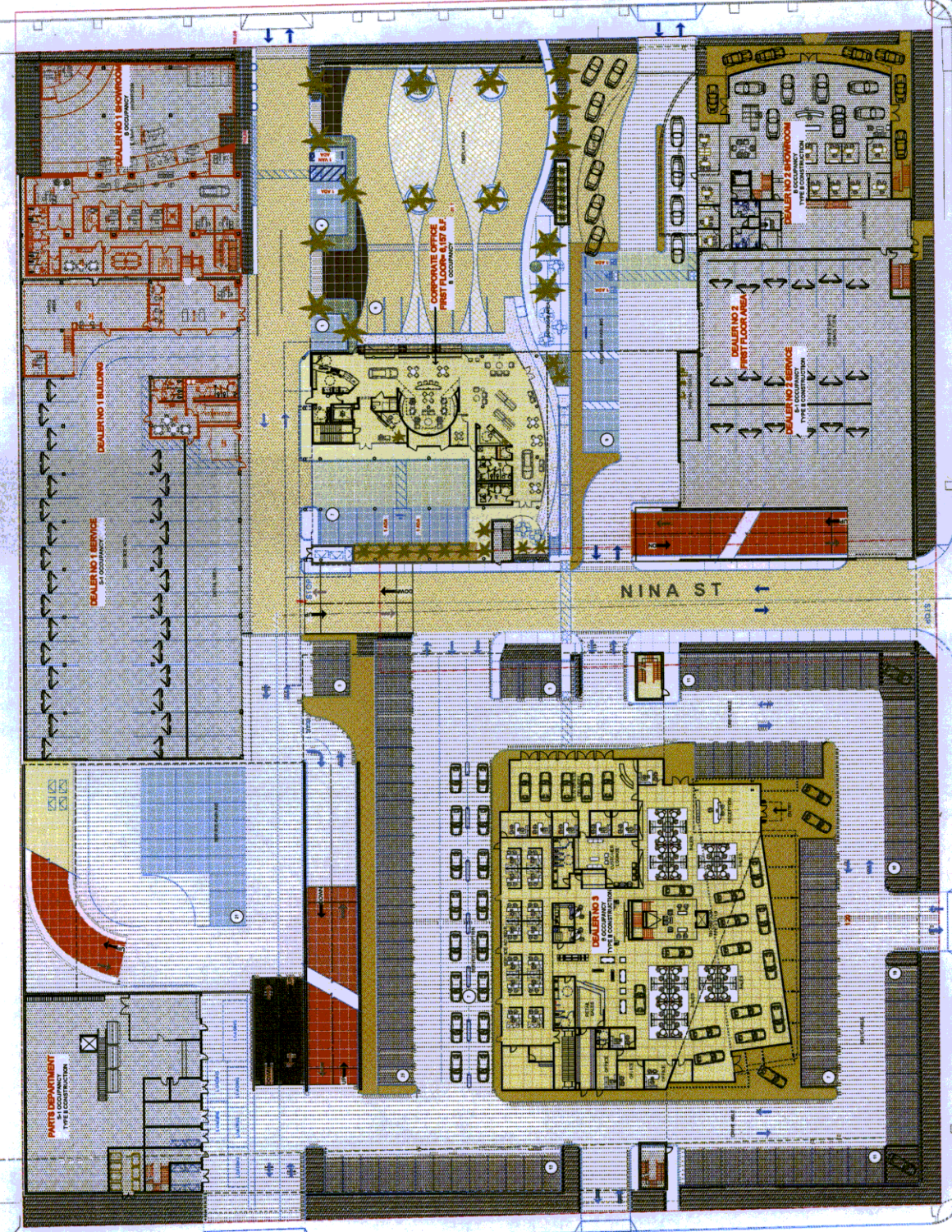
Whitfield
 Associates, Inc.

2400 S. GARDEN AVENUE
 PASADENA, CALIFORNIA 91107
 PH: 626.791.1100
 FAX: 626.791.1101

Pasadena Ca.

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COLORADO BLVD



DEALER NO. 1 EXTERIOR BUILDING	37,500 S.F.
FIRST FLOOR AREA	37,500 S.F.
BREAKDOWN PER OCCUPANCY	
"R" OCCUPANCY	11,100 S.F.
"O" OCCUPANCY	26,400 S.F.
SERVICE BAY AREA	26,400 S.F.
CORPORATE OFFICE BUILDING	6,157 S.F.
FIRST FLOOR AREA	6,157 S.F.
BREAKDOWN PER OCCUPANCY	
"R" OCCUPANCY	6,157 S.F.
OFFICE	6,157 S.F.
PARTS BUILDING	8,625 S.F.
FIRST FLOOR AREA	8,625 S.F.
BREAKDOWN PER OCCUPANCY	
"R" OCCUPANCY	8,625 S.F.
PARTS STORAGE	8,625 S.F.
DEALER NO. 2	21,797 S.F.
FIRST FLOOR AREA	21,797 S.F.
BREAKDOWN PER OCCUPANCY	
"R" OCCUPANCY	21,797 S.F.
SHOWROOM/OFFICE	21,797 S.F.
DEALER NO. 3	24,966 S.F.
FIRST FLOOR AREA	24,966 S.F.
BREAKDOWN PER OCCUPANCY	
"R" OCCUPANCY	8,837 S.F.
"O" OCCUPANCY	16,129 S.F.
SERVICE BAY AREA	16,129 S.F.
TOTAL FIRST FLOOR AREA	98,968 S.F.
FIRST FLOOR AREA	98,968 S.F.
BREAKDOWN PER OCCUPANCY	
"R" OCCUPANCY	47,665 S.F.
"O" OCCUPANCY	51,303 S.F.
SERVICE BAY AREA	51,303 S.F.
1ST FLOOR AREA	506,485 S.F.
BASEMENT FLOOR AREA	104,228 S.F.
1ST FLOOR AREA	610,713 S.F.
2ND FLOOR AREA	18,998 S.F.
3RD FLOOR AREA	18,998 S.F.
4TH FLOOR AREA	18,998 S.F.
5TH FLOOR AREA	18,998 S.F.

AREA RECORD	
SITE AREA	789,901 S.F.
SITE COVERAGE	57% (450,000 S.F.)
BUILDING FOOTPRINT	141,988 S.F.
LANDSCAPE COVERAGE	5.5%
TOTAL NUMBER OF FLOOR	4
MAXIMUM BUILDING HEIGHT	506,485 S.F.
TOTAL PARKING PROVIDED	1,074 SPACES
TOTAL PARKING REQUIRED	947 SPACES (1,000)

1" = 20'-0"

SUNNYSLOPE AVE

WALNUT ST

STOP



Pasadena Ca.

Rusnak Auto Group Corporate Center

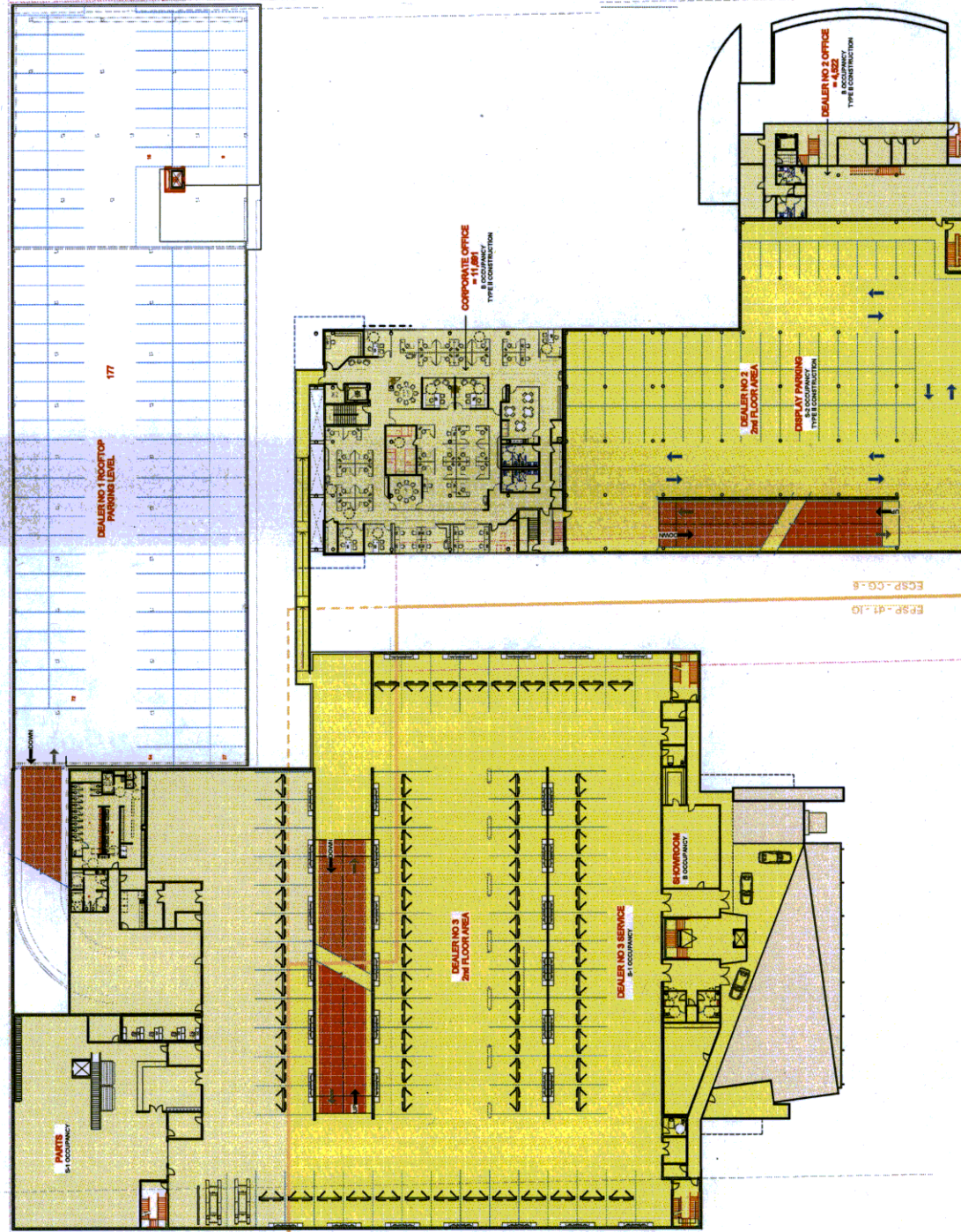
Whitfield Associates, Inc.



1ST FLOOR PLAN

SHEET 4

COLORADO BLVD



CORPORATE OFFICE BUILDING	11,981 S.F.
2ND FLOOR AREA	11,981 S.F.
1ST OCCUPANCY	11,981 S.F.
OFFICE	
DEALER NO. 3	81,008 S.F.
2ND FLOOR AREA	81,008 S.F.
BREAKDOWN PER OCCUPANCY	
1ST OCCUPANCY	7,948 S.F.
SHOWROOM	
1ST OCCUPANCY	
PARTS	8,131 S.F.
1ST OCCUPANCY	
SERVICE AREA	44,969 S.F.
DEALER NO. 2	27,199 S.F.
2ND FLOOR AREA	27,199 S.F.
BREAKDOWN PER OCCUPANCY	
1ST OCCUPANCY	4,532 S.F.
SHOWROOM	
1ST OCCUPANCY	
2ND OCCUPANCY	22,667 S.F.
DISPLAY AREA	
TOTAL 2ND FLOOR AREA	116,208 S.F.
BREAKDOWN PER OCCUPANCY	
1ST OCCUPANCY	12,480 S.F.
SHOWROOM	
1ST OCCUPANCY	24,199 S.F.
1ST OCCUPANCY	71,504 S.F.
2ND OCCUPANCY	
DISPLAY AREA	22,587 S.F.

SECOND LEVEL PLAN 1" = 20'-0"



SUNNYSLOPE AVE

WALNUT ST

570P

570P

SHEET 5

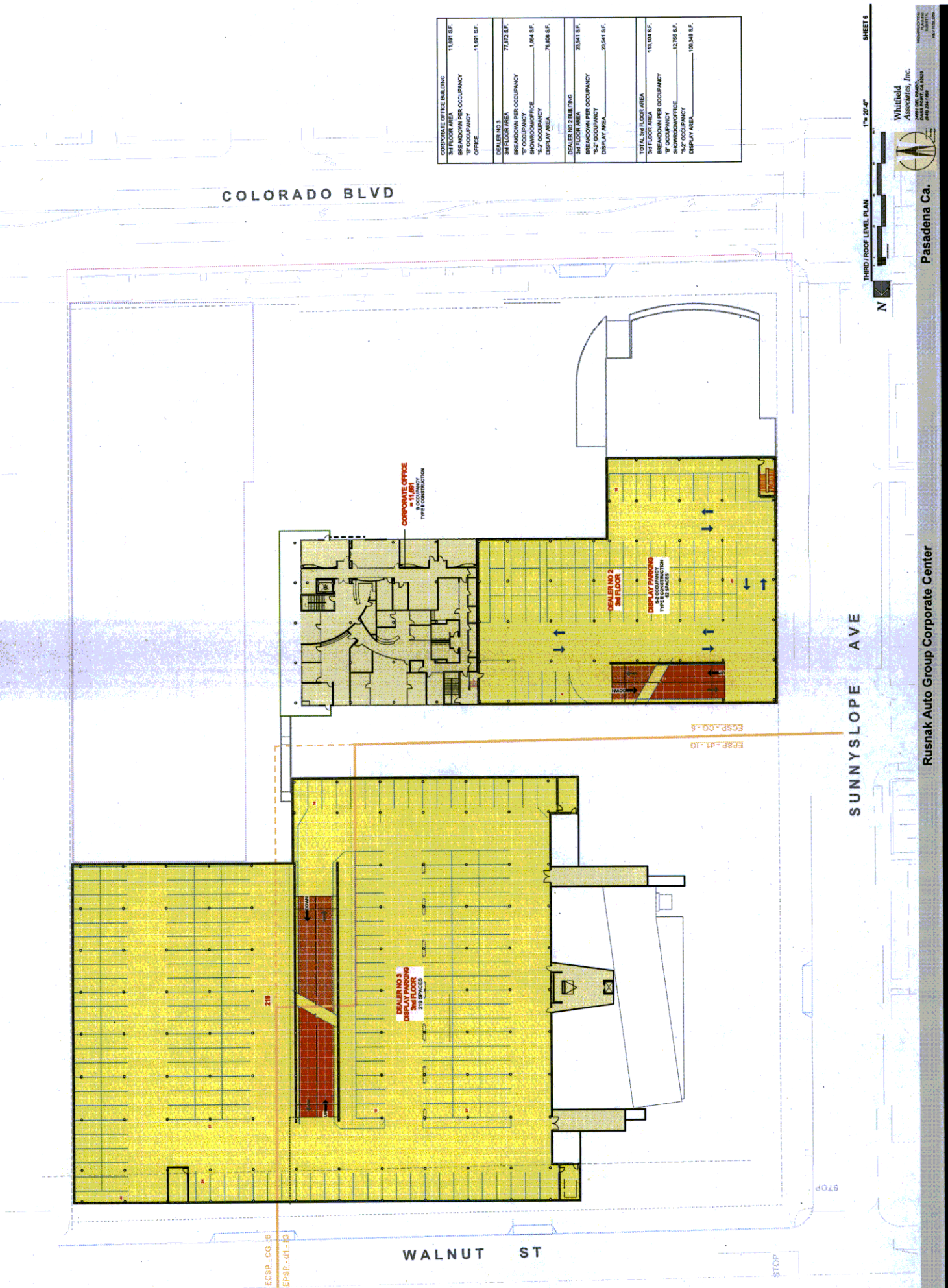
Whitfield Associates, Inc.



Pasadena Ca.

Rusnak Auto Group Corporate Center

PROJECT NO. 2000-0001
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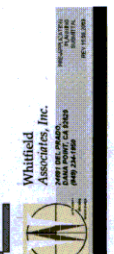
COLORADO BLVD

SUNNYSLOPE AVE

WALNUT ST

CORPORATE OFFICE BUILDING	11,891 S.F.
DEALER NO. 3	7,872 S.F.
DEALER NO. 2 BUILDING	21,541 S.F.
DEALER NO. 1 BUILDING	11,104 S.F.
TOTAL 3rd FLOOR AREA	52,208 S.F.
DEALER NO. 3 3rd FLOOR AREA	7,872 S.F.
DEALER NO. 2 3rd FLOOR AREA	21,541 S.F.
DEALER NO. 1 3rd FLOOR AREA	11,104 S.F.
DEALER NO. 3 3rd FLOOR PER OCCUPANCY	-11,891 S.F.
DEALER NO. 2 3rd FLOOR PER OCCUPANCY	-21,541 S.F.
DEALER NO. 1 3rd FLOOR PER OCCUPANCY	-11,104 S.F.
DEALER NO. 3 3rd FLOOR PER OCCUPANCY	-7,872 S.F.
DEALER NO. 2 3rd FLOOR PER OCCUPANCY	-21,541 S.F.
DEALER NO. 1 3rd FLOOR PER OCCUPANCY	-11,104 S.F.
DEALER NO. 3 3rd FLOOR PER OCCUPANCY	-7,872 S.F.
DEALER NO. 2 3rd FLOOR PER OCCUPANCY	-21,541 S.F.
DEALER NO. 1 3rd FLOOR PER OCCUPANCY	-11,104 S.F.

THIRD / ROOF LEVEL PLAN
1" = 30'-0"

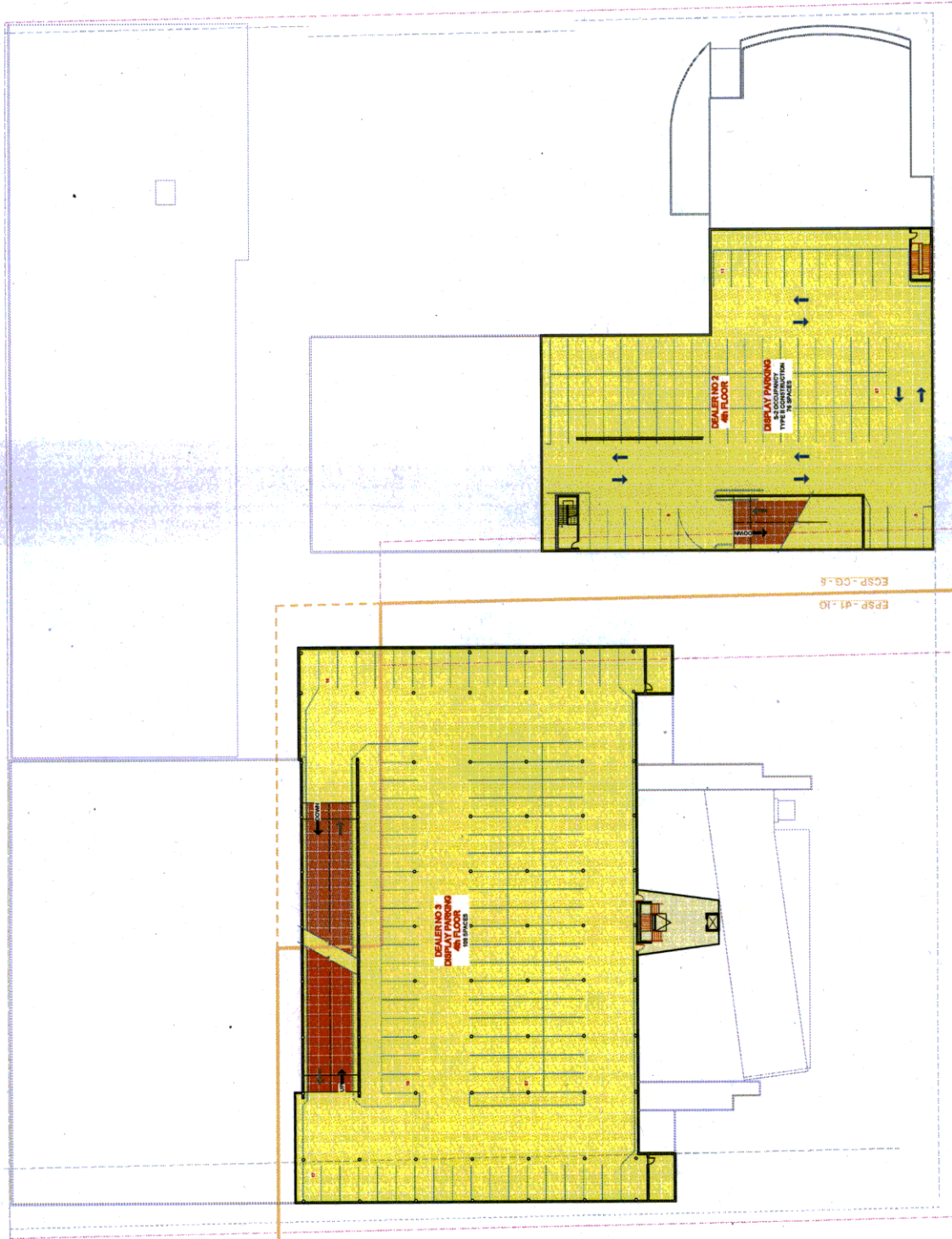


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Whitfield Architects, Inc.
3000 S. GATEWAY BLVD
PASADENA, CA 91107
PH: 626.791.3333

SHEET 6



DEALER NO 3		47,000 S.F.
48 FLOOR AREA	BREAKDOWN PER OCCUPANCY	
	DISPLAY PARKING	47,000 S.F.
DEALER NO 2		23,541 S.F.
48 FLOOR AREA	BREAKDOWN PER OCCUPANCY	
	"S2" OCCUPANCY PARKING AREA	23,541 S.F.
TOTAL 48 FLOOR AREA		71,448 S.F.
48 FLOOR AREA	BREAKDOWN PER OCCUPANCY	
	"S2" OCCUPANCY PARKING AREA	71,448 S.F.

FOURTH LEVEL PLAN
1" = 20'-0"

SHEET 7

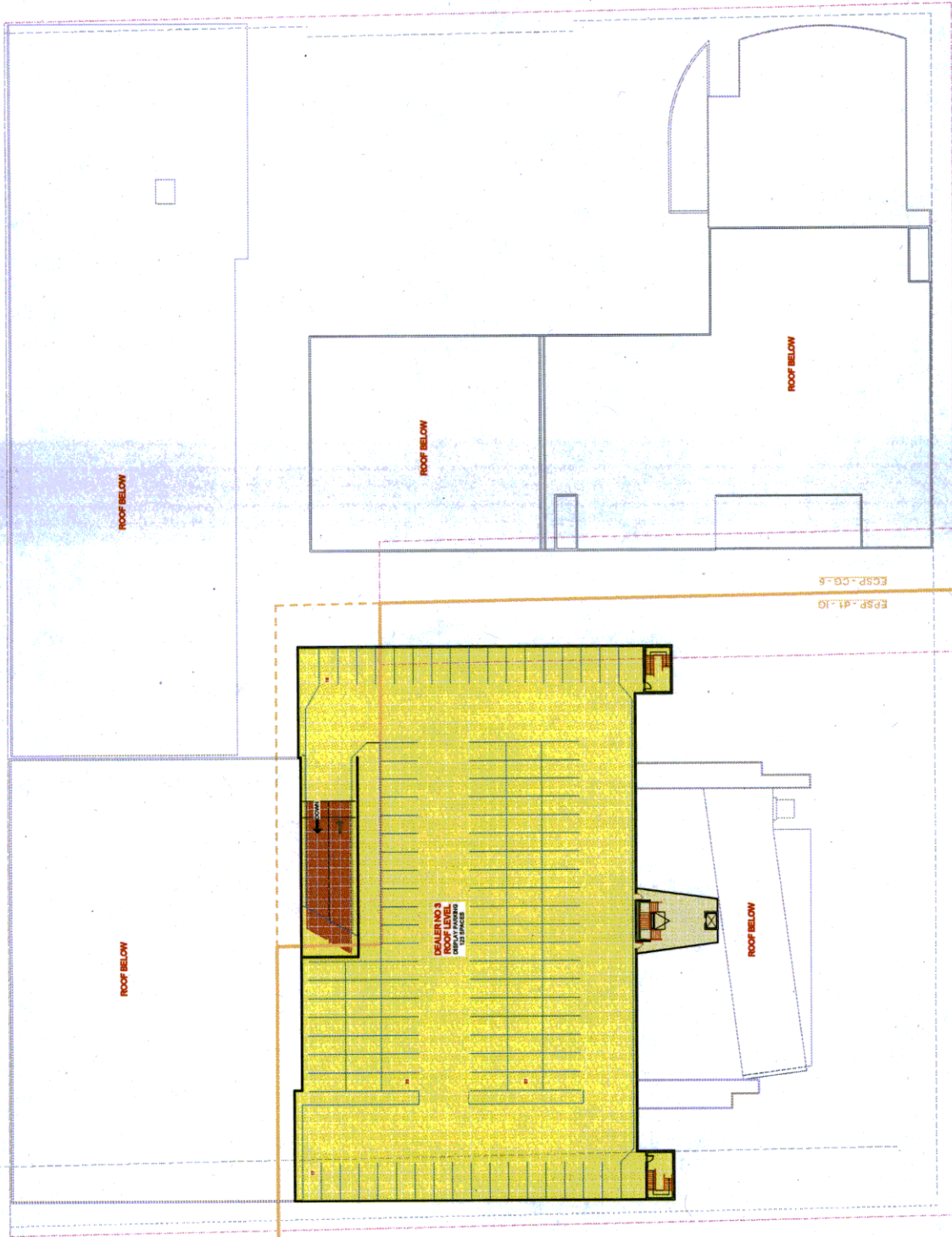


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2000 BELLEVUE
SUITE 100
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Pasadena Ca.

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DEALER NO 3	4638 S.F.
ROOF FLOOR AREA	4638 S.F.
BREAKDOWN PER OCCUPANCY	
OFFICE OCCUPANCY	4638 S.F.
PARKING	4638 S.F.
TOTAL ROOF (ON FLOOR AREA)	4638 S.F.
BREAKDOWN PER OCCUPANCY	
OFFICE OCCUPANCY	4638 S.F.
PARKING AREA	4638 S.F.

ECSP-CG-8
EPSP-d1-10

ECSP-d1-10
ECSP-CG-8



1" = 20' 0"

ROOF LEVEL PLAN

SHEET 8

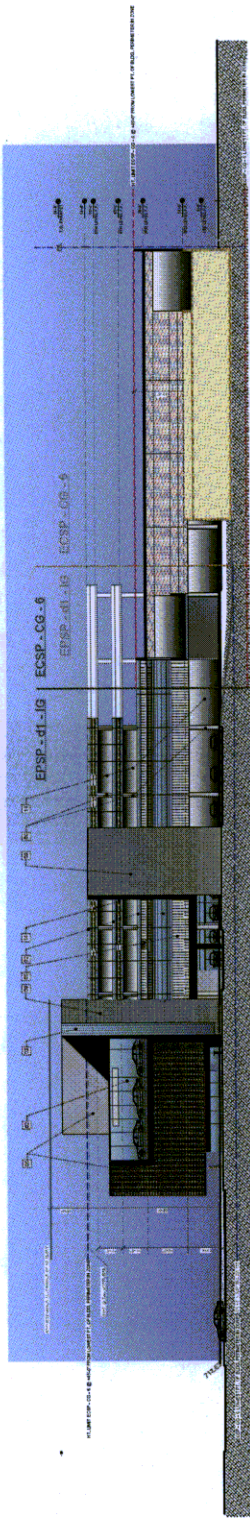


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Associates, Inc.

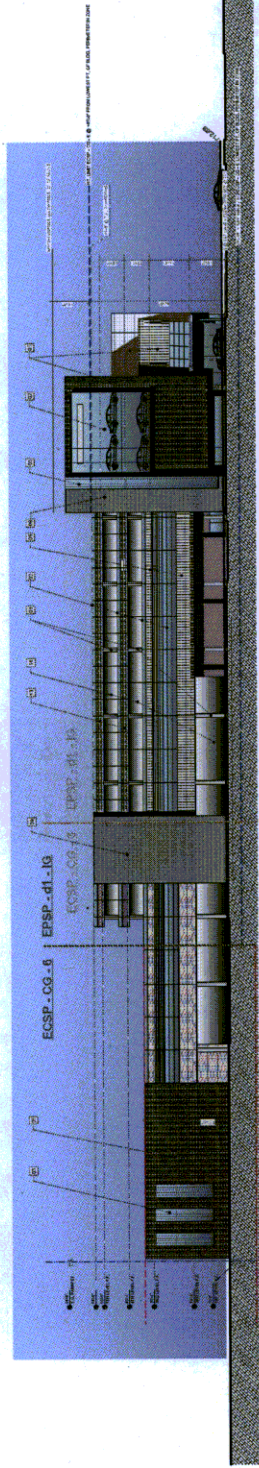
REGISTERED ARCHITECT
STATE OF CALIFORNIA
DANA WHITFIELD, AIA No. 15749
1987-2014 (10)

Pasadena Ca.

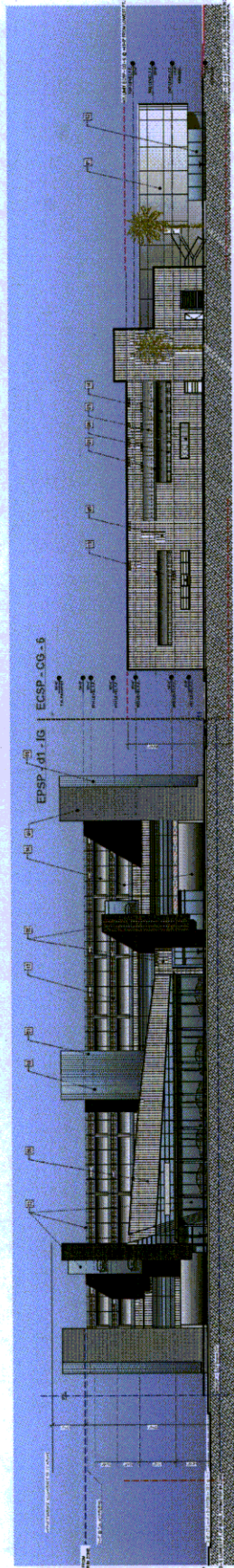
Rushak Auto Group Corporate Center



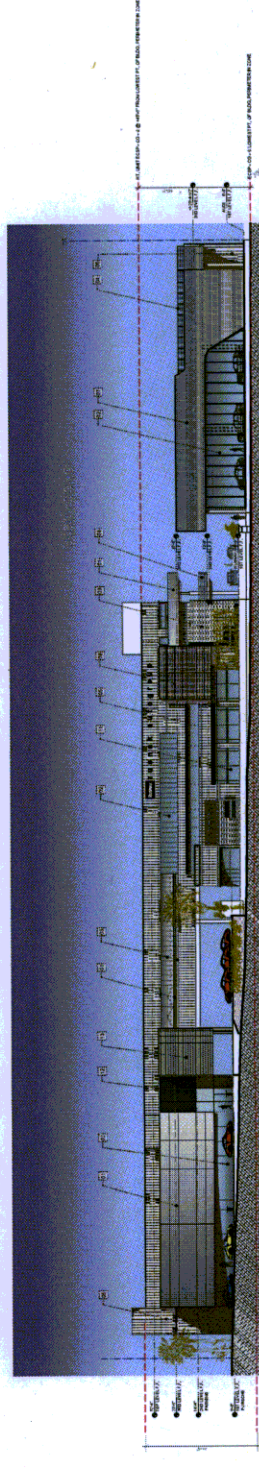
NINA ST. Proposed Exterior Elevation



WALNUT ST. Proposed Exterior Elevation



SUNNY SLOPE AVE Proposed Exterior Elevation



COLORADO BLVD. Proposed Exterior Elevation

- KEYNOTE:**
- 1. ALUMINUM COMPANION PANELS, COLOR TBD
 - 2. CLEAR ANODIZED ALUMINUM
 - 3. CLEAR ANODIZED ALUMINUM
 - 4. STAINLESS STEEL, SERRATED FINISH
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Associates, Inc.
ARCHITECTS

Rusnak Auto Group Corporate Center
Pasadena, Ca.