

Attachment B

COLORADO BLVD

NINA ST

WALNUT ST

SUNNYSLOPE AVE

EXISTING BUILDING AREA RECAP	
EXISTING SITE AREA	263,204 S.F.
EXISTING PAVED AREA	193,977 S.F.
EXISTING BUILDING AREA	107,228 S.F.
AREA TO BE REMOVED	41,328 S.F.

NOTE:
ALL STRUCTURES, PARKING PLANTERS,
WALLS, PAVED AND UNPAVED AREAS
TO BE REMOVED UNLESS NOTED OTHERWISE

NOTE:
ALL STRUCTURES, PARKING PLANTERS,
WALLS, PAVED AND UNPAVED AREAS
TO BE REMOVED UNLESS NOTED OTHERWISE

EXISTING BUILDING TO REMAIN
= 26,900 S.F.

METAL
BUILDING
REMOVED
= 1,771 S.F.

RETAIL CANNOPY
REMOVED
= 891 S.F.

STORAGE
BUILDING
TO BE
REMOVED

ONE STORY
BUILDING
REMOVED
= 8,485 S.F.

SINGLE STORY
BUILDING
REMOVED
= 2,475 S.F.

SINGLE STORY
BUILDING
REMOVED
= 1,915 S.F.

SINGLE STORY
BUILDING
REMOVED
= 1,071 S.F.

SINGLE STORY
BUILDING
TO BE
REMOVED
= 3,504 S.F.

SINGLE STORY
BUILDING
TO BE
REMOVED
= 2,500 S.F.

SINGLE STORY
BUILDING
REMOVED
= 797 S.F.

TWO STORY
BUILDING
REMOVED
= 4,827 S.F.

1" = 20'-0"

EXISTING SITE PLAN

N

SHEET 1



Whitfield
Associates, Inc.

Pasadena Ca.

Rusnak Auto Group Corporate Center

Project No. 03-001
Date: 02/15/05
Drawn: J. J. Smith
Checked: J. J. Smith
Scale: 1" = 20'-0"

COLORADO BLVD

PHASING LEGEND



EXISTING BUILDING AREA RECAP	
EXISTING SITE AREA	253,204 S.F.
NET COVERED AREA	153,817 S.F.
EXISTING PAVED AREA	153,817 S.F.
EXISTING BUILDING AREA	191,228 S.F.
AREA TO REMAIN	38,600 S.F.
AREA TO BE REMOVED	152,628 S.F.

1" = 20' @ 20'-0"

PHASING PLAN

N

SHEET 2



Whitfield Associates, Inc.

1000 N. GARDEN ST. PASADENA, CA 91106-1000
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WWW.WHITFIELDASSOCIATES.COM

Pasadena Ca.

Rusnak Auto Group Corporate Center

PHASE I
REMODEL OF EXISTING BUILDING
DEALER NO 1 SHOWROOM RENOVATION

PHASE II
3 STORY
CORPORATE OFFICE
BUILDING

PHASE II
4 STORY
DEALER NO 2 SHOWROOM
SERVICE & DISPLAY
BUILDING

PHASE II
5 STORY
DEALER NO 3 SHOWROOM
SERVICE & DISPLAY
BUILDING

PHASE II
3 STORY
PARTS STORAGE
SERVICE & DISPLAY
BUILDING

WALNUT ST

SUNNYSLOPE AVE

STOP

STOP

NOTE: ALL STRUCTURED, FINISHED, PLASTER, WALLS, FLOORS AND ARCHITECTURAL DETAILS TO BE REMOVED UNLESS NOTED OTHERWISE.

NOTE: STRUCTURED, FINISHED, PLASTER, WALLS, FLOORS AND ARCHITECTURAL DETAILS TO BE REMOVED UNLESS NOTED OTHERWISE.

STAIR ENCLOSURE TO BE REMOVED

STAIR ENCLOSURE TO BE REMOVED

TWO STORY BUILDING TO BE REMOVED - 8400 S.F.

ONE AND A HALF STORY BUILDING TO BE REMOVED - 2,873 S.F.

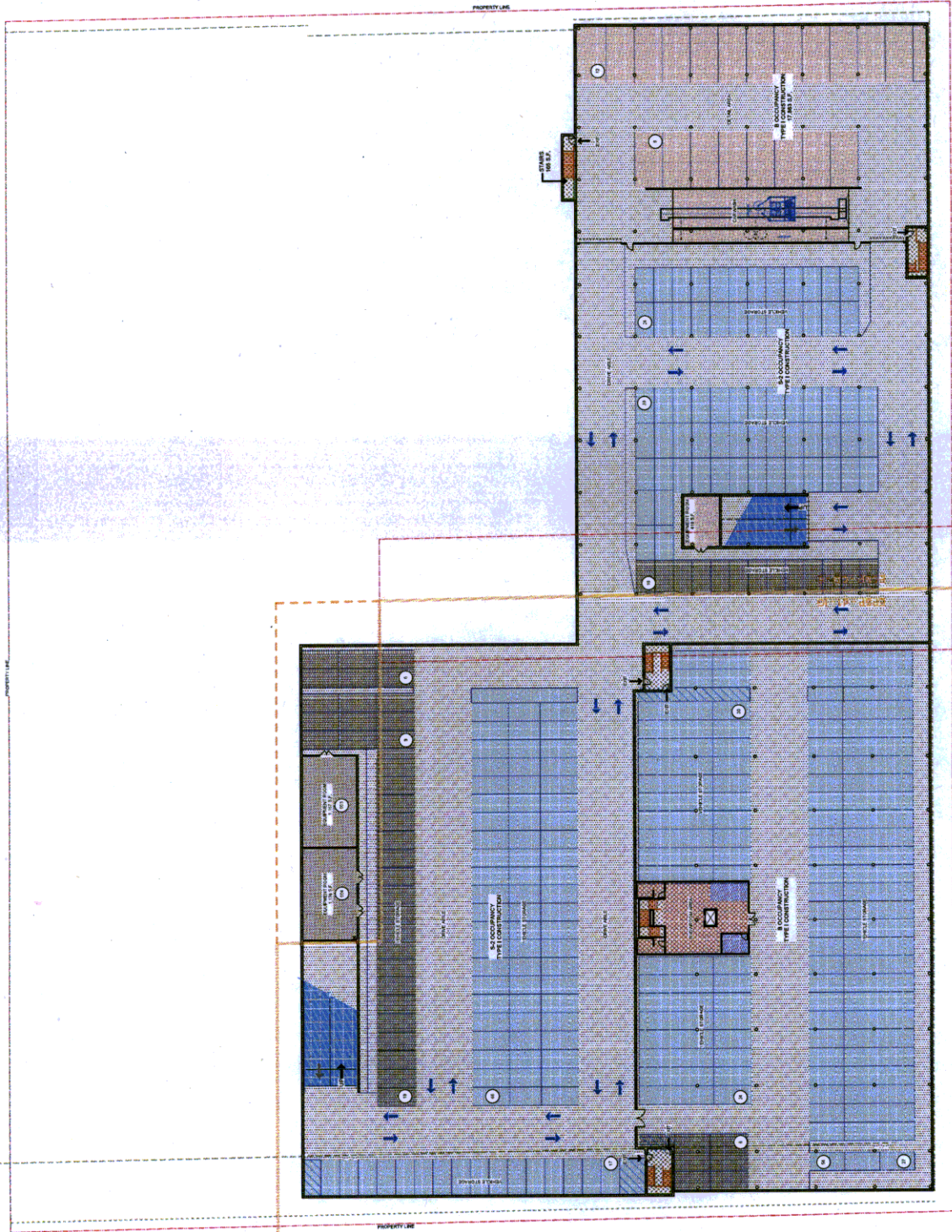
ONE AND A HALF STORY BUILDING TO BE REMOVED - 1,311 S.F.

ONE AND A HALF STORY BUILDING TO BE REMOVED - 814 S.F.

ONE AND A HALF STORY BUILDING TO BE REMOVED - 197 S.F.

ONE AND A HALF STORY BUILDING TO BE REMOVED - 697 S.F.

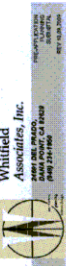
TWO STORY BUILDING TO BE REMOVED - 4,370 S.F.



TOTAL BASEMENT FLOOR AREA	154,229 S.F.
BASEMENT FLOOR AREA	154,229 S.F.
8' OCCUPANCY TYPE CONSTRUCTION	1,998 S.F.
SHOWROOM	17,568 S.F.
8'2" OCCUPANCY TYPE CONSTRUCTION	114,377 S.F.
VEHICLE STORAGE	114,377 S.F.

EGSP-06-6
 EPSP-01-10

BASEMENT PLAN 1"=20'-0"
 N

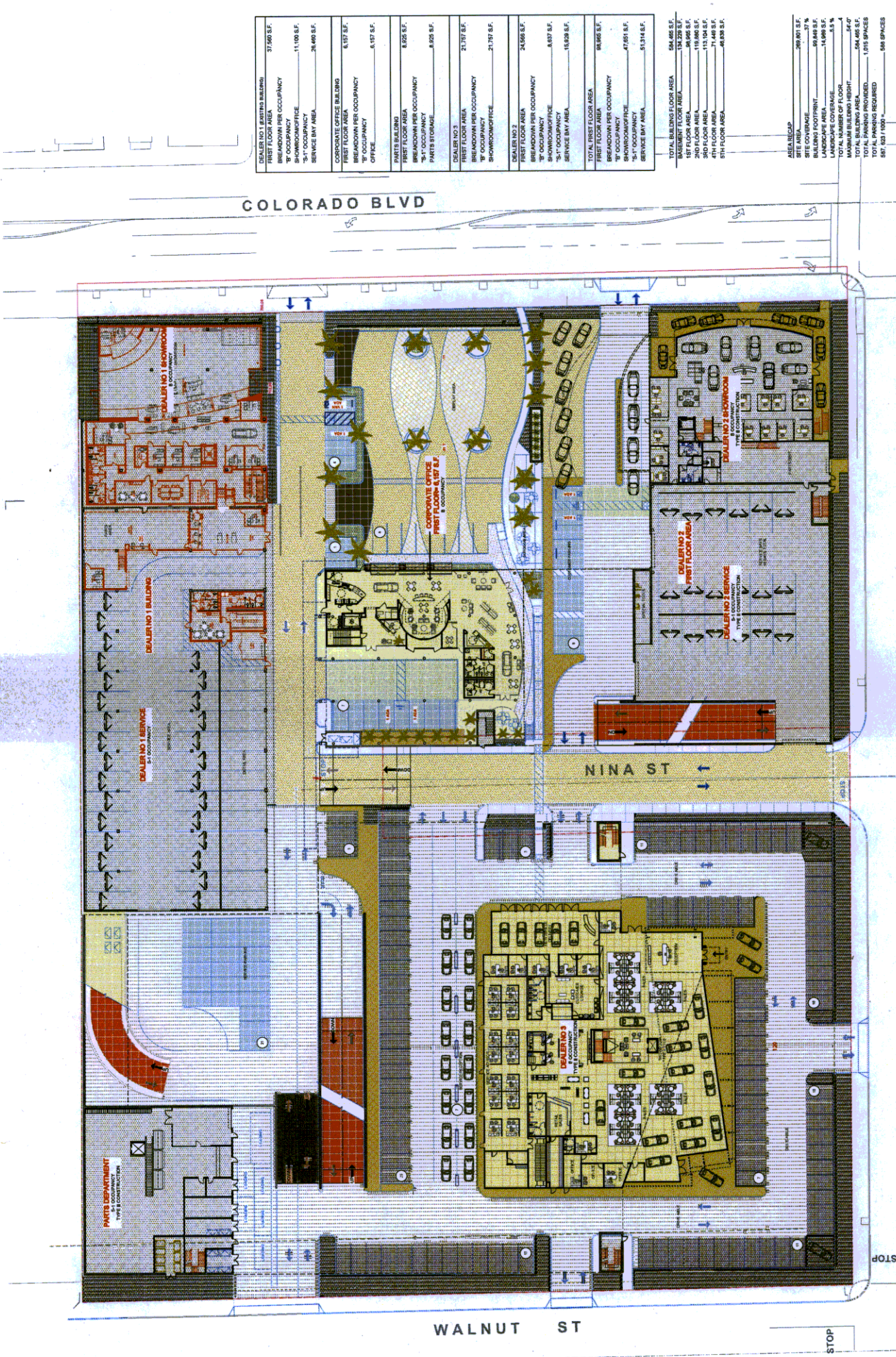


Whitfield
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 10000 Wilshire Blvd., Suite 1000
 Los Angeles, CA 90024
 (310) 206-1000

Rusnak Auto Group Corporate Center

Pasadena Ca.

SHEET 3



DEALER NO. 1 SERVICE BUILDING	37,540 S.F.
BREAKDOWN PER OCCUPANCY	
TYPE 1 OCCUPANCY	11,100 S.F.
SHOWROOM/TYPE 2	26,440 S.F.
SERVICE BAY AREA	
CORPORATE OFFICE BUILDING	6,157 S.F.
BREAKDOWN PER OCCUPANCY	
TYPE 1 OCCUPANCY	6,157 S.F.
PARTS BUILDING	8,025 S.F.
BREAKDOWN PER OCCUPANCY	
TYPE 1 OCCUPANCY	8,025 S.F.
PARTS STORAGE	
DEALER NO. 2	21,757 S.F.
BREAKDOWN PER OCCUPANCY	
SHOWROOM/TYPE 1	21,757 S.F.
DEALER NO. 3	24,568 S.F.
BREAKDOWN PER OCCUPANCY	
SHOWROOM/TYPE 1	24,568 S.F.
DEALER NO. 4	16,828 S.F.
BREAKDOWN PER OCCUPANCY	
SHOWROOM/TYPE 1	16,828 S.F.
DEALER NO. 5	94,965 S.F.
BREAKDOWN PER OCCUPANCY	
TYPE 1 OCCUPANCY	47,651 S.F.
SHOWROOM/TYPE 2	47,314 S.F.
SERVICE BAY AREA	
DEALER NO. 6	58,485 S.F.
BREAKDOWN PER OCCUPANCY	
TYPE 1 OCCUPANCY	58,485 S.F.
DEALER NO. 7	113,104 S.F.
BREAKDOWN PER OCCUPANCY	
TYPE 1 OCCUPANCY	44,828 S.F.
TYPE 2 OCCUPANCY	68,276 S.F.

TOTAL BUILDING FLOOR AREA	584,485 S.F.
TYPE 1 OCCUPANCY	249,901 S.F.
TYPE 2 OCCUPANCY	334,584 S.F.
BUILDING FOOTPRINT	89,849 S.F.
LANDSCAPE COVERAGE	14,515 S.F.
TYPE 1 OCCUPANCY	14,515 S.F.
TYPE 2 OCCUPANCY	14,515 S.F.
TOTAL NUMBER OF FLOOR	4
MAXIMUM BUILDING HEIGHT	34'-0"
TOTAL BUILDING AREA	584,485 S.F.
TOTAL PARKING REQUIRED	1,970 SPACES
SPACES PROVIDED	587,523 / 1,970

ASBESTOS	
SITE AREA	269,901 S.F.
PERCENTAGE	46.17%
LANDSCAPE COVERAGE	14,515 S.F.
PERCENTAGE	2.48%
TOTAL NUMBER OF FLOOR	4
MAXIMUM BUILDING HEIGHT	34'-0"
TOTAL BUILDING AREA	584,485 S.F.
TOTAL PARKING REQUIRED	1,970 SPACES
SPACES PROVIDED	587,523 / 1,970

1" = 20'-0"

15' FLOOR PLAN

N

SUNNYSLOPE AVE

NINA ST

WALNUT ST

STOP

STOP

Rusnak Auto Group Corporate Center

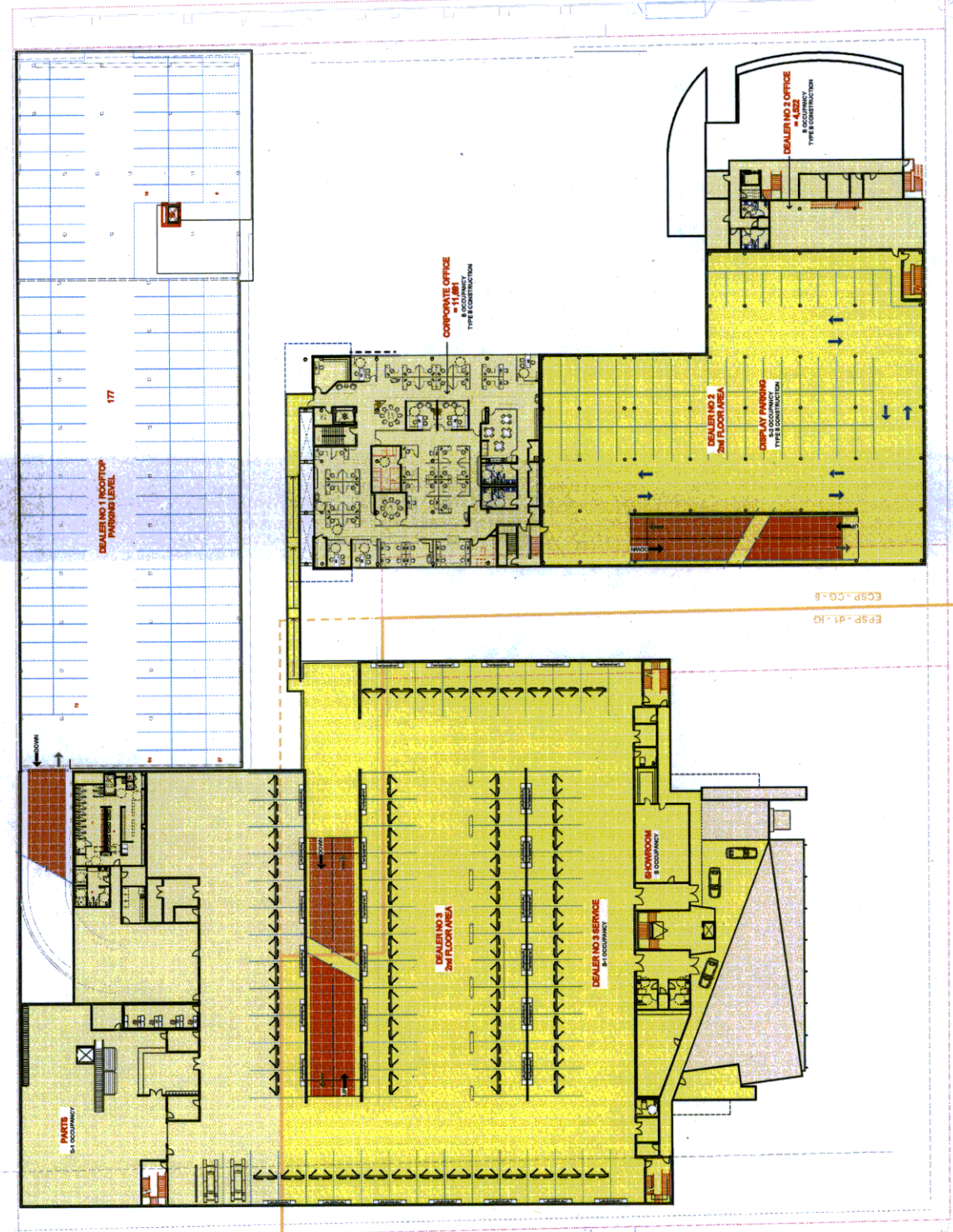
Pasadena Ca.

Whitfield Associates, Inc.

1000 W. GARDEN ST. PASADENA, CA 91103
TEL: 626-799-1000 FAX: 626-799-1001
WWW.WHITFIELDASSOCIATES.COM

SHEET 4

COLORADO BLVD



CORPORATE OFFICE BUILDING	11,971 S.F.
2ND FLOOR AREA	11,971 S.F.
8 OCCUPANCY	11,971 S.F.
OFFICE	
DEALER NO 3	81,000 S.F.
BREAKDOWN PER OCCUPANCY	
8 OCCUPANCY	7,986 S.F.
75-1 OCCUPANCY	
PARTS	8,171 S.F.
75-1 OCCUPANCY	81,000 S.F.
SERVICE BAY	
DEALER NO 2	27,109 S.F.
2ND FLOOR AREA	
8 OCCUPANCY	
SHOWROOM/OFFICE	4,522 S.F.
75-2 OCCUPANCY	22,587 S.F.
DISPLAY AREA	
TOTAL 2ND FLOOR AREA	118,826 S.F.
2ND FLOOR AREA	
8 OCCUPANCY	
SHOWROOM/OFFICE	24,199 S.F.
75-1 OCCUPANCY	73,984 S.F.
75-2 OCCUPANCY	20,643 S.F.
DISPLAY AREA	

SECOND LEVEL PLAN 1"=20'-0" SHEET 5



SUNNYSLOPE AVE

WALNUT ST

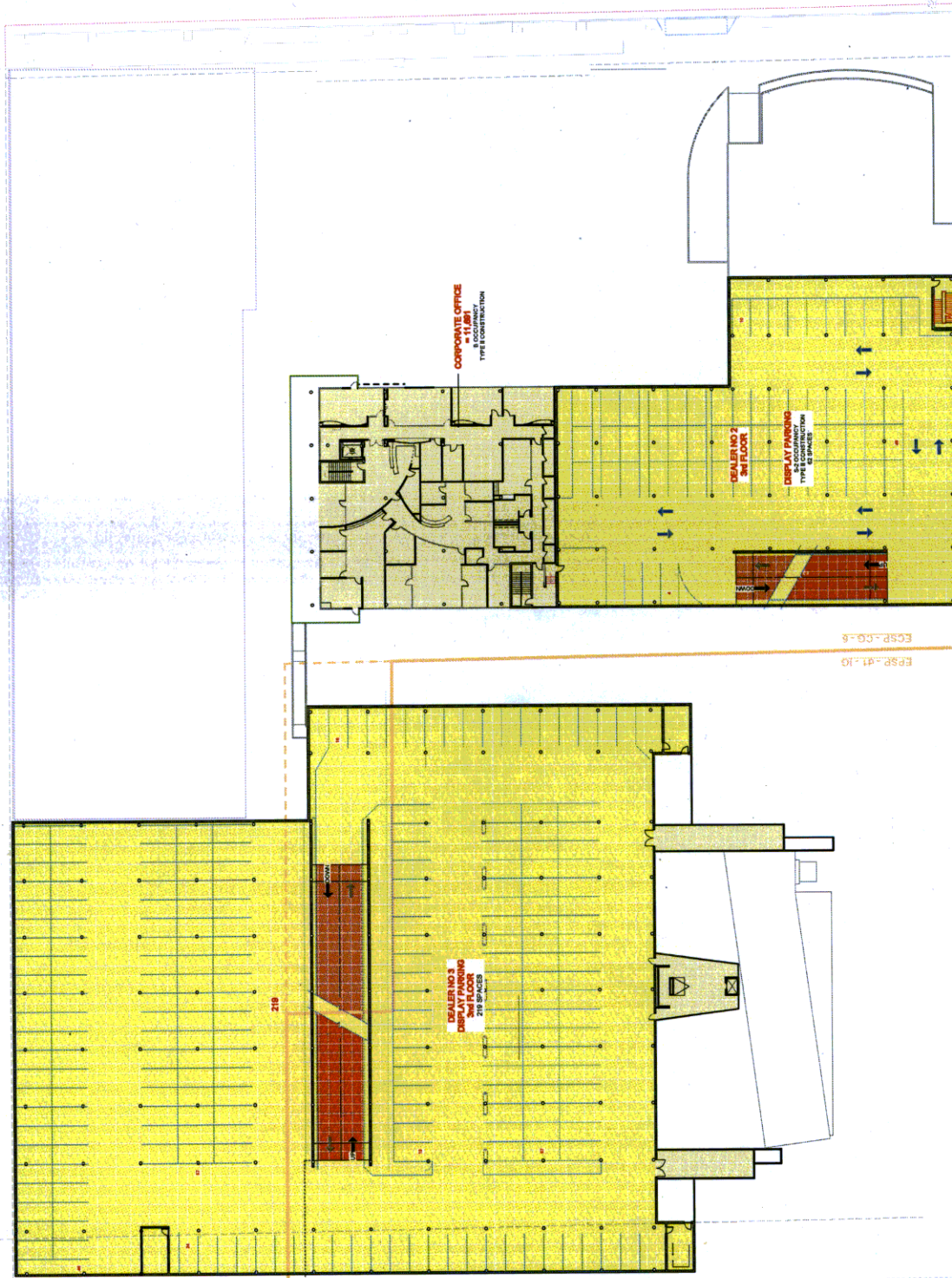
Rusnak Auto Group Corporate Center

Pasadena Ca.

Whitfield Associates, Inc.

DATE: 01/15/10
DRAWN BY: J. W. W. / J. W. W.
CHECKED BY: J. W. W. / J. W. W.
PROJECT NO: 100000000

COLORADO BLVD



CORPORATE OFFICE BUILDING	11,891 S.F.
SALESMAN PER OCCUPANCY	
OFFICE	11,891 S.F.
DEALER NO 3	77,872 S.F.
3RD FLOOR AREA	
SHOWROOM PER OCCUPANCY	
SALESMAN PER OCCUPANCY	
SHOWROOM OFFICE	1,094 S.F.
%2" OCCUPANCY	
DISPLAY AREA	76,808 S.F.
DEALER NO 2 BUILDING	23,541 S.F.
3RD FLOOR AREA	
SALESMAN PER OCCUPANCY	
%2" OCCUPANCY	
DISPLAY AREA	23,541 S.F.
TOTAL 3RD FLOOR AREA	115,104 S.F.
3RD FLOOR AREA	
SALESMAN PER OCCUPANCY	
%2" OCCUPANCY	
SHOWROOM OFFICE	13,295 S.F.
%2" OCCUPANCY	
DISPLAY AREA	101,809 S.F.

SHEET 6

1" = 20'-0"

THIRD / ROOF LEVEL PLAN



Whitfield
ASSOCIATES, INC.
ARCHITECTS
2000 W. PASADENA AVENUE
PASADENA, CALIFORNIA
91103-2000

Pasadena Ca.

Rushnak Auto Group Corporate Center

SUNNYSLOPE AVE

WALNUT ST

STOP

STOP

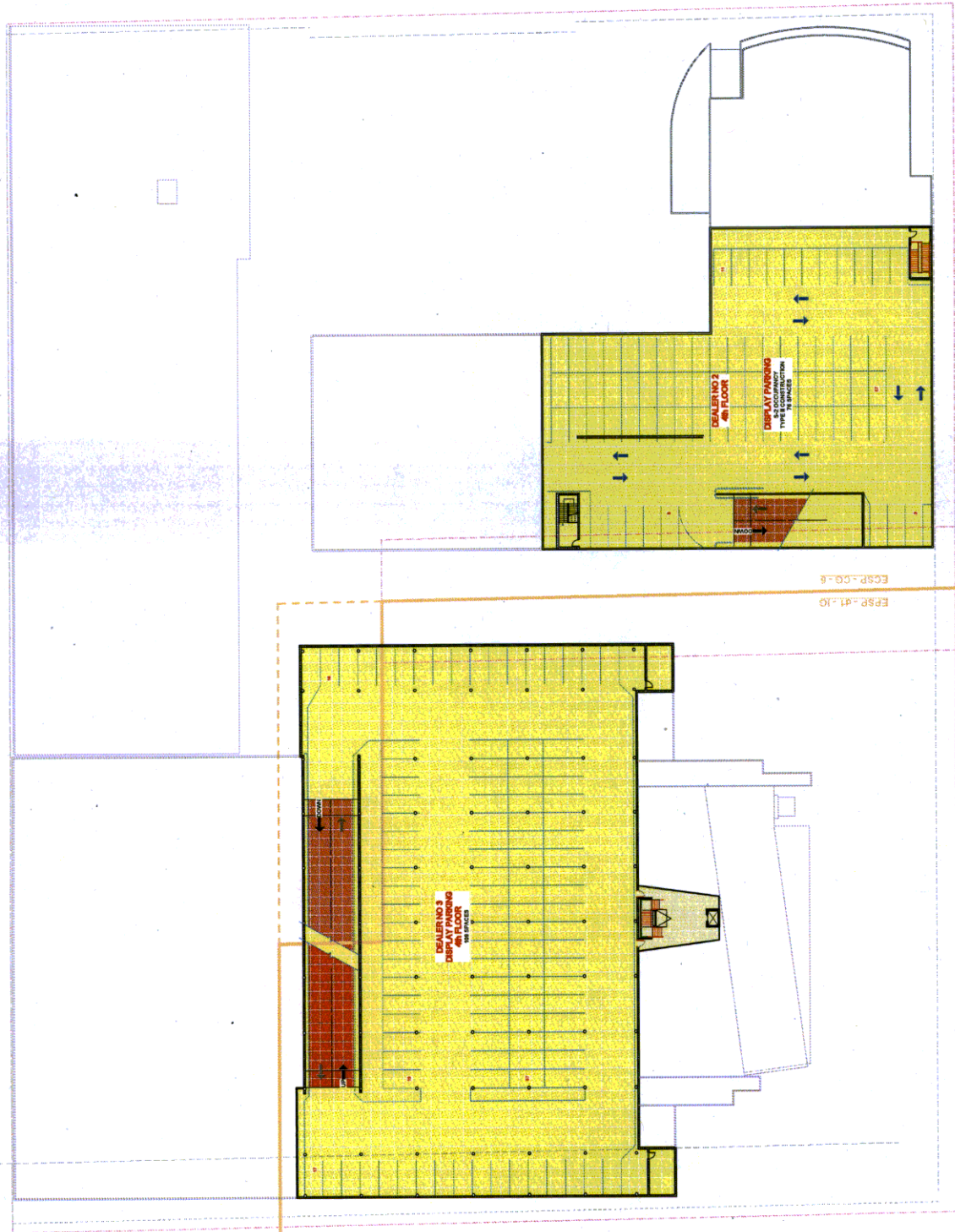
ECSP-CG-5

EFSP-dt-1g

219

ECSP-CG-6

EFSP-dt-1g



ECSP - CG - 8
 EPSP - dt - 10

ECSP - CG - 6
 EPSP - dt - 10

DEALER NO 3 4th FLOOR AREA BREMOWAN PER OCCUPANCY "S-2" OCCUPANCY DISPLAY PARKING	47,908 S.F. 47,908 S.F. 47,908 S.F.
DEALER NO 2 4th FLOOR AREA BREMOWAN PER OCCUPANCY "S-2" OCCUPANCY PARKING AREA	23,541 S.F. 23,541 S.F. 23,541 S.F.
TOTAL 4th FLOOR AREA 4th FLOOR AREA BREMOWAN PER OCCUPANCY "S-2" OCCUPANCY PARKING AREA	71,449 S.F. 71,449 S.F. 71,449 S.F.

FOURTH LEVEL PLAN 1" = 20'-0"
 SHEET 7

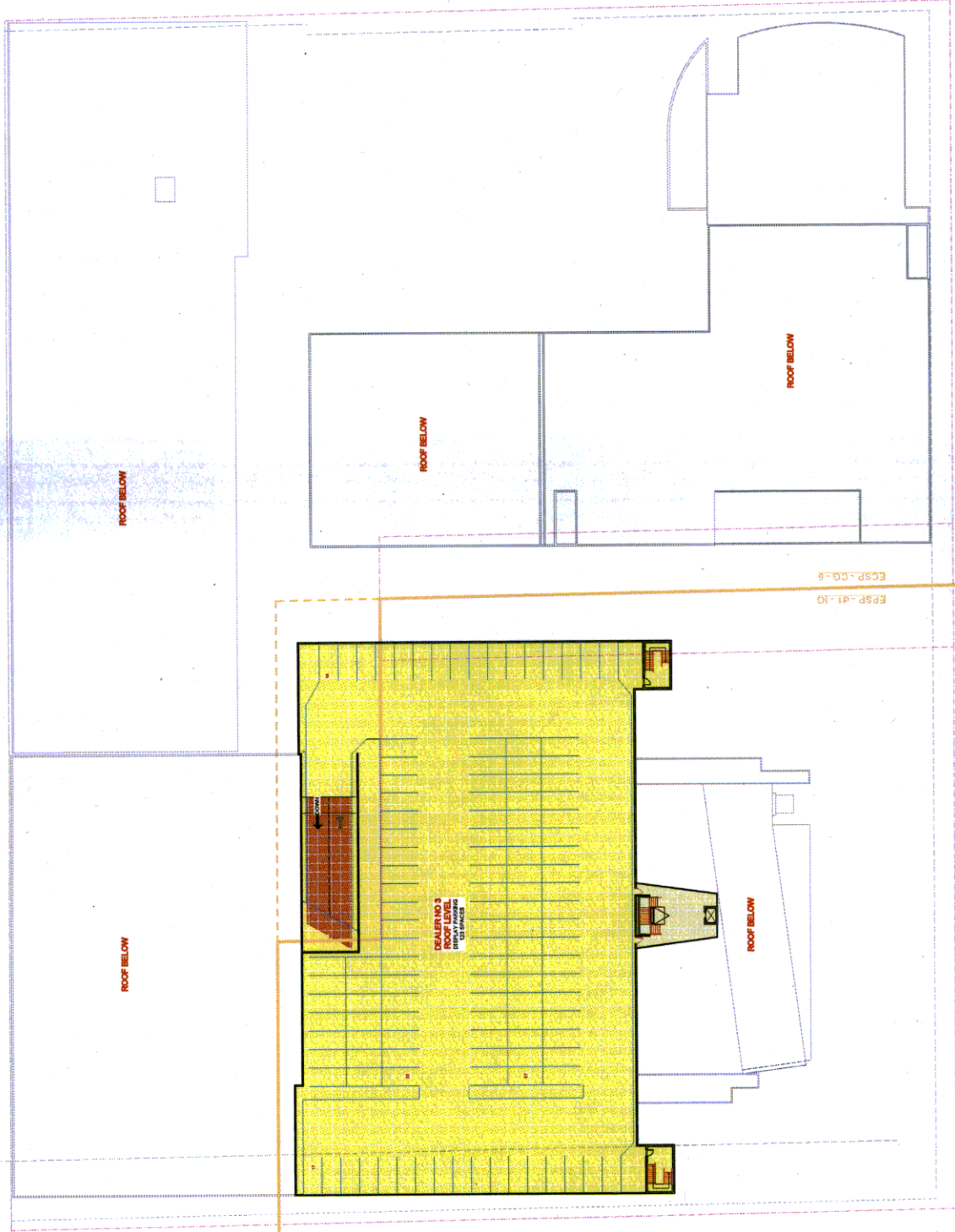


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Rusnak Auto Group Corporate Center

DATE: 01/15/04
 DRAWN BY: J. W. HAY
 PROJECT NO: 04-001



DEALER NO. 3	48,838 S.F.
ROOF FLOOR AREA	48,838 S.F.
BREAKDOWN PER OCCUPANCY	
%Z OCCUPANCY	48,838 S.F.
PARKING	
TOTAL ROOF (8th FLOOR AREA)	48,838 S.F.
ROOF FLOOR AREA	48,838 S.F.
BREAKDOWN PER OCCUPANCY	
%Z OCCUPANCY	48,838 S.F.
PARKING AREA	48,838 S.F.

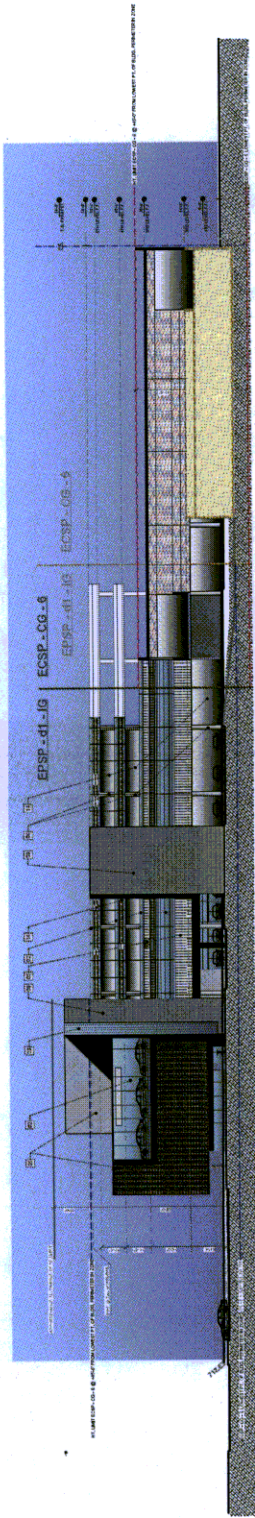
ROOF LEVEL PLAN BY FLOOR 1" = 20'-0" SHEET 8



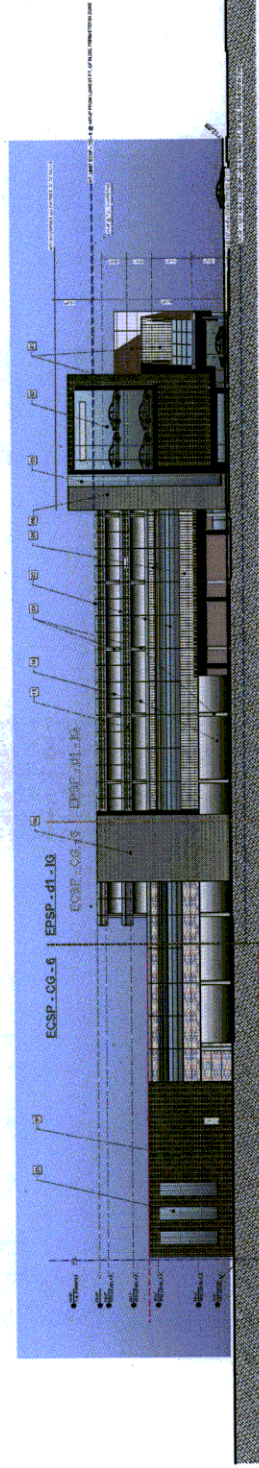
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Pasadena, CA 91104
Tel: 626-799-8888
Fax: 626-799-8889

Pasadena Ca.

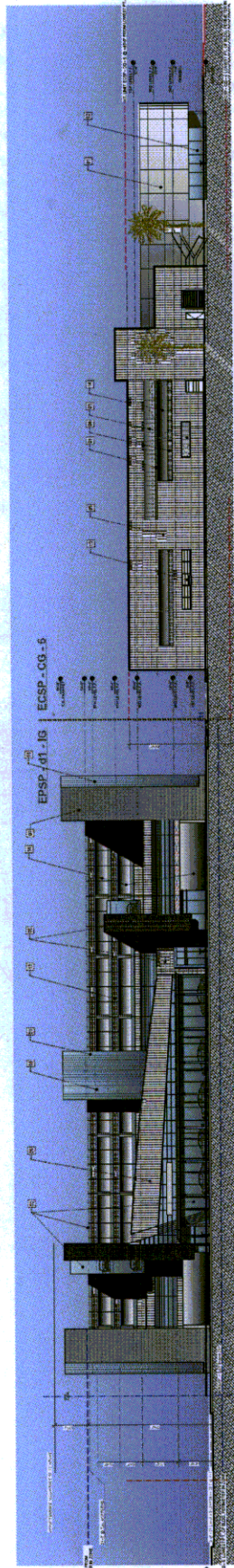
Rusnak Auto Group Corporate Center



NINA ST. Proposed Exterior Elevation



WALNUT ST. Proposed Exterior Elevation



SUNNY SLOPE AVE. Proposed Exterior Elevation



COLORADO BLVD. Proposed Exterior Elevation

- REVISIONS**
- 01. ALUMINUM PANELS, COLOR TBD
 - 02. CLEAR THERMOPLASTIC GLASS, 100% TRANSPARENT
 - 03. STAINLESS STEEL, 316, 1/4" THICK
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Whitfield
Associates, Inc.

10000 WILSON AVENUE, SUITE 100
PASADENA, CA 91104
TEL: 626 799 1111
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SCALE: 1/8" = 1'-0"

Pasadena, Ca.

Rusnak Auto Group Corporate Center